

**Lot 40 (1257m<sup>2</sup>)**

**DEVELOPMENT APPLICATION NOTE:**  
 PLANS FOR AMENDED DEVELOPMENT APPLICATION  
 PURPOSES ONLY. PLANS ARE NOT FOR CONSTRUCTION  
 OR BUILDING APPROVAL.

**SITE COVERAGE NOTE:**

PARENT LOT SIZE - 1257m<sup>2</sup>  
 PROPOSED COVERAGE - 696.370m<sup>2</sup> (55.39%)  
 PROPOSED OPEN SPACE - 44.61%

**SITWORK NOTE:**

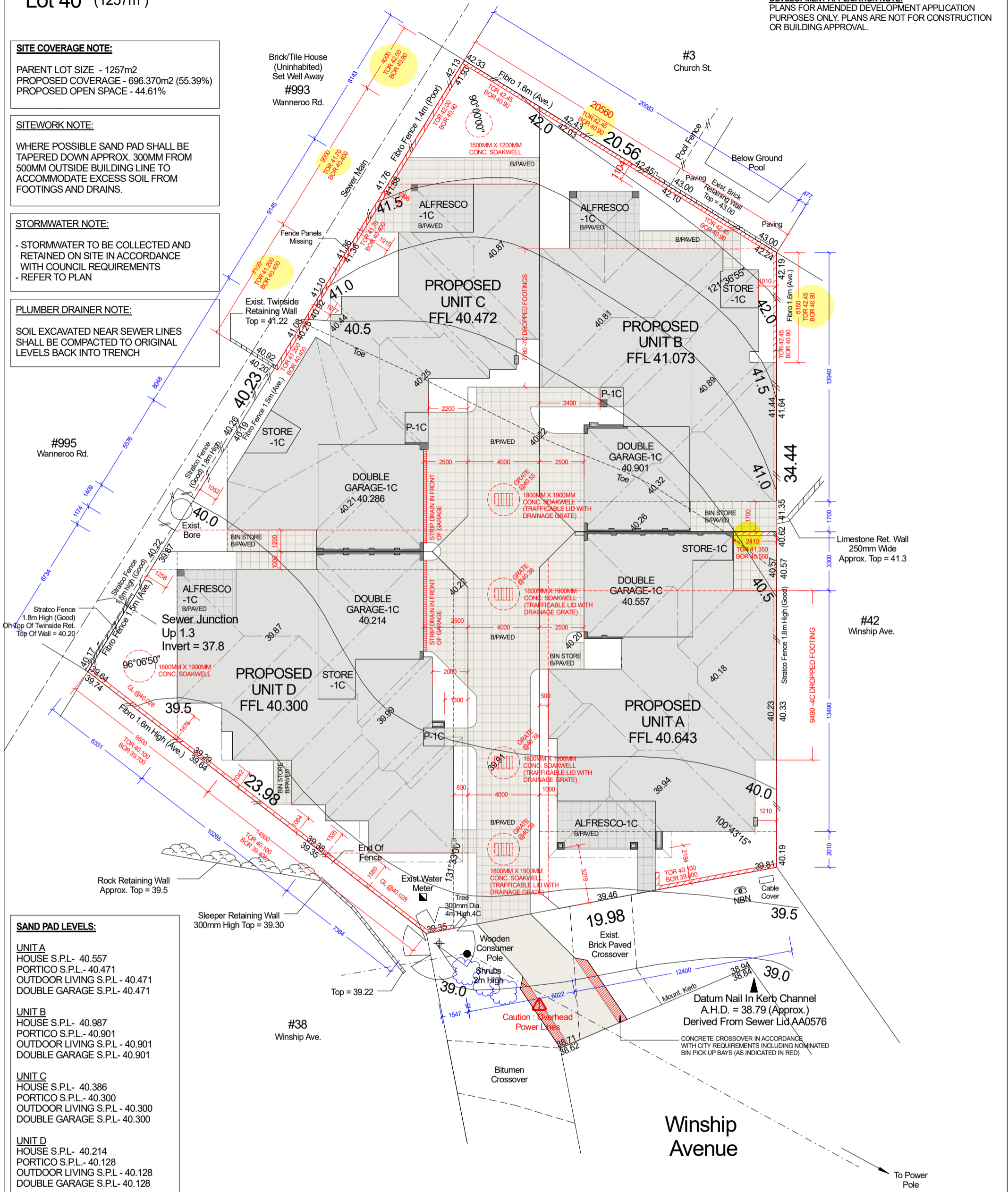
WHERE POSSIBLE SAND PAD SHALL BE  
 TAPERED DOWN APPROX. 300MM FROM  
 500MM OUTSIDE BUILDING LINE TO  
 ACCOMMODATE EXCESS SOIL FROM  
 FOOTINGS AND DRAINS.

**STORMWATER NOTE:**

- STORMWATER TO BE COLLECTED AND  
 RETAINED ON SITE IN ACCORDANCE  
 WITH COUNCIL REQUIREMENTS  
 - REFER TO PLAN

**PLUMBER DRAINER NOTE:**

SOIL EXCAVATED NEAR SEWER LINES  
 SHALL BE COMPACTED TO ORIGINAL  
 LEVELS BACK INTO TRENCH



**SAND PAD LEVELS:**

- UNIT A**  
 HOUSE S.P.L- 40.557  
 PORTICO S.P.L- 40.471  
 OUTDOOR LIVING S.P.L - 40.471  
 DOUBLE GARAGE S.P.L- 40.471
- UNIT B**  
 HOUSE S.P.L- 40.987  
 PORTICO S.P.L- 40.901  
 OUTDOOR LIVING S.P.L - 40.901  
 DOUBLE GARAGE S.P.L- 40.901
- UNIT C**  
 HOUSE S.P.L- 40.386  
 PORTICO S.P.L- 40.300  
 OUTDOOR LIVING S.P.L - 40.300  
 DOUBLE GARAGE S.P.L- 40.300
- UNIT D**  
 HOUSE S.P.L- 40.214  
 PORTICO S.P.L- 40.128  
 OUTDOOR LIVING S.P.L - 40.128  
 DOUBLE GARAGE S.P.L- 40.128

