

SHEET: 1 of 9	JOB No: 738	REVISION: -	DRAWN: BS
PRELIMINARY DRAWINGS			
32 Mumford Place, Balca a. W.A (08) 9240 1969 Builders Registra on Number: 8967			

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

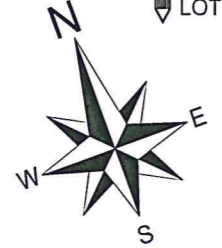
NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

WARNING: PLAN NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

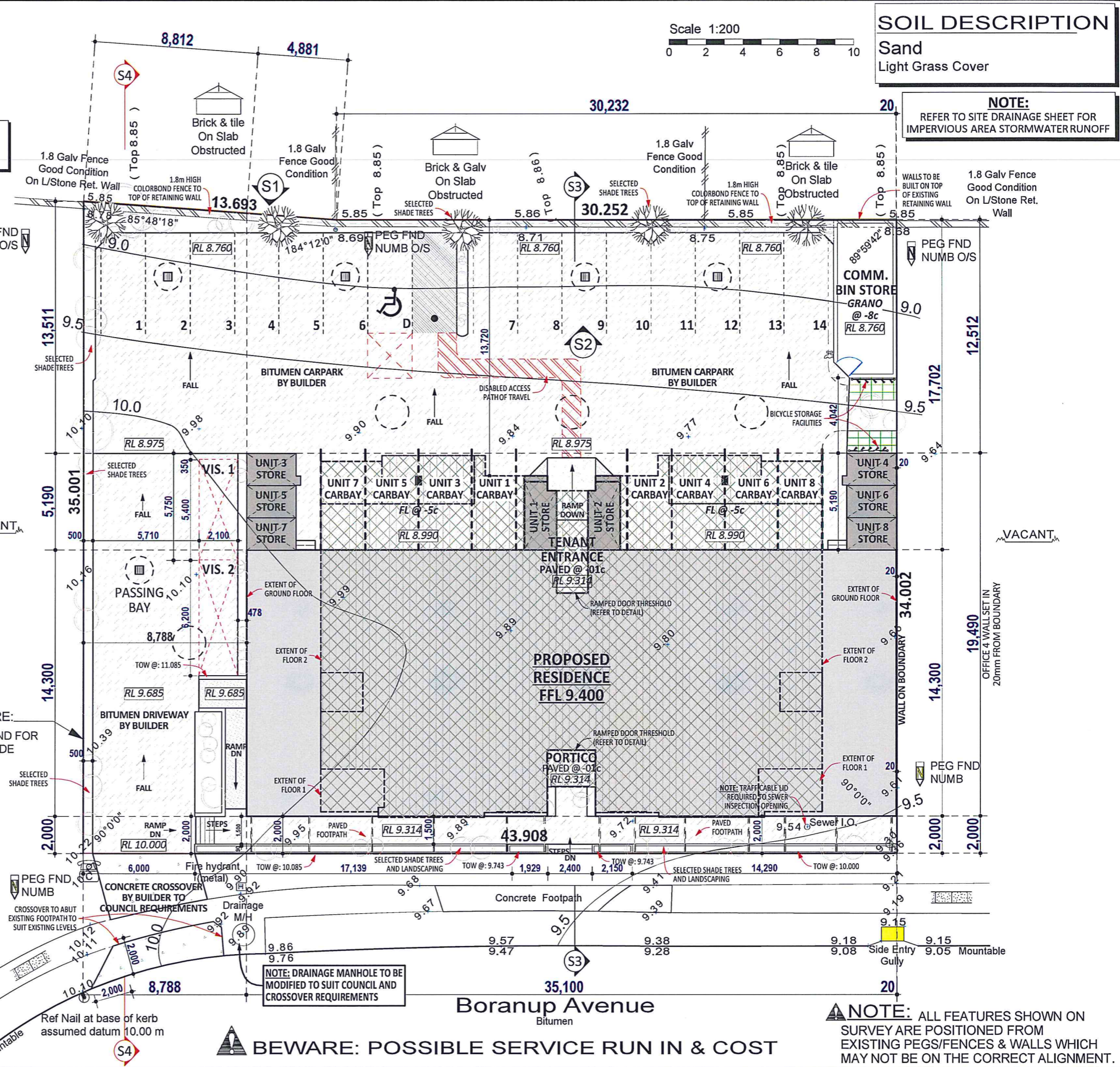
NOTE: All Sewer details plotted from information supplied by Water Corporation.

R- 60
A= 1500m²

NOTE
 PARKING LAYOUT SPECIFIED
 AS PER A.S. 2890.1



BEWARE:
 PEG FOUND FOR LOT TO SIDE



SOIL DESCRIPTION
 Sand
 Light Grass Cover

NOTE:
 REFER TO SITE DRAINAGE SHEET FOR IMPERVIOUS AREA STORMWATER RUNOFF

NOTE: DRAINAGE MANHOLE TO BE MODIFIED TO SUIT COUNCIL AND CROSSOVER REQUIREMENTS

BEWARE: POSSIBLE SERVICE RUN IN & COST

NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

R-60
A= 1500m²

SITE COVERAGE

GROUND FLOOR AREA: 529.60m²
ENCLOSED AREA: 106.05m²
635.65m²

SITE AREA: 1500m²
635.65m² / 1500m²
= 42.37 % SITE COVERAGE
= 57.63 % OPEN SPACE

BUILDING FOOTPRINT

BUILDING FOOTPRINT: 529.60m²
SITE AREA: 1500m²

35.30% SITE FOOTPRINT

LANDSCAPING (SITE ONLY)

LANDSCAPED AREA: 102.72m²
SITE AREA: 1500m²

6.85% SITE LANDSCAPING

SITE STORMWATER

TOTAL IMPERVIOUS AREA: 638.30m²

SOAKWELLS PROVIDED:

(4x) 1500 x 1500 INTERCONNECTED
CONCRETE W/- TRAFFICABLE LIDS -
& 450 x 450 TRAFFICABLE GRATES

(MAXIMUM CAPACITY 180m²/ 2.196m³)

TOTAL CAPACITY: 720m²/ 8.784m³

BUILDING STORMWATER

GROUND FLOOR: 203.18m²/ 2.48m³

FLOOR #1: 26.22m²/ 0.32m³

FLOOR #2: 493.58m²/ 6.022m³

TOTAL: 722.98m²/ 8.822m³

SOAKWELLS PROVIDED:

