



Locality Plan

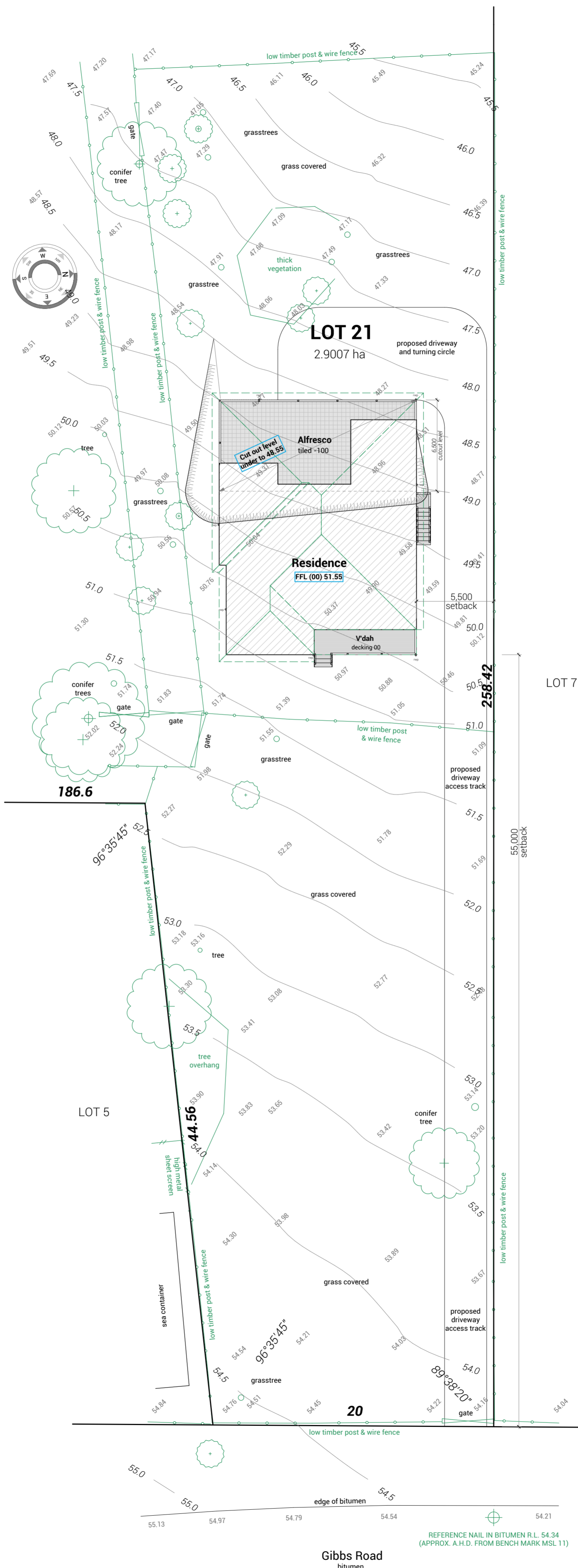
Scale 1:1000

 'Stables' land use

 <p>DOMESTIC DRAFTING SERVICE</p> <p>25a Dorothy Street, Gosnells, WA 6110 TEL 08 9398 2139 MOB 0417 945 820 ABN 33085773190</p>	DRAWN	DATE	CHECK	DESCR	CLIENT	PAGE
	SD	16.06.21		DA-0	Bailey	1b
					PROJECT	REV
					Proposed Residence	DA-0
					ADDRESS	SCALE
				Lot 21, #14 Manzas Pl, Nowergup 6032	1:1000	
					DWG	4050