Address: **LOT 40 (No. 40)**  
 Winship Avenue, Wanneroo

Client: **Central Avenue Homes**

Local Authority: City Of Wanneroo

Plan/Dia: P. 9589 C/T Vol: 336/37a

Map Reference: Map 167,A:1

Date: 25/06/21 Scale: 1:200



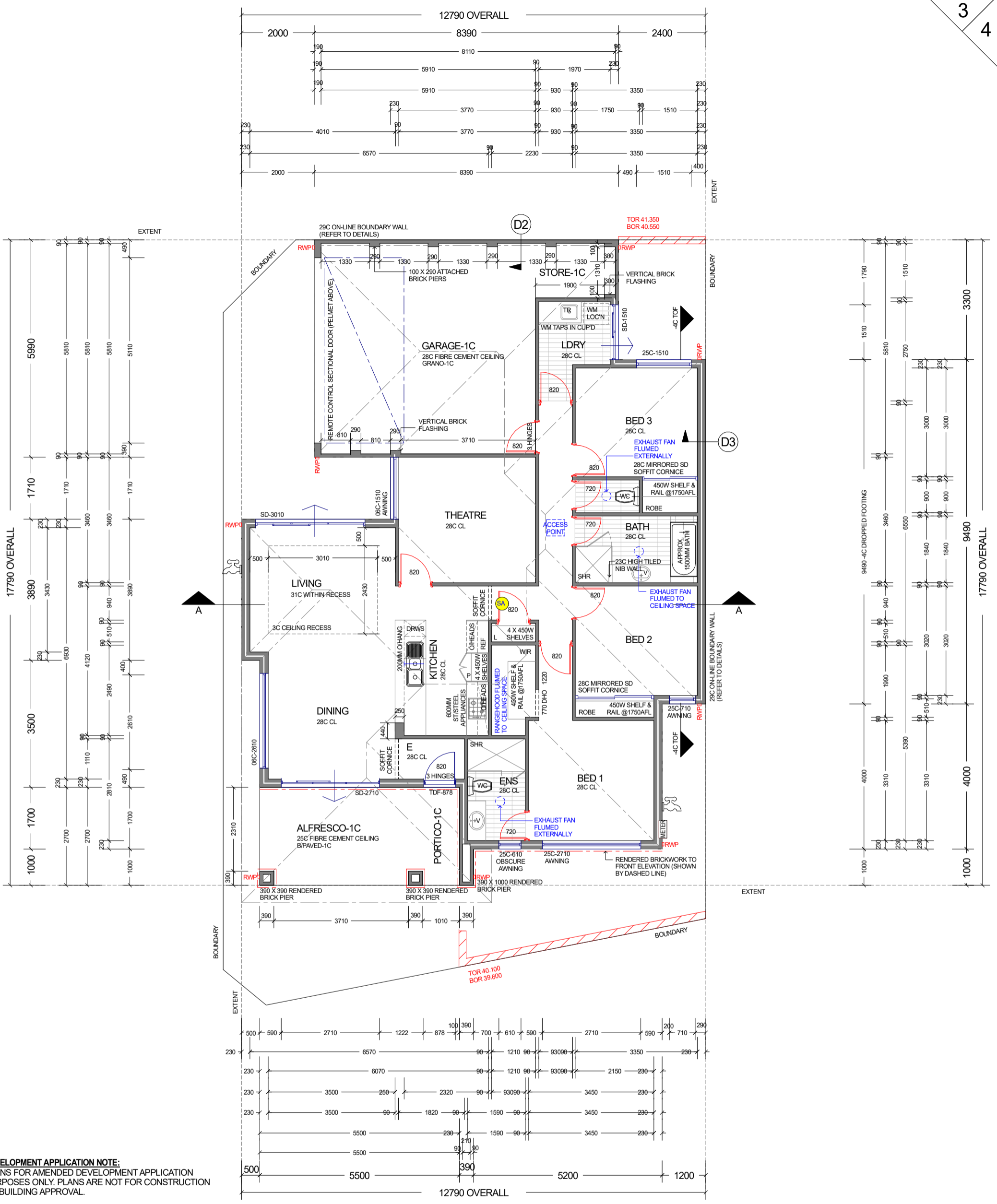
Sheet Job No. **3320**

Footpath:	No	Road:	Bitumen
Water:	Yes	Kerb:	Mountable
Telstra:	Yes	Electricity:	Overhead
Gas:	Yes	Soil:	Sandy/Clay
Drainage:	Avge	Vegetation:	Cleared
Re-Peg:	Yes	Sewer:	Yes Depth: 1.9m

DRAWN	DATE	CHKD	DESCRIPTION
A.M	13/07/21	A.M	DAAMENDMENT PLANS

Notes: Owner to Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.

Our Job No. 71336 **Drake Surveys**  
 61 FYFE CIRCLE  
 BULLCREEK, WA 6149  
 PH 9332 4948  
 FAX 9332 3014