(x4) 1800ø x 1500 CONCRETE SOAKWELLS
(MAXIMUM CAPACITY 207m²/ 2.53m³)

TOTAL CAPACITY: 828m²/ 10.10m³

PLOT RATIO CALCULATION

OFFICE 1: 108.37m²
OFFICE 2: 106.24m²
OFFICE 3: 105.68m²
OFFICE 4: 106.78m²
427.07m²

UNIT 1: 99.39m²
UNIT 2: 98.50m²
UNIT 3: 99.00m²
UNIT 4: 92.73m²
UNIT 5: 95.75m²
UNIT 6: 94.87m²
UNIT 7: 98.99m²
UNIT 8: 92.73m²
771.96m²

GRAND TOTAL: 1199.03m²

SITE AREA: 1500m²

ALLOWABLE PLOT RATIO: 0.7

ACTUAL PLOT RATIO: 0.7993

GROUND FLOOR: BUILDING CLASS 5

OFFICE 1

NET AREA: 103.32m²
TOTAL AREA: 109.32m²

PARKING PROVIDED: 3.5 BAYS
DISABLED PARKING: 0.25BAYS

OFFICE 2

NET AREA: 101.93m²
TOTAL AREA: 106.92m²

PARKING PROVIDED: 3.5 BAYS
DISABLED PARKING: 0.25BAYS

OFFICE 3

NET AREA: 101.28m²
TOTAL AREA: 105.99m²

PARKING PROVIDED: 3.5 BAYS
DISABLED PARKING: 0.25BAYS

OFFICE 4

NET AREA: 101.80m²
TOTAL AREA: 107.89m²

PARKING PROVIDED: 3.5 BAYS
DISABLED PARKING: 0.25BAYS

CLASS 5 PARKING TOTALS

COMMERCIAL BAYS: 14 BAYS
DISABLED BAYS: 1 BAY
15 BAYS

FLOOR 1: BUILDING CLASS 2

UNIT 1

FLOOR AREA: 99.39m²
STORE AREA: 6.53m²
BALCONY 1: 12.27m²
SERVICE BALCONY 1: 4.74m²
TOTAL AREA: 122.93m²

PARKING PROVIDED: 1 BAY

UNIT 2

FLOOR AREA: 98.50m²
STORE AREA: 6.60m²
BALCONY 2: 12.27m²
SERVICE BALCONY 2: 4.74m²
TOTAL AREA: 122.11m²

PARKING PROVIDED: 1 BAY

UNIT 3

FLOOR AREA: 99.00m²
STORE AREA: 4.77m²
BALCONY 3: 21.08m²
TOTAL AREA: 124.85m²

PARKING PROVIDED: 1 BAY

UNIT 4

FLOOR AREA: 92.73m²
STORE AREA: 4.77m²
BALCONY 4: 21.08m²
TOTAL AREA: 118.59m²

PARKING PROVIDED: 1 BAY

FLOOR 2: BUILDING CLASS 2

UNIT 5

FLOOR AREA: 95.75m²
STORE AREA: 4.62m²
BALCONY 5: 12.87m²
TOTAL AREA: 113.24m²

PARKING PROVIDED: 1 BAY

UNIT 6

FLOOR AREA: 94.87m²
STORE AREA: 4.62m²
BALCONY 6: 12.87m²
TOTAL AREA: 112.36m²

PARKING PROVIDED: 1 BAY

UNIT 7

FLOOR AREA: 98.99m²
STORE AREA: 4.47m²
BALCONY 7: 13.58m²
TOTAL AREA: 117.04m²

PARKING PROVIDED: 1 BAY

UNIT 8

FLOOR AREA: 92.73m²
STORE AREA: 4.47m²
BALCONY 8: 13.58m²
TOTAL AREA: 110.78m²

PARKING PROVIDED: 1 BAY

CLASS 2 PARKING TOTALS

FLOOR 1 BAYS: 4 BAYS
FLOOR 2 BAYS: 4 BAYS
VISITOR BAYS: 2 BAYS
10 BAYS

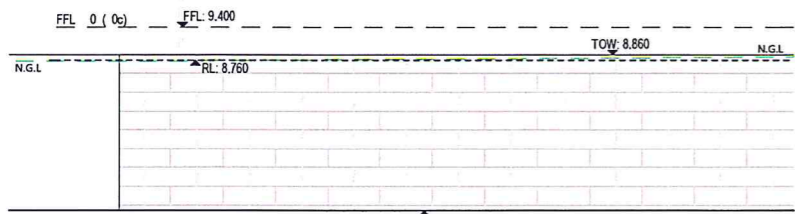
TOTAL PARKING PROVIDED

COMMERCIAL (Class 5): 14 BAYS
RESIDENTIAL (Class 2): 8 BAYS
VISITORS: 2 BAYS
DISABLED BAYS: 1 BAY
TOTAL PARKING: 25 BAYS

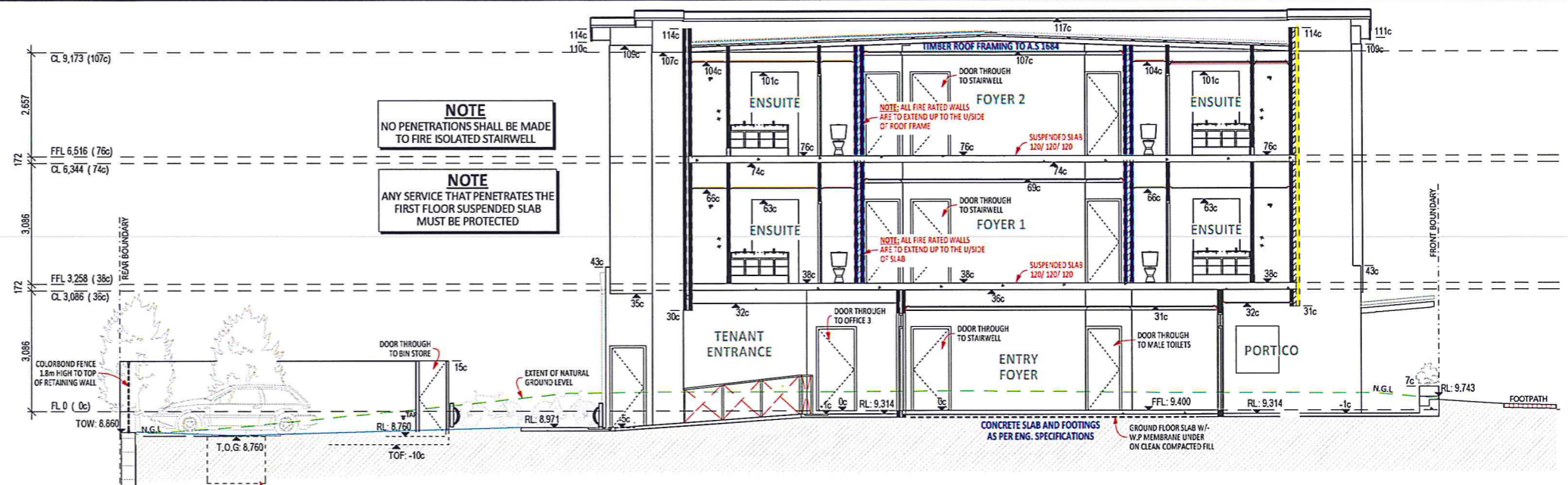
SHEET: 2 OF 9	HOUSE TYPE:	INDIVIDUAL	DRAWING:	AREA CALCULATIONS	SCALE:	1:100
	PROJECT:	ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON		PRELIMINARY DRAWINGS	DRAWN BY:	BS
JOB No: 738				1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.	REVISION:	-
				2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	PRESTART BY:	-
					DATE:	6/08/2015

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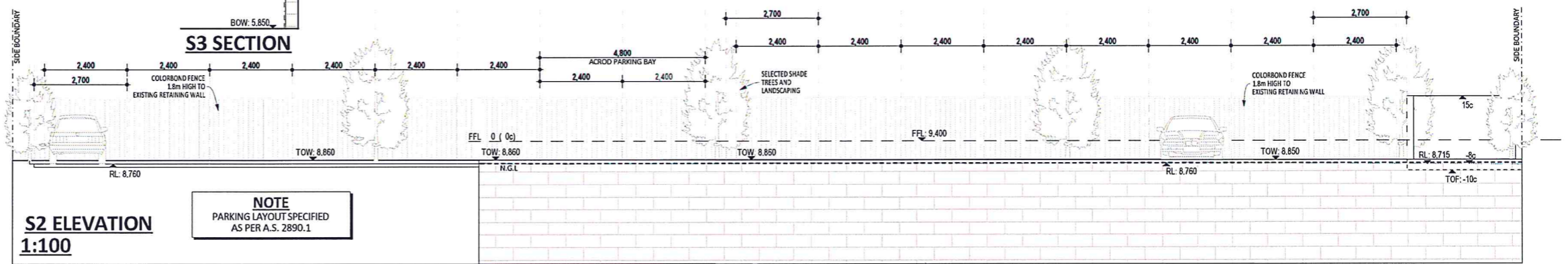
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Builders Registration Number: 8967