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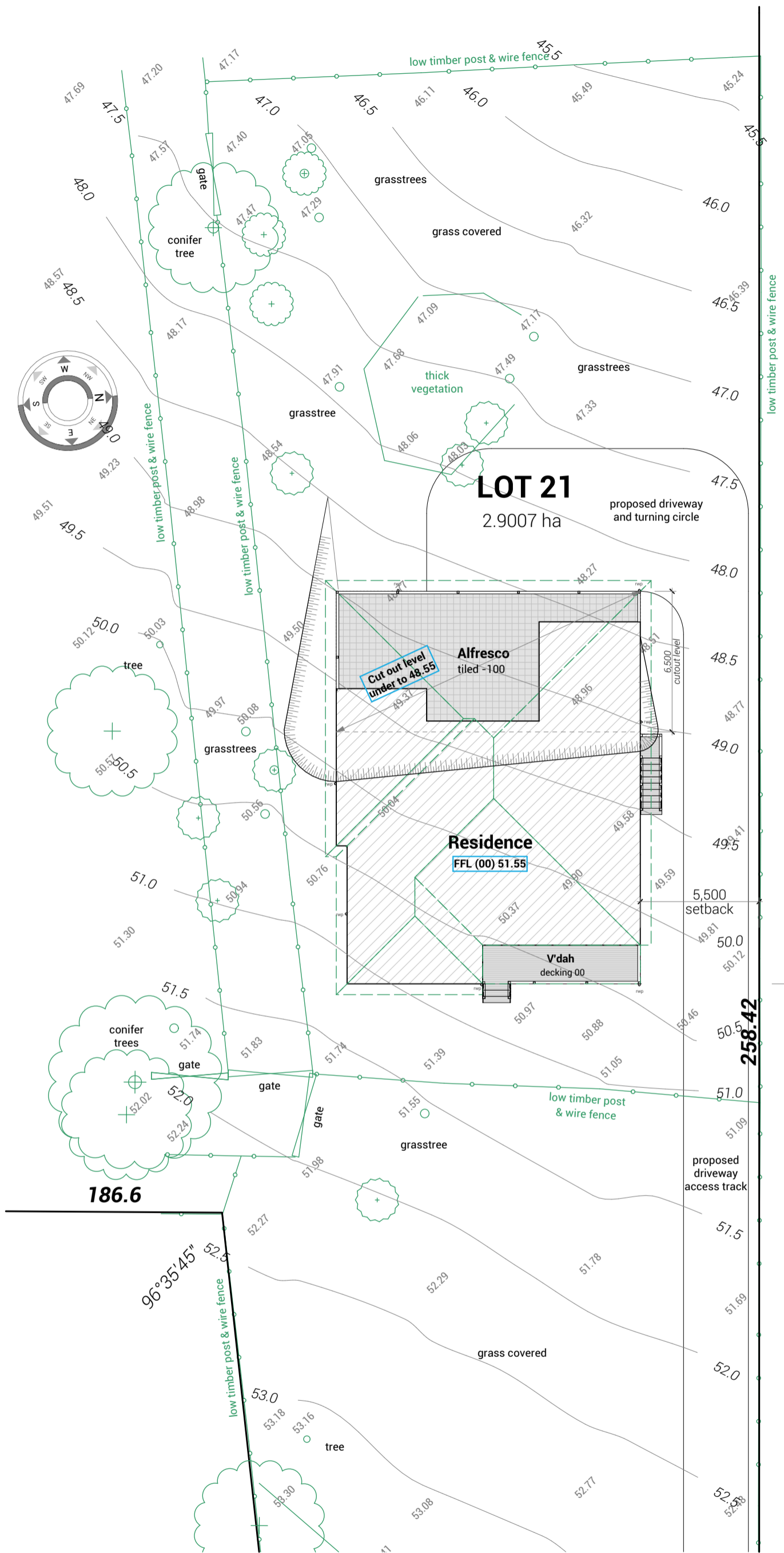
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Proposed Site Plan
Scale 1:200

REFERENCE NAIL IN BITUMEN R.L. 54.34
(APPROX. A.H.D. FROM BENCH MARK MSL 11)

Gibbs Road
bitumen



BAL NOTES

FLOORS
Concrete slab on ground or enclosure by external wall, metal mesh as above or flooring less than 400mm above natural ground level to be non-combustable, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation

EXTERNAL WALLS
Non-combustible material or timber framed walls sarked on the outside and clad with 6mm fibre cement sheeting or steel sheeting or bushfire resistant timber

EXTERNAL WINDOWS
5 mm toughened glass with openable portion screened and frame of metal or metal reinforced PVC-U, or bushfire resisting timber and portion within 400mm of ground, deck etc. screened