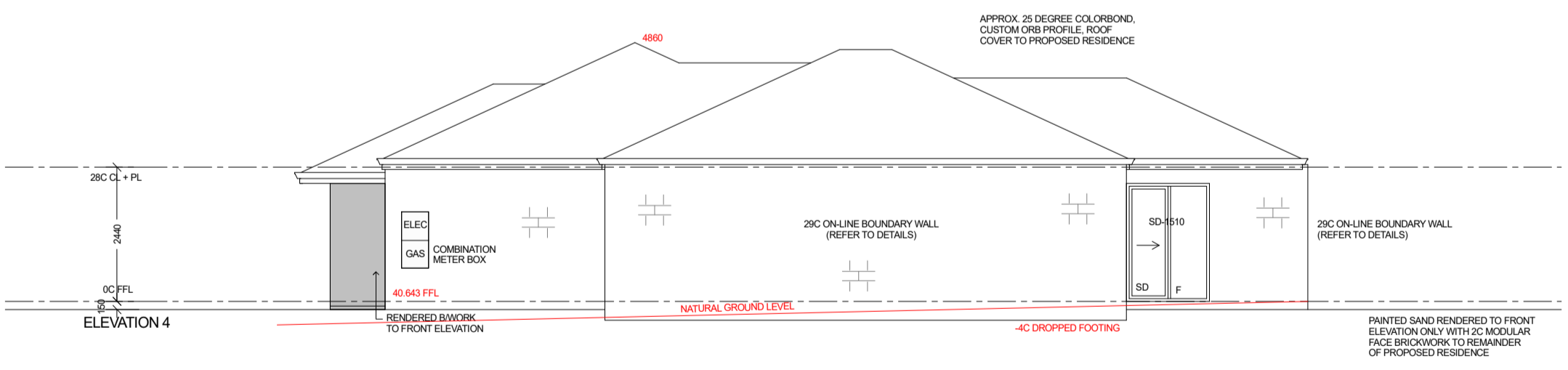
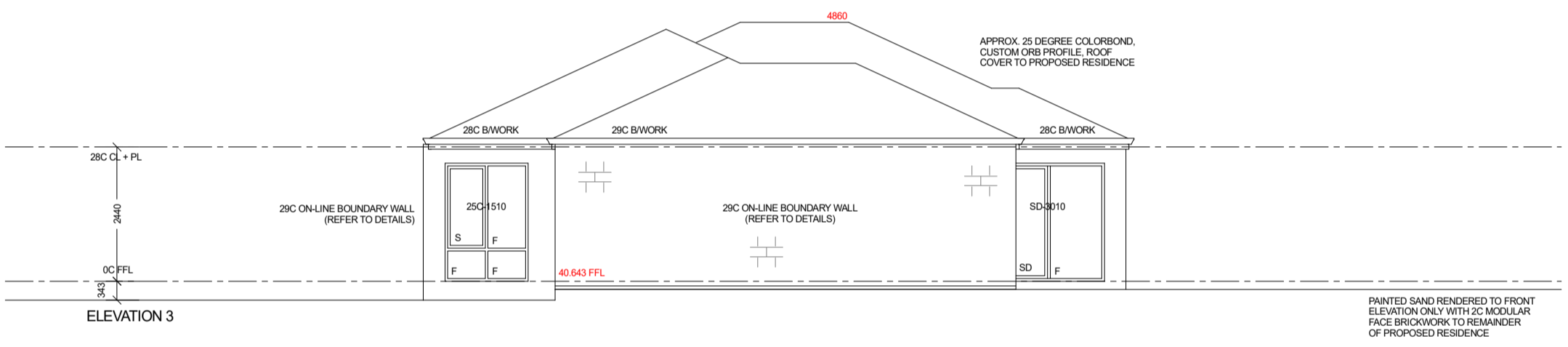
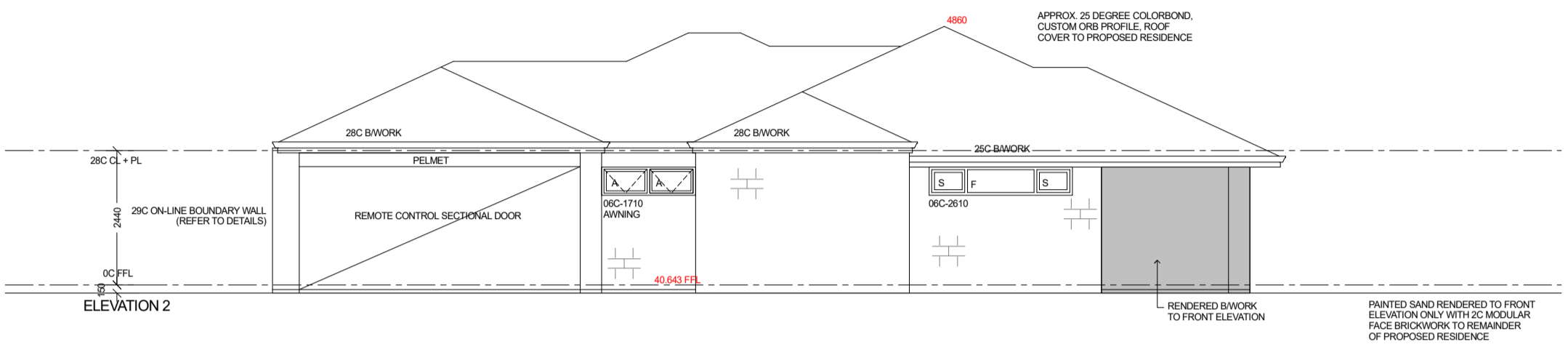
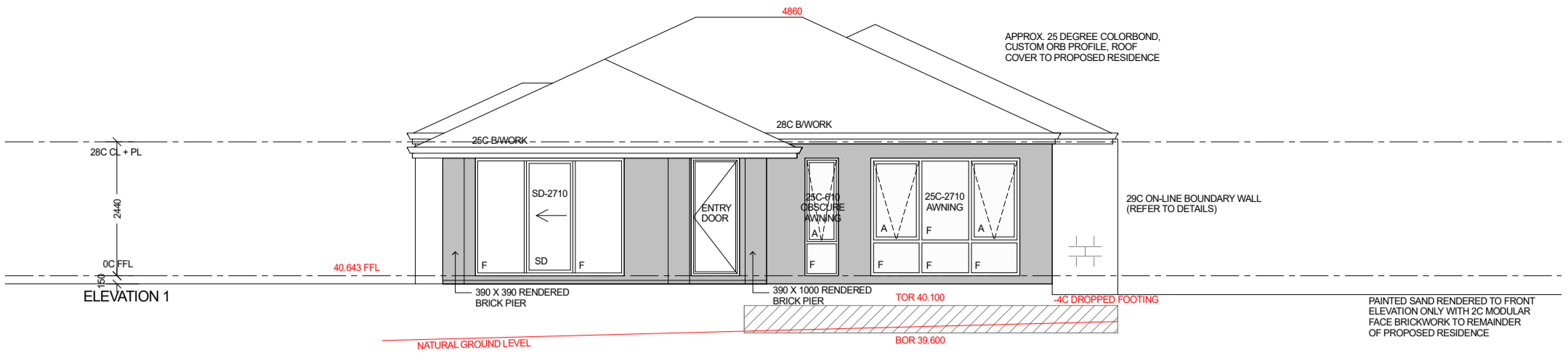


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- |                |  |   |   |   |
|----------------|--|---|---|---|
| <p>2<br/>1</p> | <p>1. CONTRACTORS MUST VERIFY DIMENSIONS AT THE JOB BEFORE MAKING ANY SHOP DRAWING. REFER DISCREPANCIES TO THE BUILDER BEFORE PROCEEDING WITH WORK CONCERNED</p> | <p>2. ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING<br/>3. UNLESS OTHERWISE INDICATED ALL WALL THICKNESSES ARE TO READ AS:<br/>EXTERNAL - 230 INTERNAL - 90</p> | <p>4. RAINWATER DOWNPIPE (RWP) POSITIONS ARE INDICATIVE ONLY - ROOF PLUMBER SHALL DETERMINE FINAL POSITIONS ON SITE<br/>5. STEEL ROOF STRUCTURE IN ACCORDANCE WITH AUSTRALIAN STANDARDS</p> | <p>6. SMOKE ALARM DEVICE/S SHALL BE INSTALLED TO:<br/>- COMPLY WITH AS3786-2014 SMOKE ALARMS<br/>- USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION<br/>- INTERCONNECTED AND HARDWIRED<br/>- LOCATION OF THE SMOKE ALARM DEVICE/S SHALL BE AS SHOWN ON PLAN</p> |
|----------------|--|---|---|---|

No. **3320 - A** PROPOSED DWELLING FOR: **MARKO KRUGER AT: LOT 40 (#40) WINSHIP AVE, WANNEROO**

<p>Unit 1/27 Erceg Rd, Yangebup WA 6164 PH: 9456 3366 Email: adminassist@centralavenuehomes.com.au</p>	<p><b>GROUND FLOOR PLAN</b></p>	<p>LOCATION</p>	<p>AREA</p>	<p>PERIMETER</p>	<p>SCALE 1 : 100</p>	<p>DRWG No. 1 OF 6</p>	<p>THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT</p>
	<p>GROUND FLOOR AREA GARAGE/STORE AREA ALFRESCO AREA</p>	<p>131.207m<sup>2</sup> 39.843m<sup>2</sup> 15.236m<sup>2</sup></p>	<p>(55.953m)</p>	<p>GROUND ROOF AREA TOTAL AREA</p>	<p>190.548m<sup>2</sup> 186.286m<sup>2</sup></p>	<p>(65.720m)</p>	<p>DRAWN DATE CHKD DESCRIPTION</p> <p>A.M. 13/07/21 A.M. DAAMENDMENT PLANS</p>