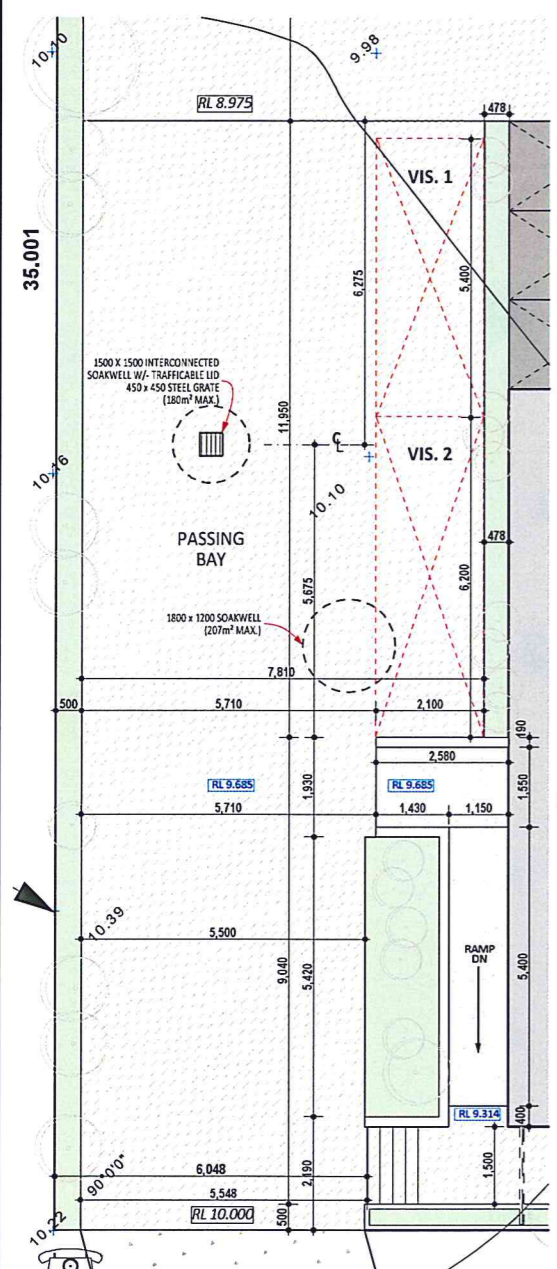
S1 ELEVATION



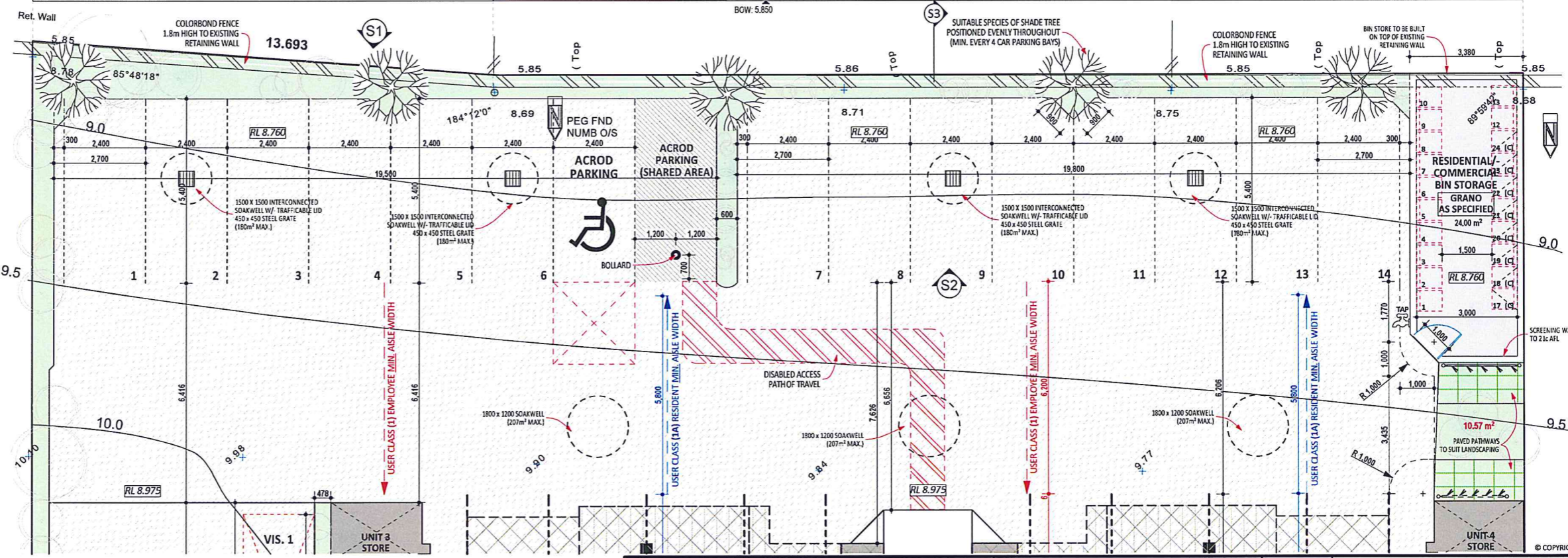
S3 SECTION



**S2 ELEVATION
1:100**



**PARKING LAYOUT (FRONT)
1:100**



**PARKING LAYOUT (REAR)
1:100**

SHEET: 3 OF 9	HOUSE TYPE: INDIVIDUAL	DRAWING: PARKING LAYOUT	SCALE: 1:100
	PROJECT: ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON		DRAWN BY: BS
JOB No: 738		REVISION: -	PRESTART BY:
		DATE: 6/08/2015	

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Builders Registration Number: 8967

(G.F) AREAS

BIN STORE	28.28
ENTRY FOYER	18.23
FEMALE TOILETS	7.35
LIFT	6.25
MALE TOILETS	7.78
OFFICE 1	109.32
OFFICE 1 (PLR)	108.37
OFFICE 2	106.92
OFFICE 2 (PLR)	106.24
OFFICE 3	105.99
OFFICE 3 (PLR)	105.68
OFFICE 4	107.89
OFFICE 4 (PLR)	106.78
PORTICO	5.12
STAIRS	13.42
STORE U1	6.53
STORE U2	6.60
STORE U3	4.77
STORE U4	4.77
STORE U5	4.62
STORE U6	4.62
STORE U7	4.47
STORE U8	4.47
TENANT ENTRANCE	9.35
U/SEX DISABLED WC	5.60
TOTAL	999.42 m²