EXTERNAL DOORS
Screened with steel, bronze or aluminium mesh or noncombustible, or 35 mm solid timber for 400 mm above threshold. Metal or bushfire resisting timber framed tight-fitting with weather strips at base

ROOFS
Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sarked

V'DAHS, DECKS ETC.
Enclosed sub-floor space or non-combustible supports. Decking to be non-combustible

BAL 29

Proposed Site Plan

Scale 1:200



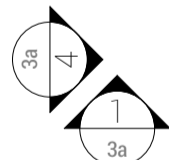
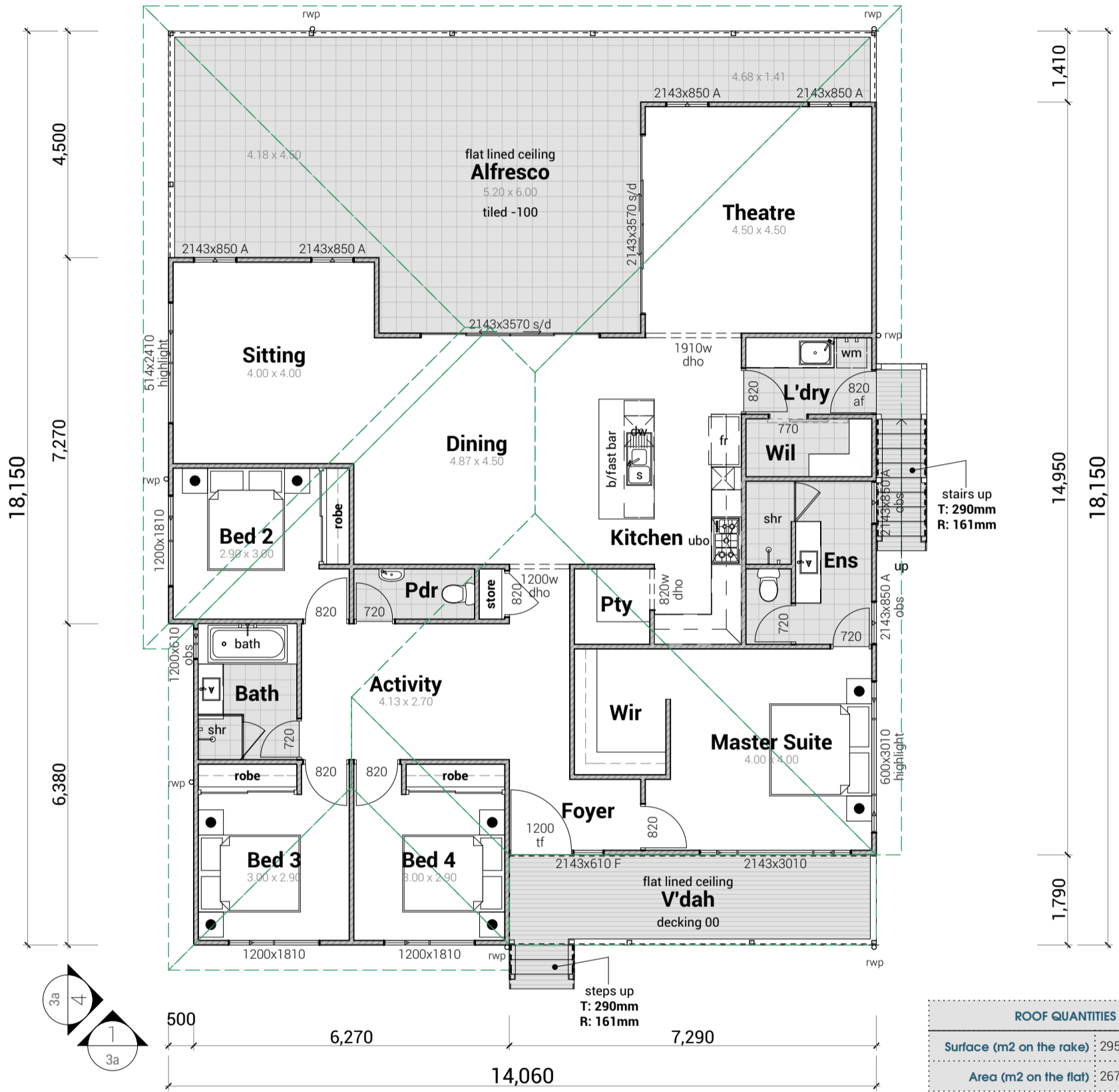
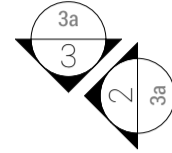
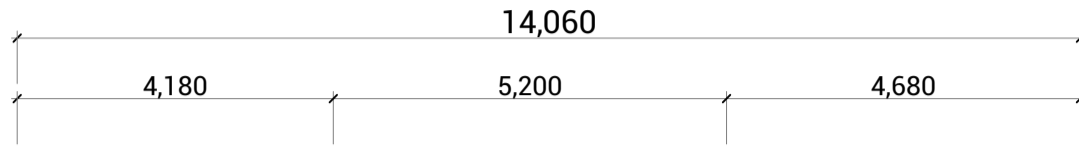
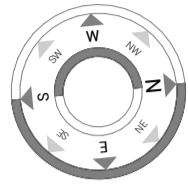
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TEL 08 9398 2139 | MOB 0417 945 820 | ABN 33085773190