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 - LOCATION OF THE SMOKE ALARM DEVICE/S SHALL BE AS SHOWN ON PLAN

No. **3320 - A** PROPOSED DWELLING FOR: **MARKO KRUGER AT: LOT 40 (#40) WINSHIP AVE, WANNEROO**

DWG.	ELEVATIONS	LOCATION	AREA	PERIMETER	SCALE	1 : 100	DRWG No.	2 OF 6		THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT	
								DRAWN	DATE	CHKD	DESCRIPTION
		GROUND FLOOR AREA	131.207m <sup>2</sup>	(55.953m)							
		GARAGE/STORE AREA	39.843m <sup>2</sup>								
		ALFRESCO AREA	15.236m <sup>2</sup>								
		GROUND ROOF AREA	190.548m <sup>2</sup>	(65.720m)							
		TOTAL AREA	186.286m <sup>2</sup>								

**Central Avenue Homes**  
 Unit 1/27 Erceg Rd, Yangebup WA 6164  
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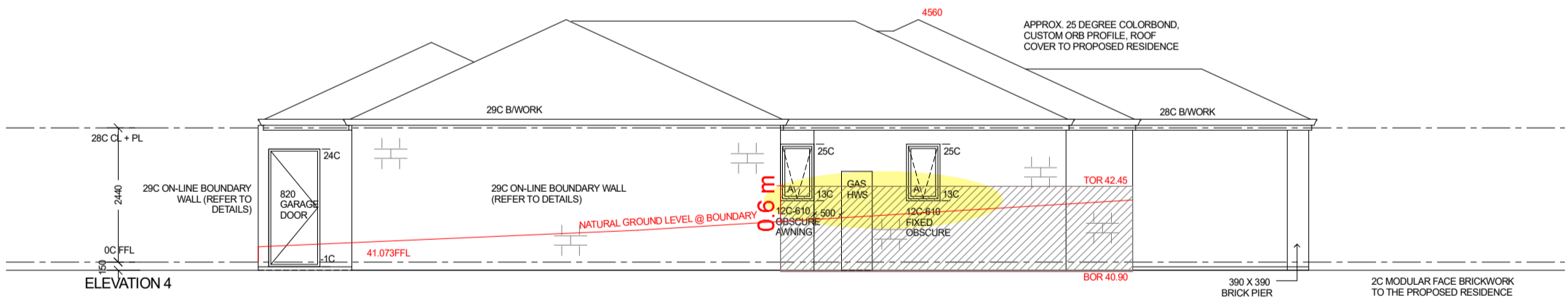
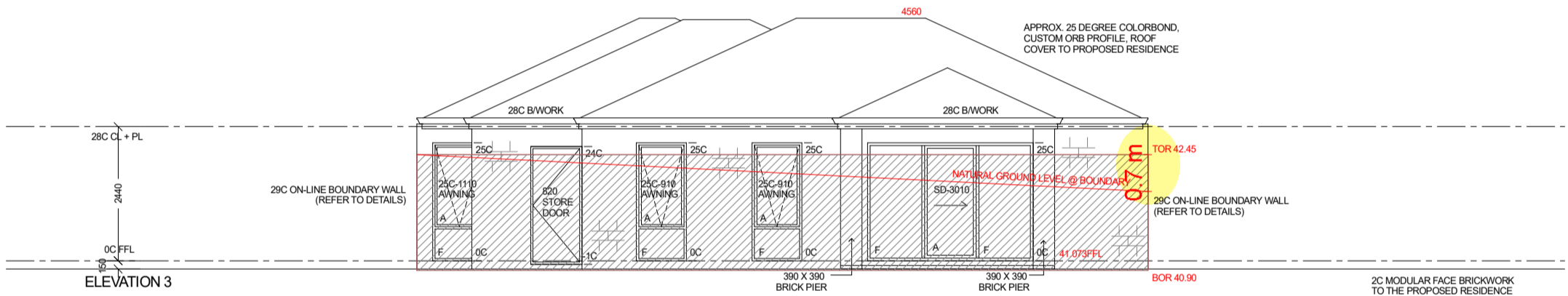
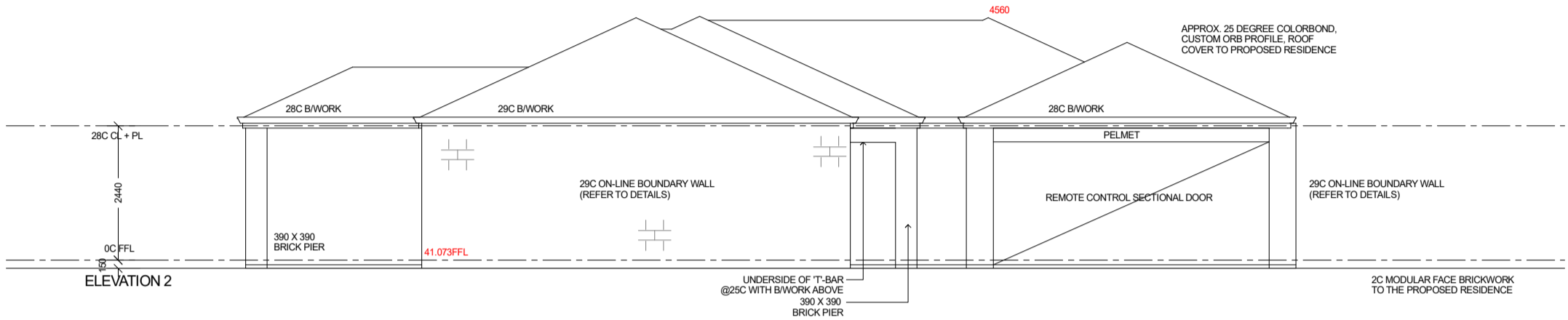
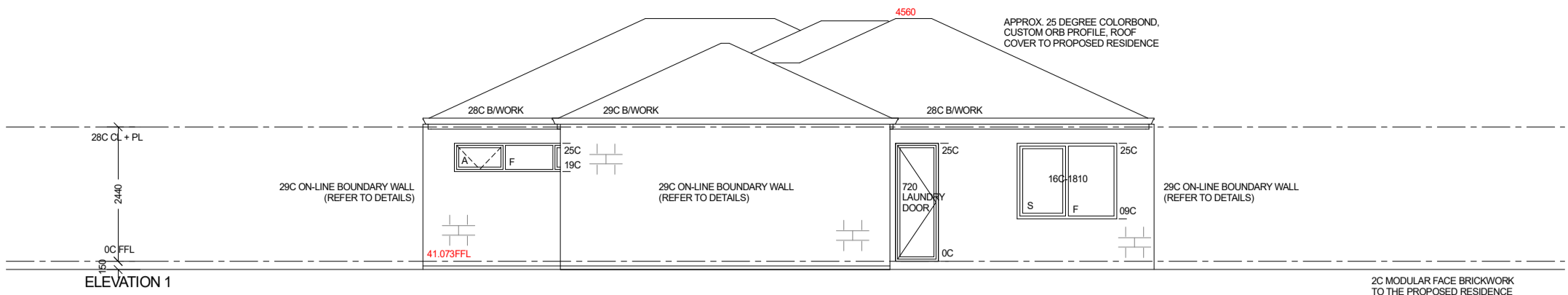