STAIRS
250 GOING
172 RISER

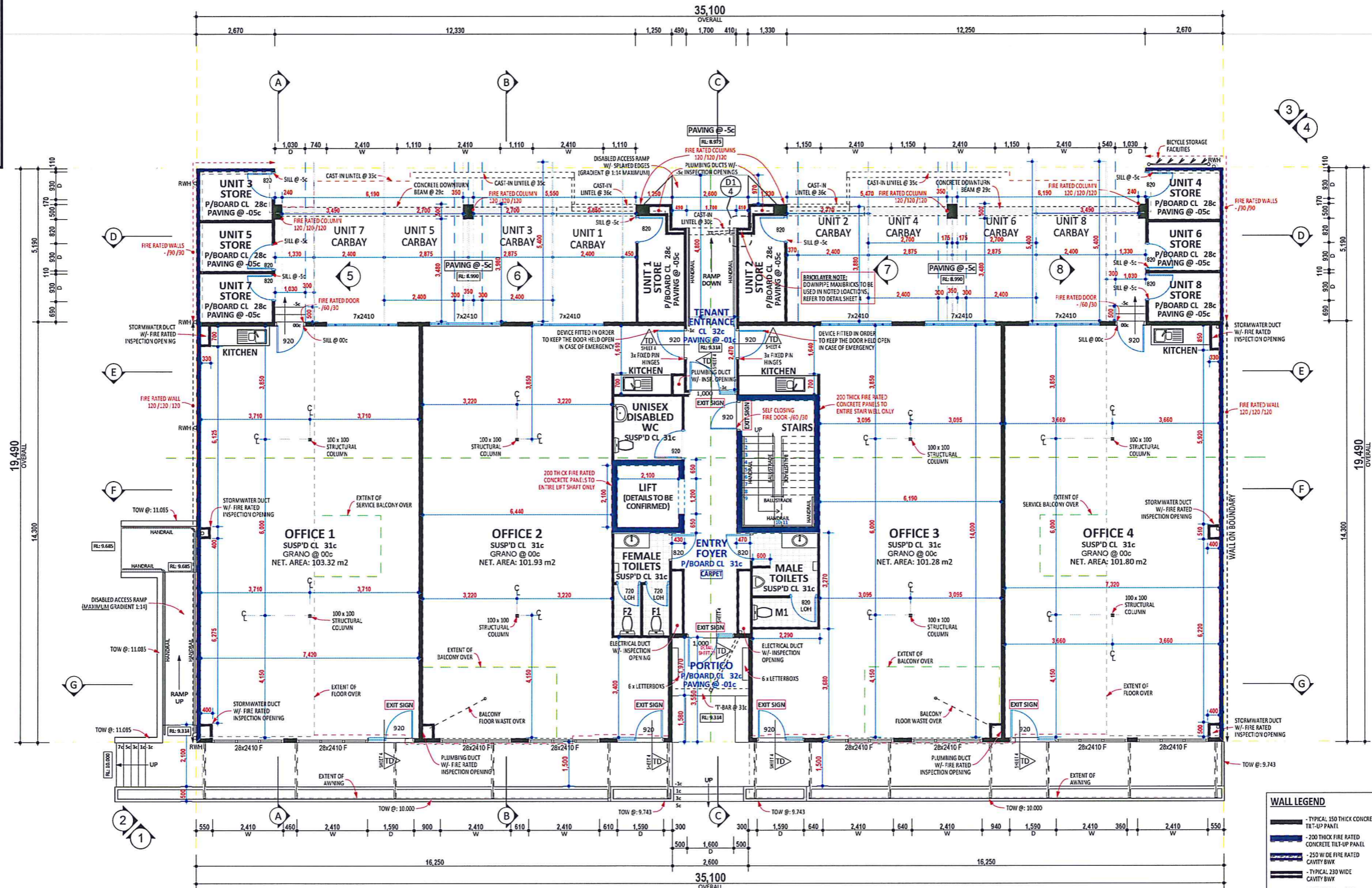
NOTE
REFER TO DETAIL SHEET FOR EAVES DETAILS

CLIENT NOTE
REFER TO ADDENDA FOR SUPPLY AND INSTALLATION OF ALL FLOOR COVERINGS

NOTE
ALL EXIT SIGNS TO COMPLY WITH AS 2293.1

NOTE
NO PENETRATIONS SHALL BE MADE TO FIRE ISOLATED STAIRWELL

RENDERED BRICKWORK



WALL LEGEND

- TYPICAL 150 THICK CONCRETE TILT-UP PANEL
- 200 THICK FIRE RATED CONCRETE TILT-UP PANEL
- 250 W DE FIRE RATED CAVITY B/W
- TYPICAL 230 WIDE CAVITY B/W
- TYPICAL 90mm B/W
- EXTENT OF CONTRASTING COLOUR

GROUND FLOOR
1:100



SHEET: 6 OF 9	HOUSE TYPE: INDIVIDUAL	DRAWING: GROUND FLOOR PLAN	SCALE: 1:100