DRAWN	DATE	CHECK	DESCR	CLIENT
SD	16.06.21		DA-0	Bailey
				PROJECT
				Proposed Residence
				ADDRESS
				Lot 21, #14 Manzas Pl, Nowergup 6032

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DWG 4050

55,000 setback
258.42
5,500 setback
LOT 7



ROOF QUANTITIES (25 deg)	
Surface (m2 on the rake)	295.01
Area (m2 on the flat)	267.37

Roof Area (5 deg)	
Surface (m2 on the rake)	13.10
Area (m2 on the flat)	13.05

	Area	Perim
Residence	182.34	64.600
Alfresco	56.56	40.120
V'dah	13.05	18.160
Total	251.95 m²	

Proposed Floor Plan

Scale 1:100

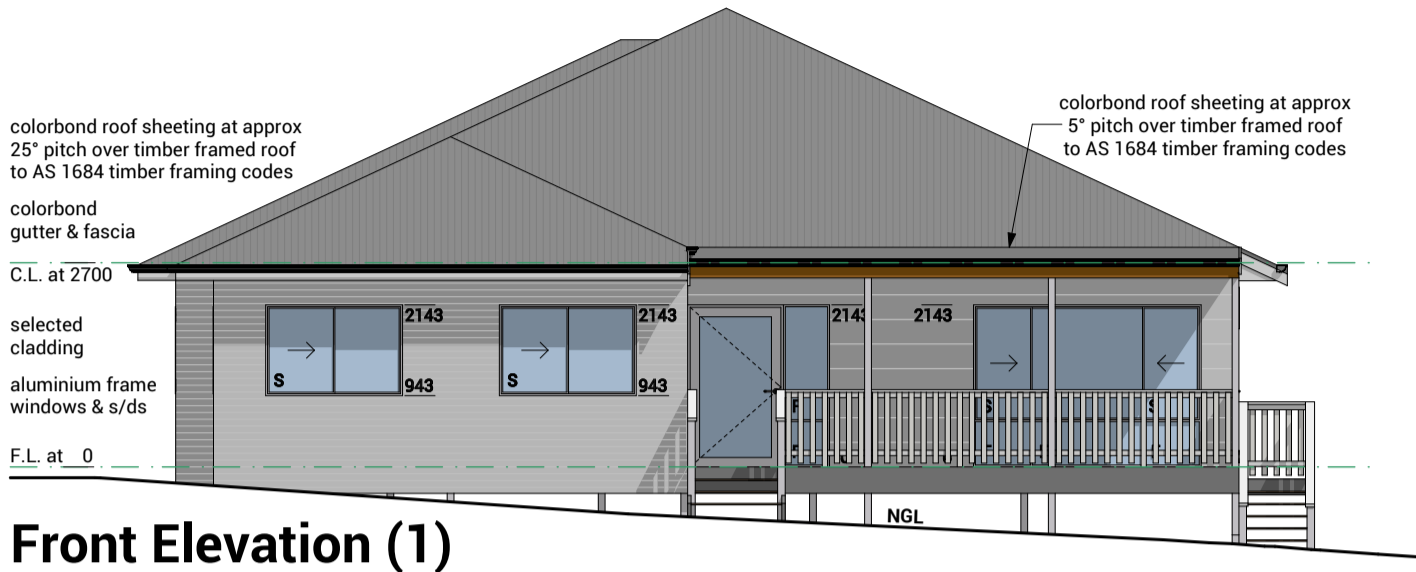
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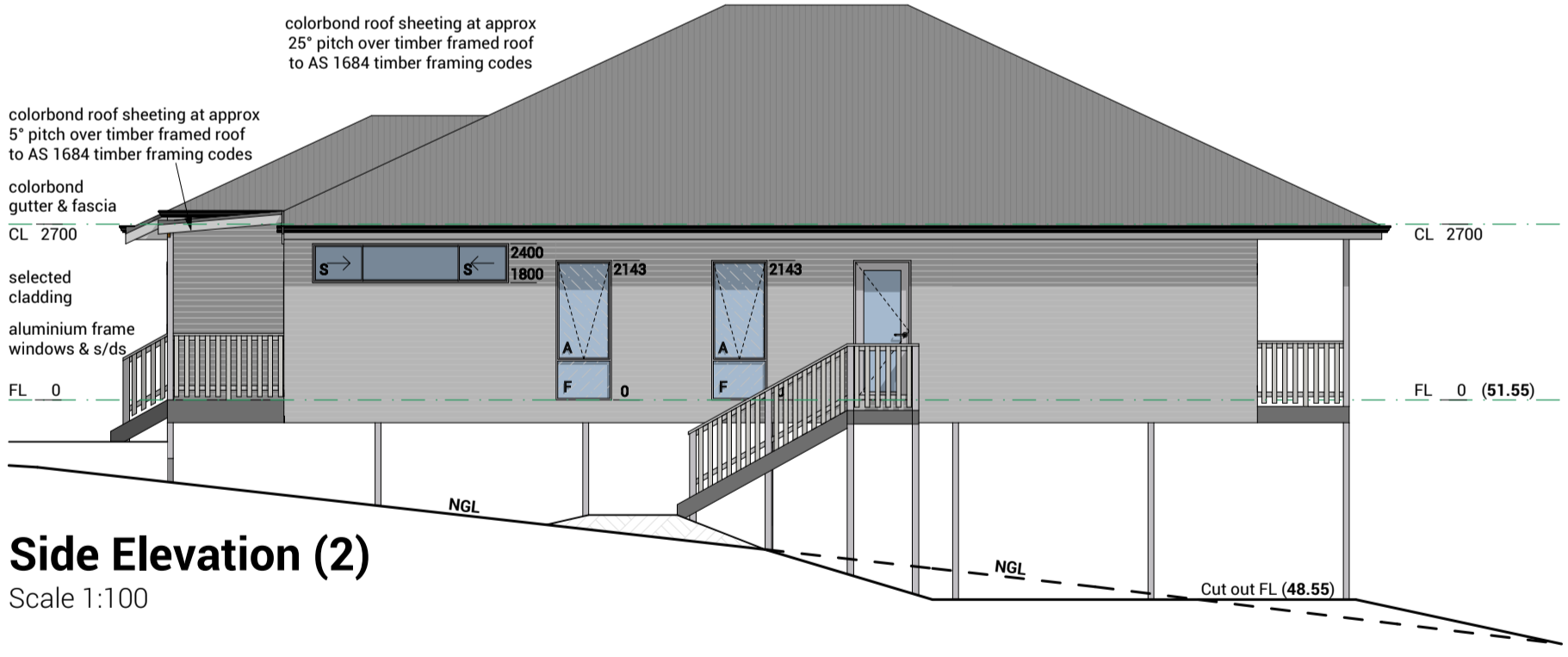
CLIENT: Bailey
 PROJECT: Proposed Residence
 ADDRESS: Lot 21, #14 Manzas Pl, Nowergup 6032