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|---|---|--|---|

No. **3320 - B** PROPOSED DWELLING FOR: **MARKO KRUGER AT: LOT 40 (#40) WINSHIP AVE, WANNEROO**

DWG. GROUND FLOOR PLAN		LOCATION	AREA	PERIMETER	SCALE	1 : 100	DRWG No.	1 OF 6	THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT	
<p>Unit 1/27 Erceg Rd, Yangebup WA 6164                      PH: 9456 3366 Email: adminassist@centralavenuehomes.com.au</p>		GROUND FLOOR AREA	135.317m <sup>2</sup>	(68.480m)	DRAWN	DATE	CHKD	DESCRIPTION	OWNER _____ BUILDER _____	
		GARAGE/STORE AREA	40.384m <sup>2</sup>		A.M.	13/07/21	A.M.	DAAMENDMENT PLANS	OWNER _____	
		ALFRESCO AREA	9.900m <sup>2</sup>						COPYRIGHT THIS PLAN IS COVERED BY COPYRIGHT. COPYRIGHT EXISTS IN WHOLE, IN PART AND IN CONCEPT. DISCUSSION WITH ANY PARTY FOR THE PURPOSE OF COMMENT, COSTING, REDESIGN OR CONSTRUCTION IN ANY FORM WITHOUT FORMAL WRITTEN PERMISSION OF CENTRAL AVENUE HOMES WILL BE DEEMED A BREACH OF COPYRIGHT.	
		PORTICO AREA	1.485m <sup>2</sup>							
		GROUND ROOF AREA	194.438m <sup>2</sup>	(66.460m)						
		TOTAL AREA	187.086m <sup>2</sup>							



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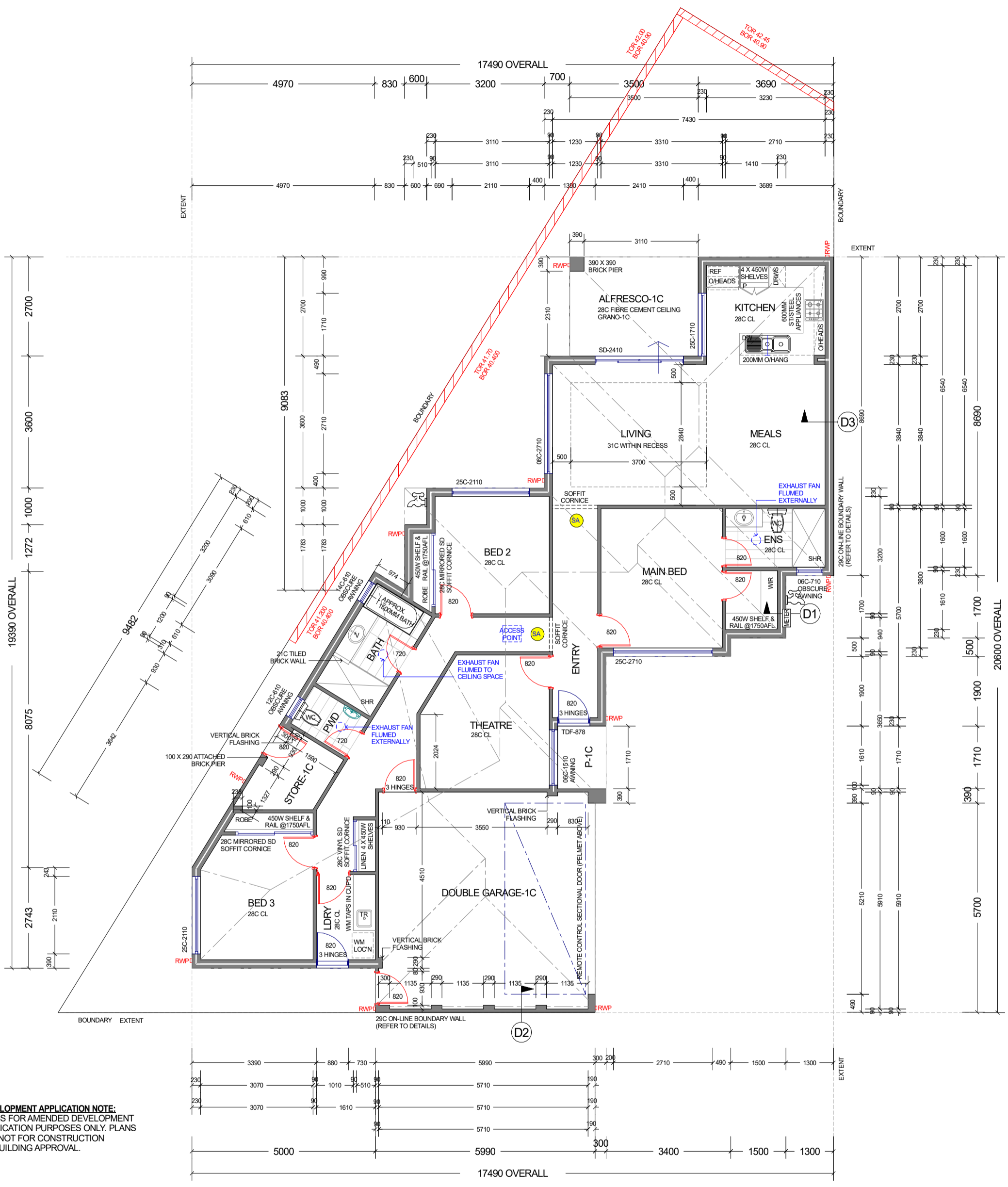
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									OWNER	BUILDER
		GROUND FLOOR AREA	135.317m <sup>2</sup>	(68.480m)	DRAWN	DATE	CHKD	DESCRIPTION		
		GARAGE/STORE AREA	40.384m <sup>2</sup>		A.M.	13/07/21	A.M.	DAAMENDMENT PLANS		
		ALFRESCO AREA	9.900m <sup>2</sup>							
		PORTICO AREA	1.485m <sup>2</sup>							
		GROUND ROOF AREA	194.438m <sup>2</sup>	(66.460m)						
		TOTAL AREA	187.086m <sup>2</sup>							