	PROJECT: ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON	PRELIMINARY DRAWINGS	DRAWN BY: BS
JOB No: 738		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	REVISION: PRESTART BY: DATE: 6/08/2015



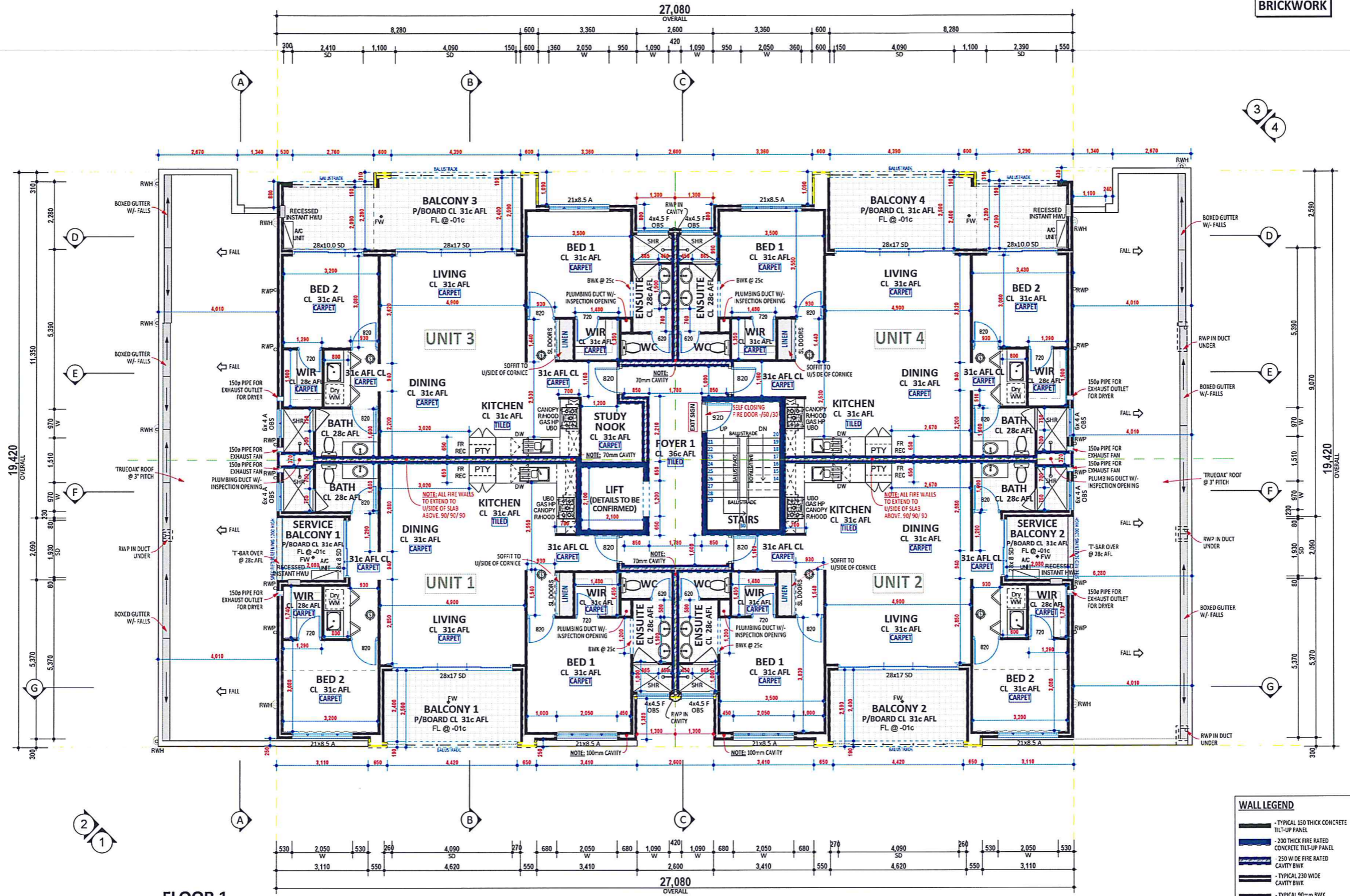
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Builders Registration Number: 8967

(F.1) AREAS	
BALCONY 1	12.27
BALCONY 2	12.27
BALCONY 3	21.08
BALCONY 4	21.08
FOYER 1	15.34
LIFT	6.25
SERVICE BALCONY 1	4.74
SERVICE BALCONY 2	4.74
STAIRS	13.42
UNIT 1	99.39
UNIT 2	98.50
UNIT 3	99.00
UNIT 4	92.73
TOTAL	500.81 m²