NOTE
 - 2700 Ceilings throughout unless otherwise noted
 - Timber framed stud walls unless otherwise noted
 - Windows subject to change to comply with N.C.C. light & ventilation requirements

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 SCALE: 1:100
 DWG: 4050



Front Elevation (1)
Scale 1:100



Side Elevation (2)
Scale 1:100

colorbond roof sheeting at approx
25° pitch over timber framed roof
to AS 1684 timber framing codes

colorbond
gutter & fascia

CL 2700

selected
cladding

aluminium frame
windows & s/ds

FL 0 (51.55)



Rear Elevation (3)

Scale 1:100

colorbond roof sheeting at approx
25° pitch over timber framed roof
to AS 1684 timber framing codes

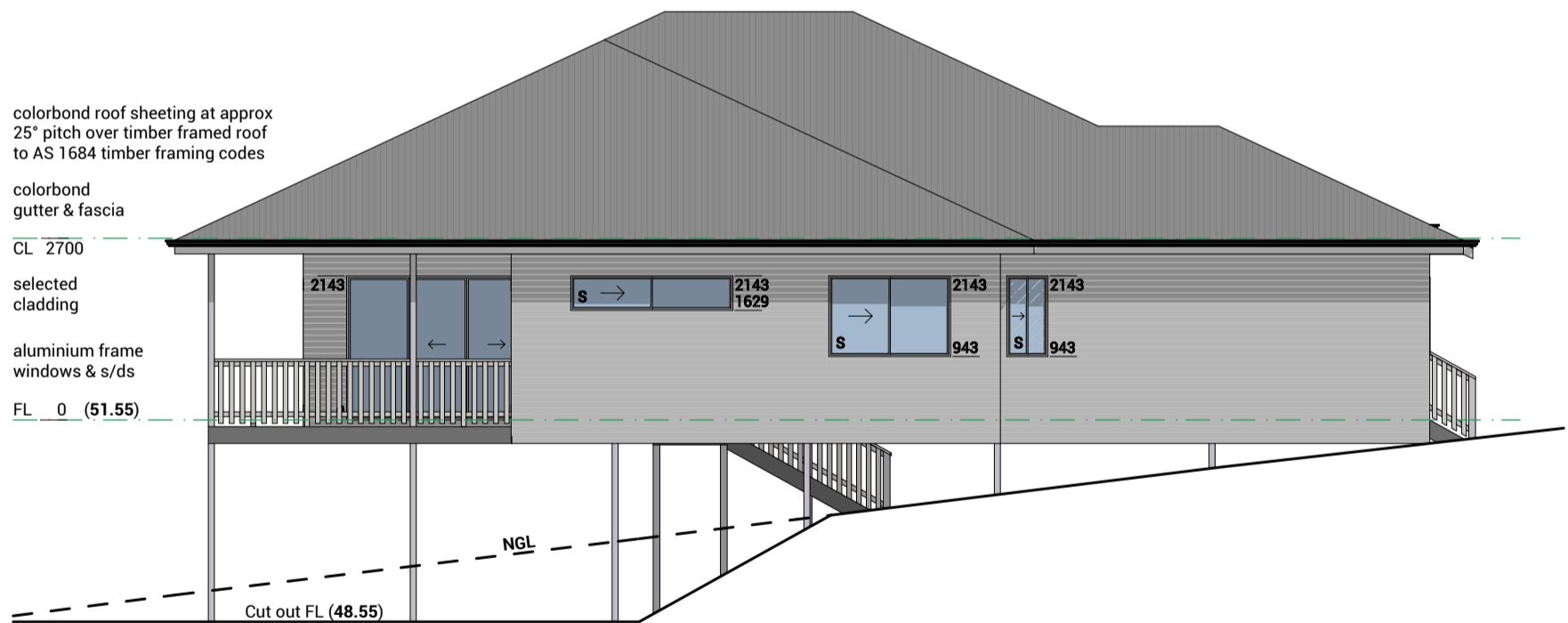
colorbond
gutter & fascia

CL 2700

selected
cladding

aluminium frame
windows & s/ds

FL 0 (51.55)



Side Elevation (4)

Scale 1:100



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Bailey
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