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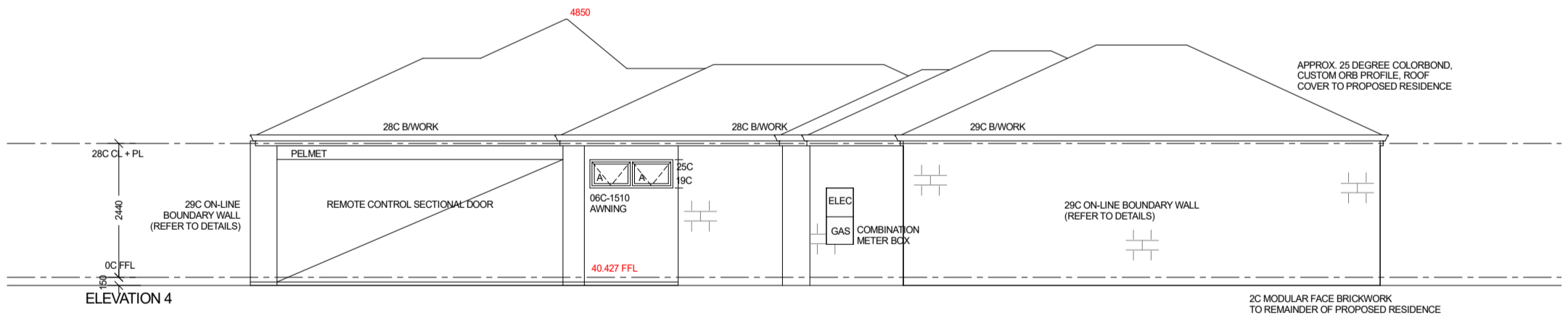
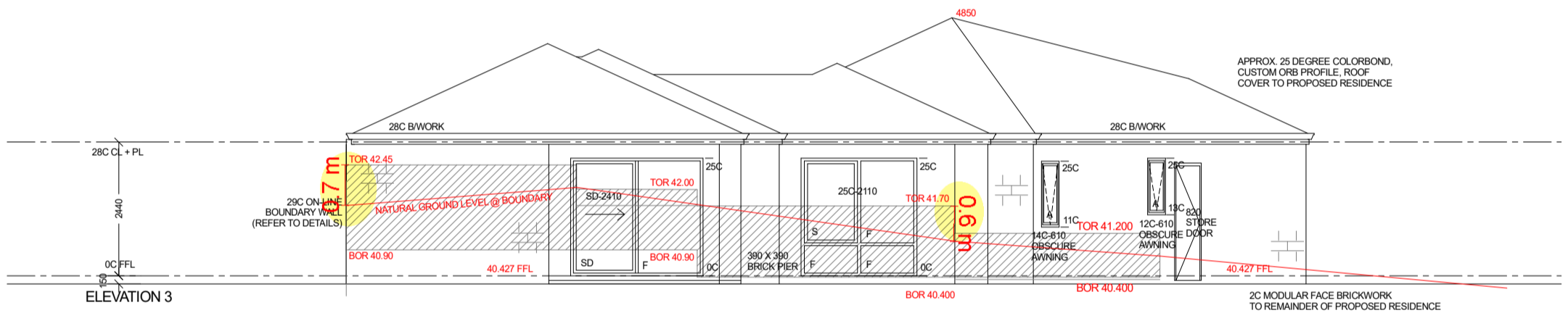
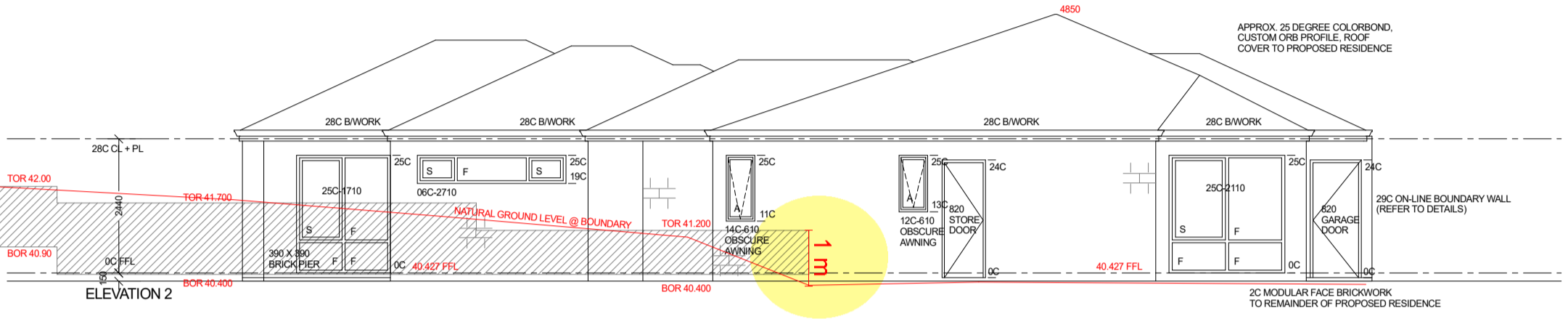
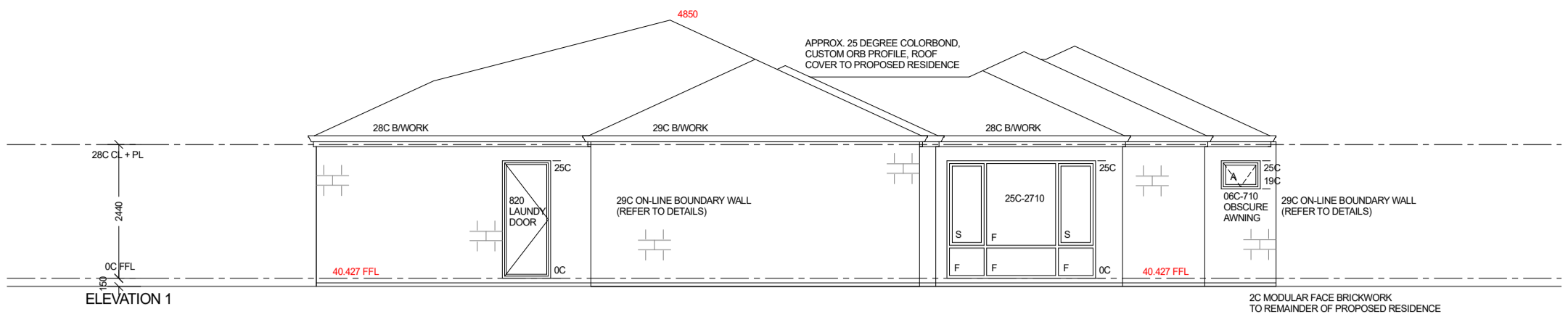
No. **3320 - C** PROPOSED DWELLING FOR: **MARKO KRUGER AT: LOT 40 (#40) WINSHIP AVE, WANNEROO**

DWG.	LOCATION	AREA	PERIMETER	SCALE 1 : 100			DRWG No. 1 OF 6	THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT	
				DRAWN	DATE	CHKD		DESCRIPTION	OWNER
GROUND FLOOR PLAN	GROUND FLOOR AREA	140.428m <sup>2</sup>	(73.938m)						
	GARAGE AREA	35.600m <sup>2</sup>							
	ALFRESCO AREA	9.450m <sup>2</sup>							
	PORTICO AREA	2.374m <sup>2</sup>							
	STORE AREA	4.376m <sup>2</sup>							
	GROUND ROOF AREA	191.584m <sup>2</sup>	(72.972m)						
	TOTAL AREA								