STAIRS
250 GOING
172 RISER

- NOTE**
ALL ENTRY DOORS TO UNITS ARE SELF CLOSING AND FIRE RATED - / 60/ 30
- NOTE**
NOMINATED WINDOWS TO COMPLY WITH B.C.A VOL.2, PART 3.9.2.5. PORTION OF OPENING WINDOW RESTRICTED TO 125mm MAX.
- NOTE**
REFER TO DETAIL SHEET FOR EAVES DETAILS
- CLIENT NOTE**
REFER TO ADDENDA FOR SUPPLY AND INSTALLATION OF ALL FLOOR COVERINGS
- NOTE**
ALL EXIT SIGNS TO COMPLY WITH AS 2293.1
- NOTE**
NO PENETRATIONS SHALL BE MADE TO FIRE ISOLATED STAIRWELL

RENDERED BRICKWORK



FLOOR 1
1:100

WALL LEGEND	
	- TYPICAL 150 THICK CONCRETE TILT-UP PANEL
	- 200 THICK FIRE RATED CONCRETE TILT-UP PANEL
	- 250 WIDE FIRE RATED CAVITY BRW
	- TYPICAL 230 WIDE CAVITY BRW
	- TYPICAL 90mm BRW
	- EXTENT OF CONTRASTING COLOUR



SHEET: 7 OF 9	HOUSE TYPE: INDIVIDUAL	DRAWING: FLOOR 1 PLAN	SCALE: 1:100
	PROJECT: ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON		PRELIMINARY DRAWINGS
JOB No: 738		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	DATE: 6/08/2015
		REVISION:	DRAWN BY: BS
			PRESTART BY:

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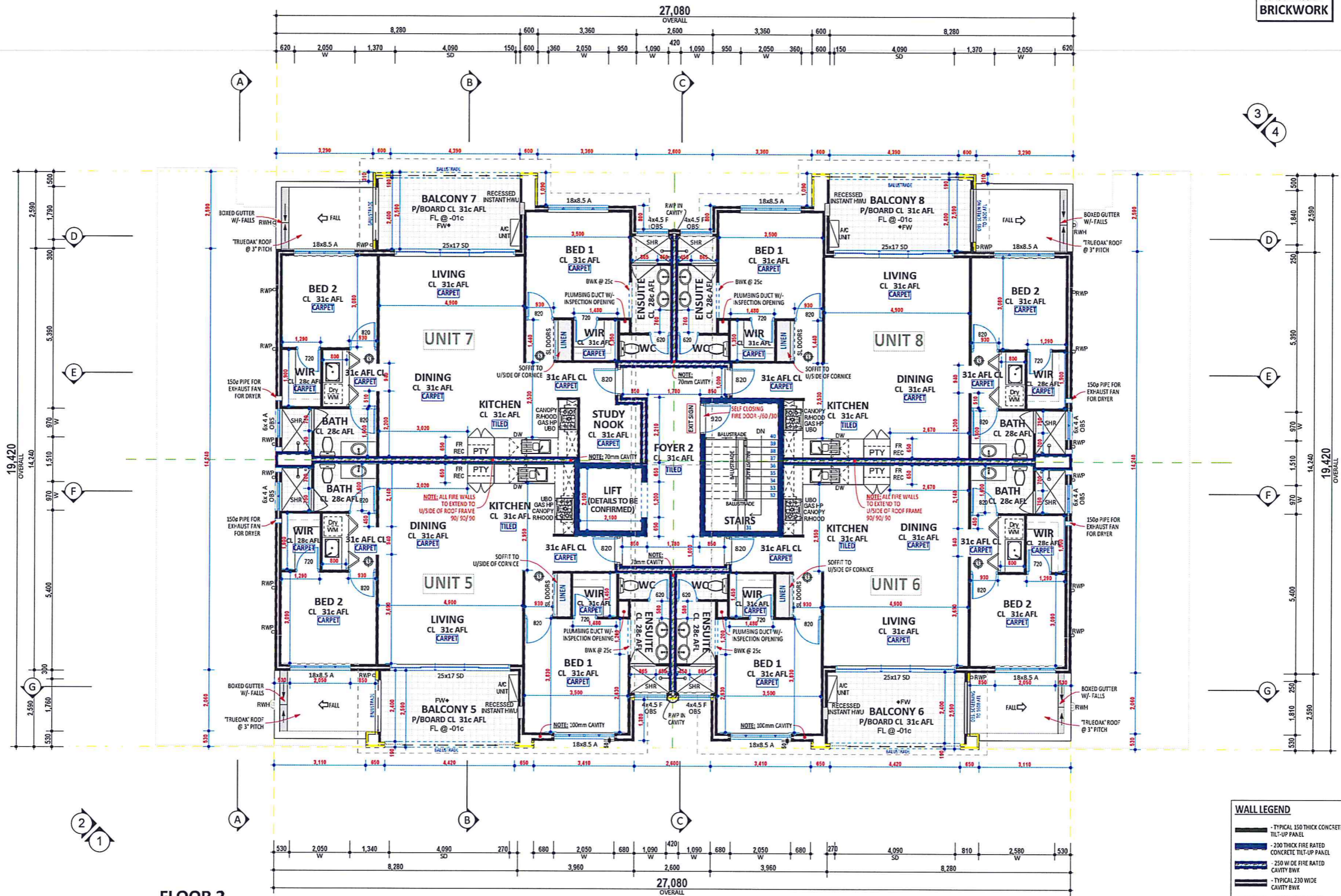
(F.2) AREAS

BALCONY 5	12.87
BALCONY 6	12.87
BALCONY 7	13.58
BALCONY 8	13.58
FOYER 2	15.34
LIFT	6.25
STAIRS	13.42
UNIT 5	95.75
UNIT 6	94.87
UNIT 7	98.99
UNIT 8	92.73
TOTAL	470.25 m²

STAIRS
250 GOING
172 RISER

- NOTE**
ALL ENTRY DOORS TO UNITS ARE SELF CLOSING AND FIRE RATED -/ 60/ 30
- NOTE**
NOMINATED WINDOWS TO COMPLY WITH B.C.A VOL.2, PART 3.9.2.5. PORTION OF OPENING WINDOW RESTRICTED TO 125mm MAX.
- NOTE**
REFER TO DETAIL SHEET FOR EAVES DETAILS
- CLIENT NOTE**
REFER TO ADDENDA FOR SUPPLY AND INSTALLATION OF ALL FLOOR COVERINGS
- NOTE**
ALL EXIT SIGNS TO COMPLY WITH AS 2293.1
- NOTE**
NO PENETRATIONS SHALL BE MADE TO FIRE ISOLATED STAIRWELL

RENDERED BRICKWORK



FLOOR 2
1:100

WALL LEGEND

- TYPICAL 150 THICK CONCRETE
- 200 THICK FIRE RATED CONCRETE TILT-UP PANEL
- 250 W DE FIRE RATED CAVITY BWK
- TYPICAL 230 WIDE CAVITY BWK
- TYPICAL 50-mm BWK
- EXTENT OF CONTRASTING COLOUR



SHEET: 8 OF 9	HOUSE TYPE: INDIVIDUAL	DRAWING: FLOOR 2 PLAN	SCALE: 1:100
	PROJECT: ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON	PRELIMINARY DRAWINGS	DRAWN BY: BS
JOB No: 738		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.	PREPARED BY:
		2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	DATE: 6/08/2015

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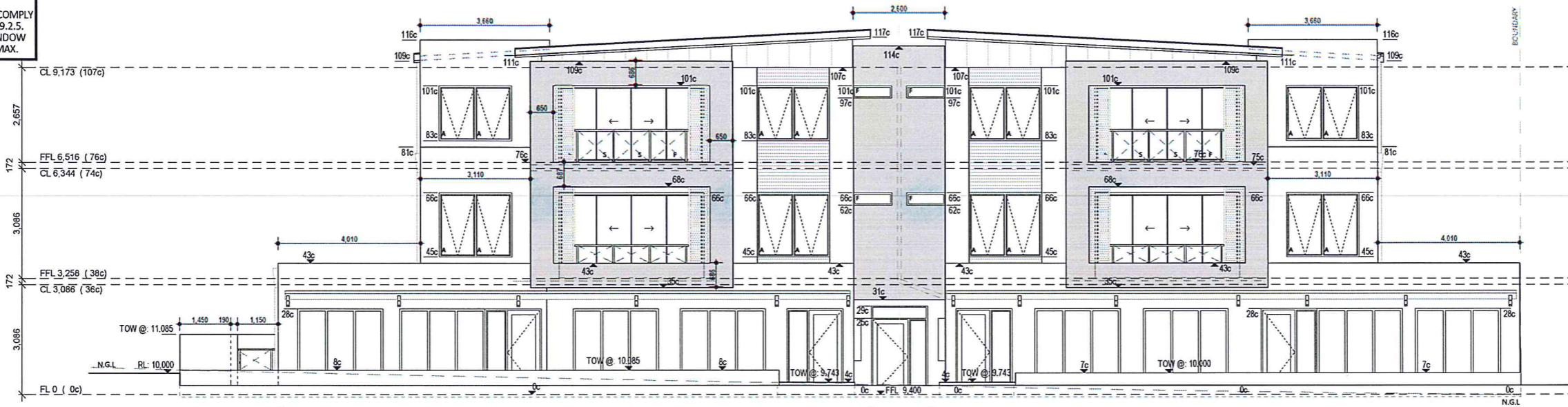
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NOTE
 NOMINATED WINDOWS TO COMPLY WITH B.C.A VOL 2, PART 3.9.2.5. PORTION OF OPENING WINDOW RESTRICTED TO 125mm MAX.

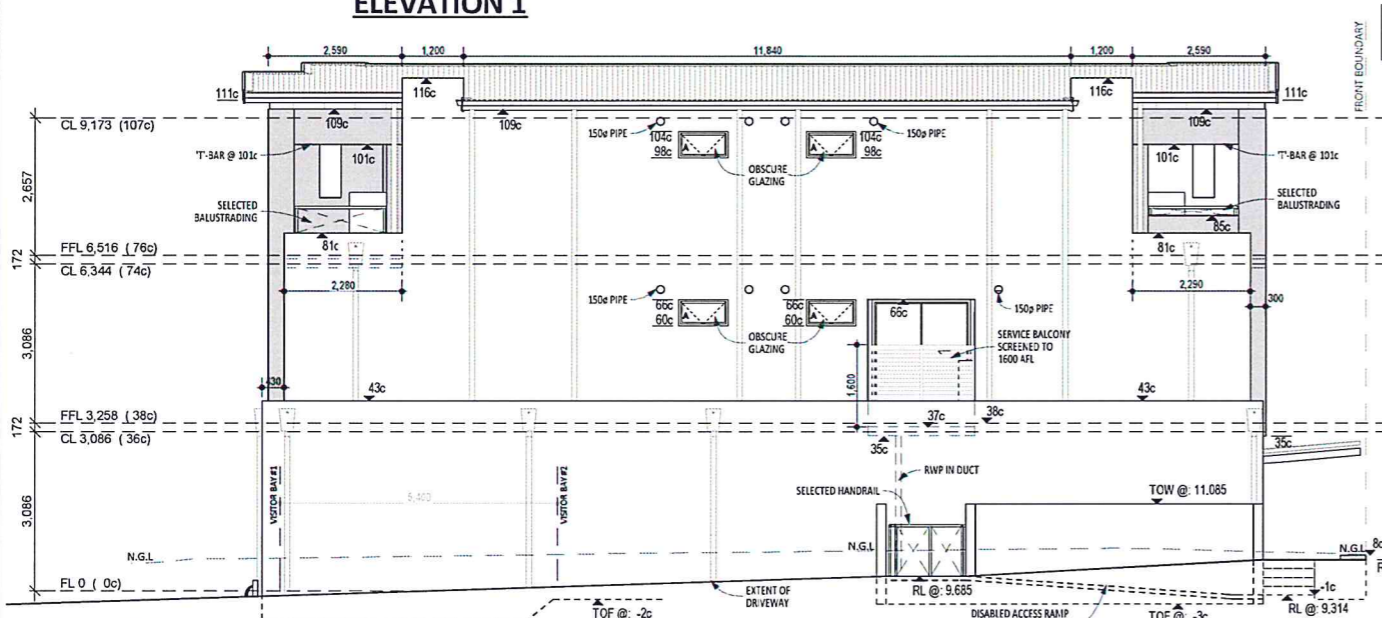
ROOFING NOTE:
 ROOF FRAMING TO A.S 1684
TRUEOAK ROOF
 3° PITCH TO GROUND FLOOR
 3° PITCH TO FIRST FLOOR
 5° PITCH OVER FLOOR 2
 2° PITCH OVER CENTRAL CORRIDOR