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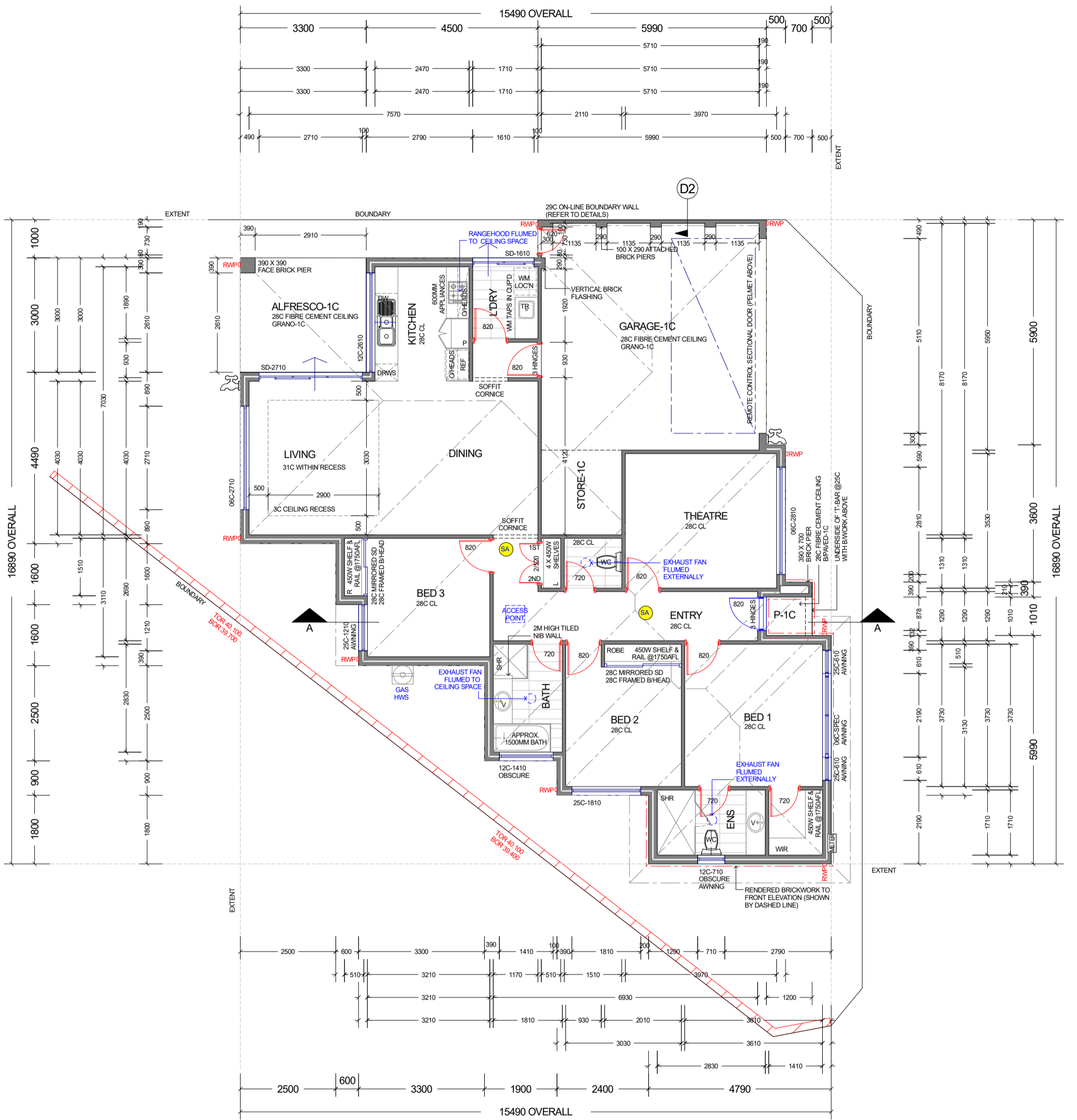
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CA	Central Avenue Homes	GROUND FLOOR AREA	140.428m <sup>2</sup>	(73.938m)	DRAWN	DATE	CHKD	DESCRIPTION	OWNER	BUILDER
		GARAGE AREA	35.600m <sup>2</sup>							
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		PORTICO AREA	2.374m <sup>2</sup>							
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		GROUND ROOF AREA	191.584m <sup>2</sup>	(72.972m)						
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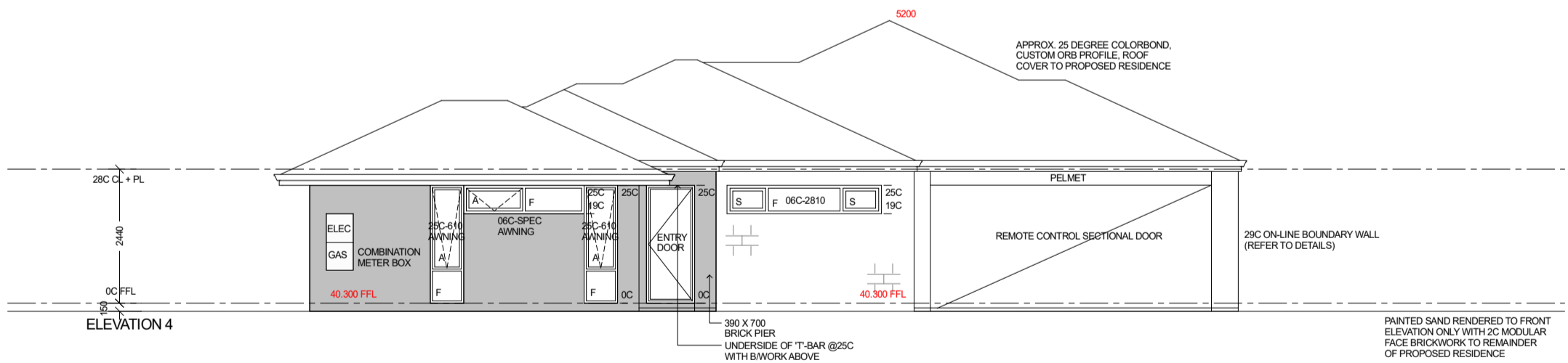
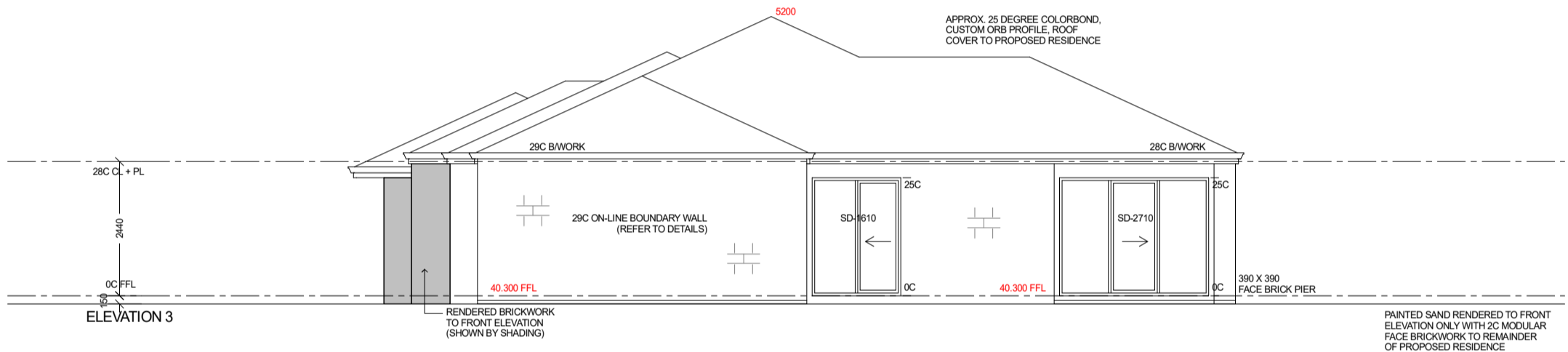
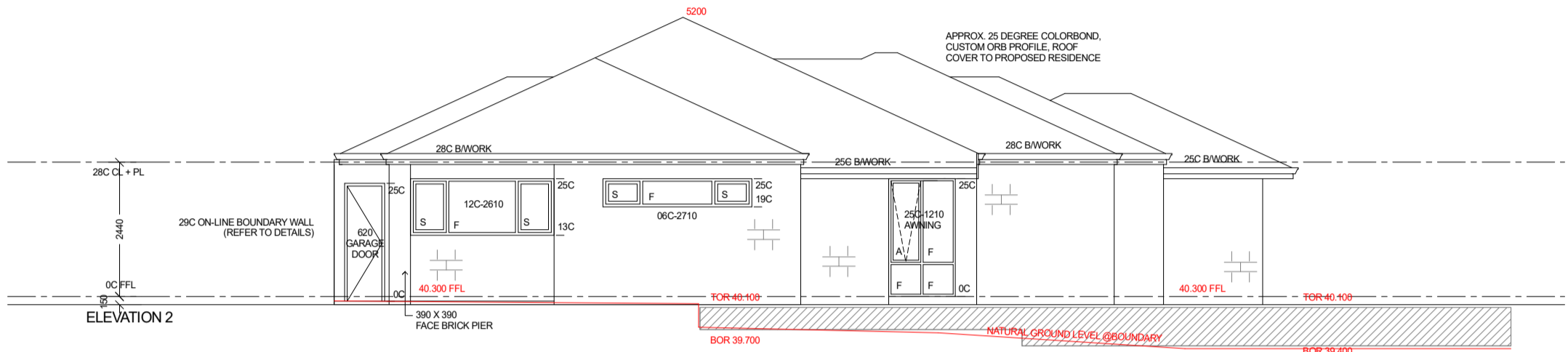
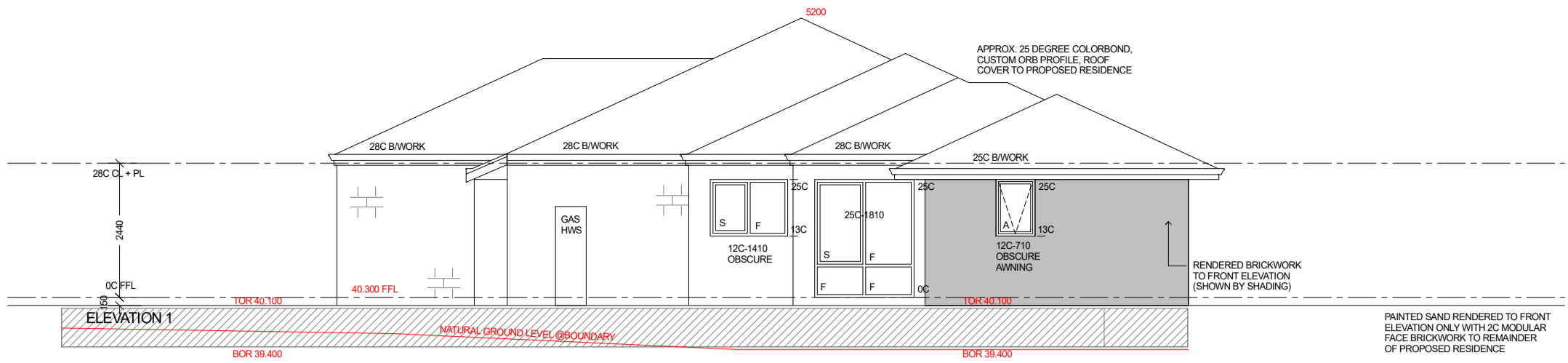
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		ALFRESCO AREA	9.900m <sup>2</sup>						OWNER _____	
		PORTICO AREA	1.485m <sup>2</sup>						OWNER _____	
		GROUND ROOF AREA	194.438m <sup>2</sup>	(66.460m)					COPYRIGHT	
		TOTAL AREA	187.086m <sup>2</sup>						THIS PLAN IS COVERED BY COPYRIGHT. COPYRIGHT EXISTS IN WHOLE, IN PART AND IN CONCEPT. DISCUSSION WITH ANY PARTY FOR THE PURPOSE OF COMMENT, COSTING, REDESIGN OR CONSTRUCTION IN ANY FORM WITHOUT FORMAL WRITTEN PERMISSION OF CENTRAL AVENUE HOMES WILL BE DEEMED A BREACH OF COPYRIGHT.	





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 PLANS FOR AMENDED DEVELOPMENT APPLICATION  
 PURPOSES ONLY. PLANS ARE NOT FOR CONSTRUCTION  
 OR BUILDING APPROVAL.

- CONTRACTORS MUST VERIFY DIMENSIONS AT THE JOB BEFORE MAKING ANY SHOP DRAWING. REFER DISCREPANCIES TO THE BUILDER BEFORE PROCEEDING WITH WORK CONCERNED
- ALL DIMENSIONS STRICTLY TO TAKE PREFERENCE OVER SCALING
- UNLESS OTHERWISE INDICATED ALL WALL THICKNESSES ARE TO READ AS:  
 EXTERNAL - 230 INTERNAL - 90
- RAINWATER DOWNPIPE (RWP) POSITIONS ARE INDICATIVE ONLY - ROOF PLUMBER SHALL DETERMINE FINAL POSITIONS ON SITE
- STEEL ROOF STRUCTURE IN ACCORDANCE WITH AUSTRALIAN STANDARDS
- SMOKE ALARM DEVICE/S SHALL BE INSTALLED TO:  
 - COMPLY WITH AS3786-2014 SMOKE ALARMS
- USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION  
 - INTERCONNECTED AND HARDWIRED  
 - LOCATION OF THE SMOKE ALARM DEVICE/S SHALL BE AS SHOWN ON PLAN

**No. 3320 - B PROPOSED DWELLING FOR: MARKO KRUGER AT: LOT 40 (#40) WINSHIP AVE, WANNEROO**

DWG.	ELEVATIONS	LOCATION	AREA	PERIMETER	SCALE	1 : 100	DRWG No.	2 OF 6	THESE ARE THE PLANS REFERRED TO IN OUR CONTRACT	
									OWNER	BUILDER
		GROUND FLOOR AREA	135.317m <sup>2</sup>	(68.480m)						
		GARAGE/STORE AREA	40.384m <sup>2</sup>							
		ALFRESCO AREA	9.900m <sup>2</sup>							
		PORTICO AREA	1.485m <sup>2</sup>							
		GROUND ROOF AREA	194.438m <sup>2</sup>	(66.460m)						
		TOTAL AREA	187.086m <sup>2</sup>							
					DRAWN	DATE	CHKD	DESCRIPTION		
					A.M.	13/07/21	A.M.	DAAMENDMENT PLANS		

**Central Avenue Homes**  
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