ROOF TIMBER NOTE:
 KEEP ALL FLUMES TO REAR OF RIDGE

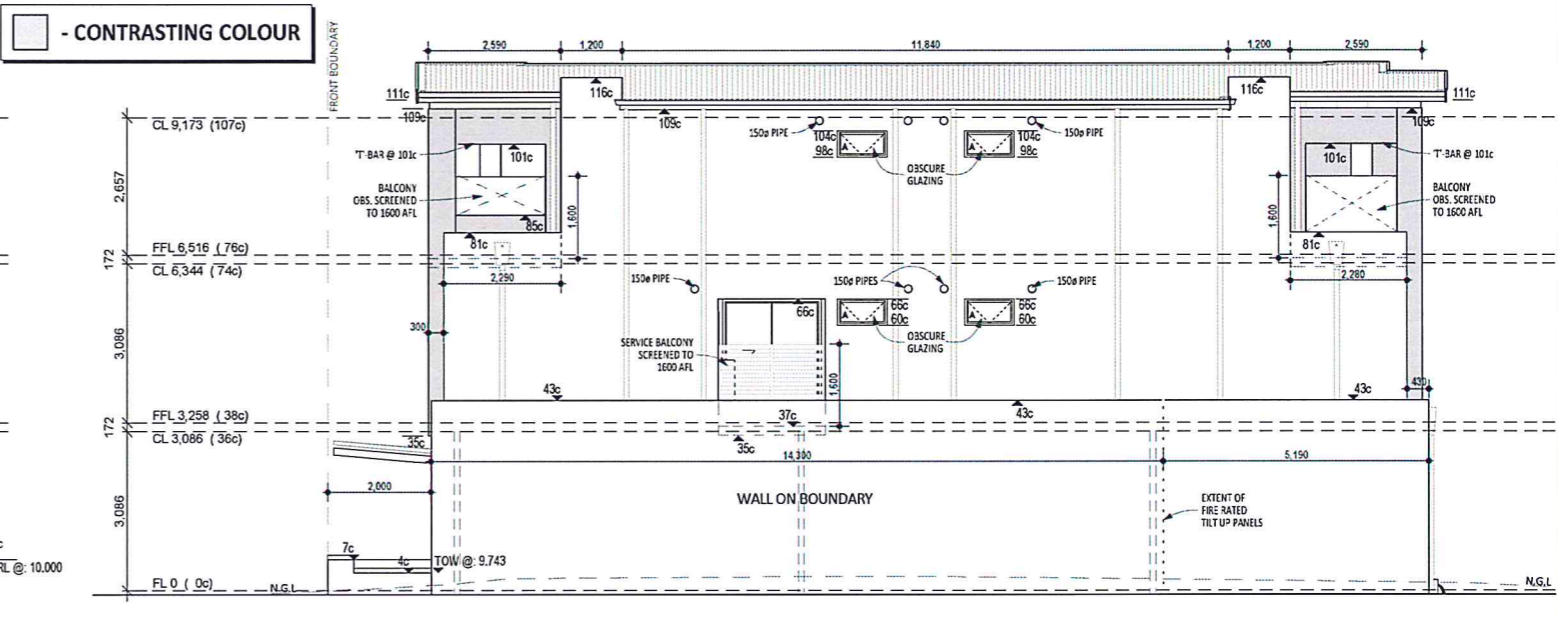
RENDERED BRICKWORK



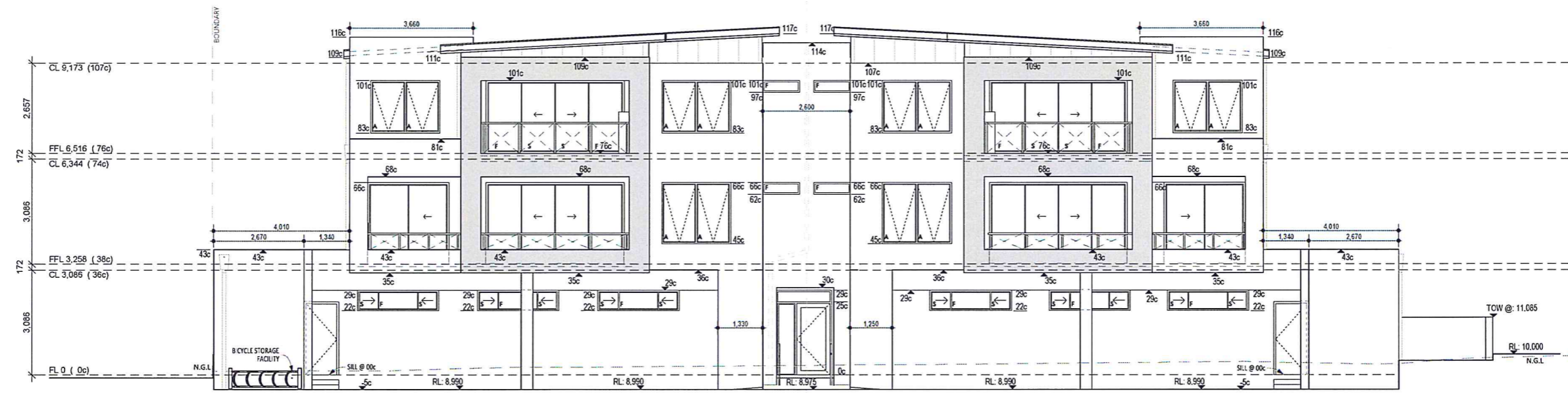
ELEVATION 1



ELEVATION 2



ELEVATION 4



ELEVATION 3

□ - CONTRASTING COLOUR

SHEET: 9 OF 9 JOB No: 738	HOUSE TYPE: INDIVIDUAL	DRAWING: ELEVATIONS	SCALE: 1:100
	PROJECT: ANTONELLI INVESTMENTS LOT 3 (No.13) BORANUP AVENUE, CLARKSON	PRELIMINARY DRAWINGS	DRAWN BY: BS
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