

PERCENTAGE OPEN SPACE	
OPEN AREA (m ²)	465m ²
SITE AREA (m ²)	322m ²
PERCENTAGE OPEN SPACE REQUIRED	50%
PERCENTAGE OPEN SPACE ACHIEVED	69.2%

SOLAR ACCESS FOR ADJOINING PROPERTY	
OVERSHADOWING AREA (m ²)	87.2m ²
SITE AREA (m ²)	591m ²
PERCENTAGE OVERSHADOWING ALLOWED	25%
PERCENTAGE OVERSHADOWING	14.75%

LANDSCAPING TO FRONT SETBACK	
FRONT SETBACK AREA (m ²)	97.09m ²
IMPERVIOUS SURFACE AREA (m ²)	61.48m ²
PERCENTAGE IMPERVIOUS SURFACE ALLOWED	50%
PERCENTAGE IMPERVIOUS SURFACE	63.32%

BUILDING AREAS	
GROUND FLOOR	171 m ²
GARAGE	49 m ²
ALFRESCO	21 m ²
UPPER FLOOR	114 m ²
Grand total	355 m ²

NOTE: HOUSE TO BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BAL RATING REQUIREMENTS AS PER AS3959

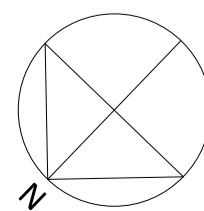
PRIVATE RESIDENCE
 11 (LOT 889) KINSALE DRIVE MINDARIE 6030
 NASH FAMILY

WESTSTYLE

5/103 Erindale Rd Balcatta WA 6021 9345 1565 9240 1103

www.weststyle.com.au

THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF WESTSTYLE AND MUST NOT BE GIVEN, LENT, REPRODUCED, COPIED OR OTHERWISE DISPOSED OF WITHOUT THE WRITTEN PERMISSION OF WESTSTYLE.



DRAWING SITE PLAN
 STATUS NOT FOR CONSTRUCTION
 SCALE 1:100 @ A1
 DRAWN MO

DATE 02-03-2022
 18-03-2022
 29-03-2022
 04-04-2022

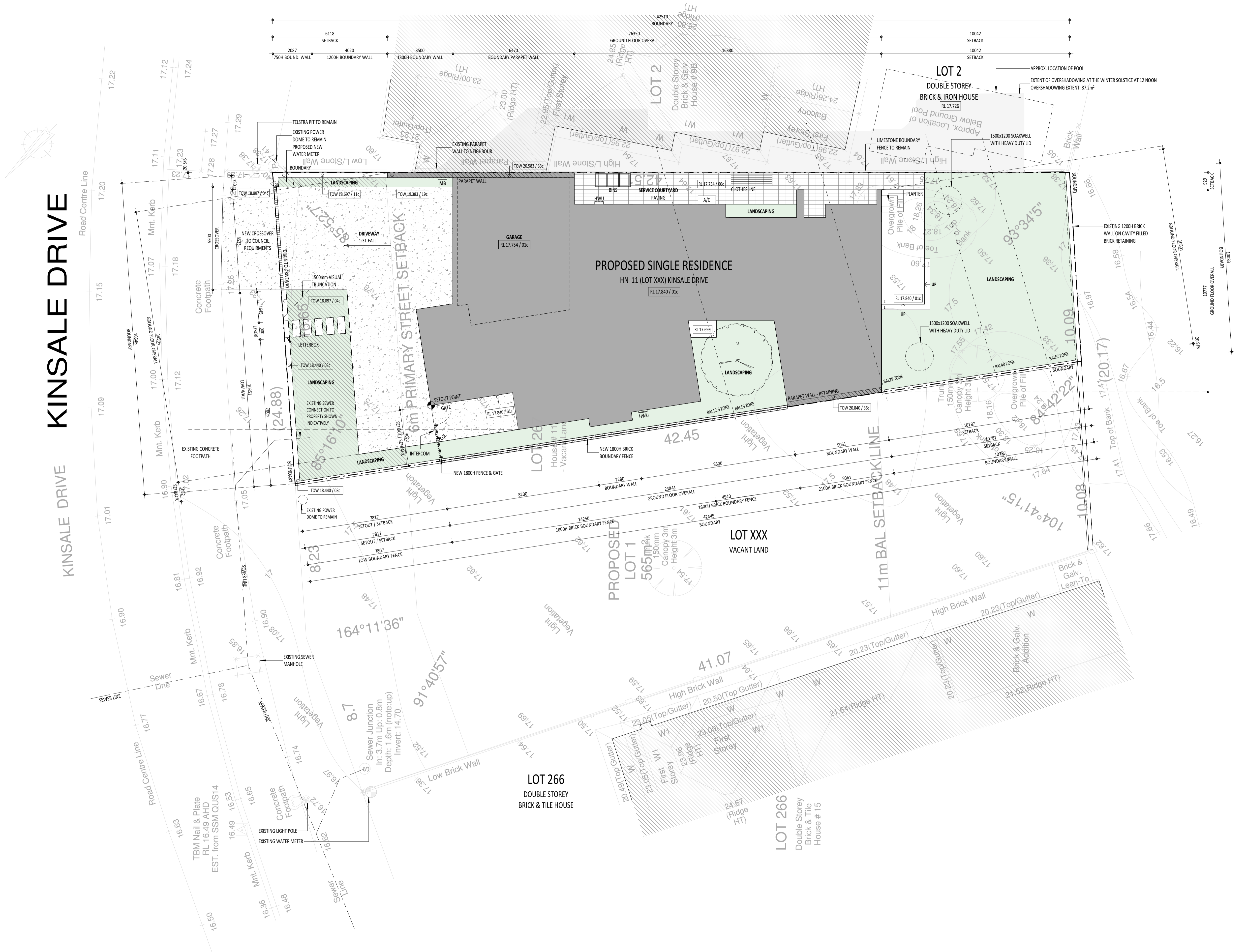
REV A
 B
 C
 D

NOTE
 TABLED AT CLIENT MEETING
 ISSUED TO CLIENTS FOR REVIEW
 ISSUED FOR INTERNAL REVIEW
 ISSUED FOR DEVELOPMENT APPROVAL APPLICATION

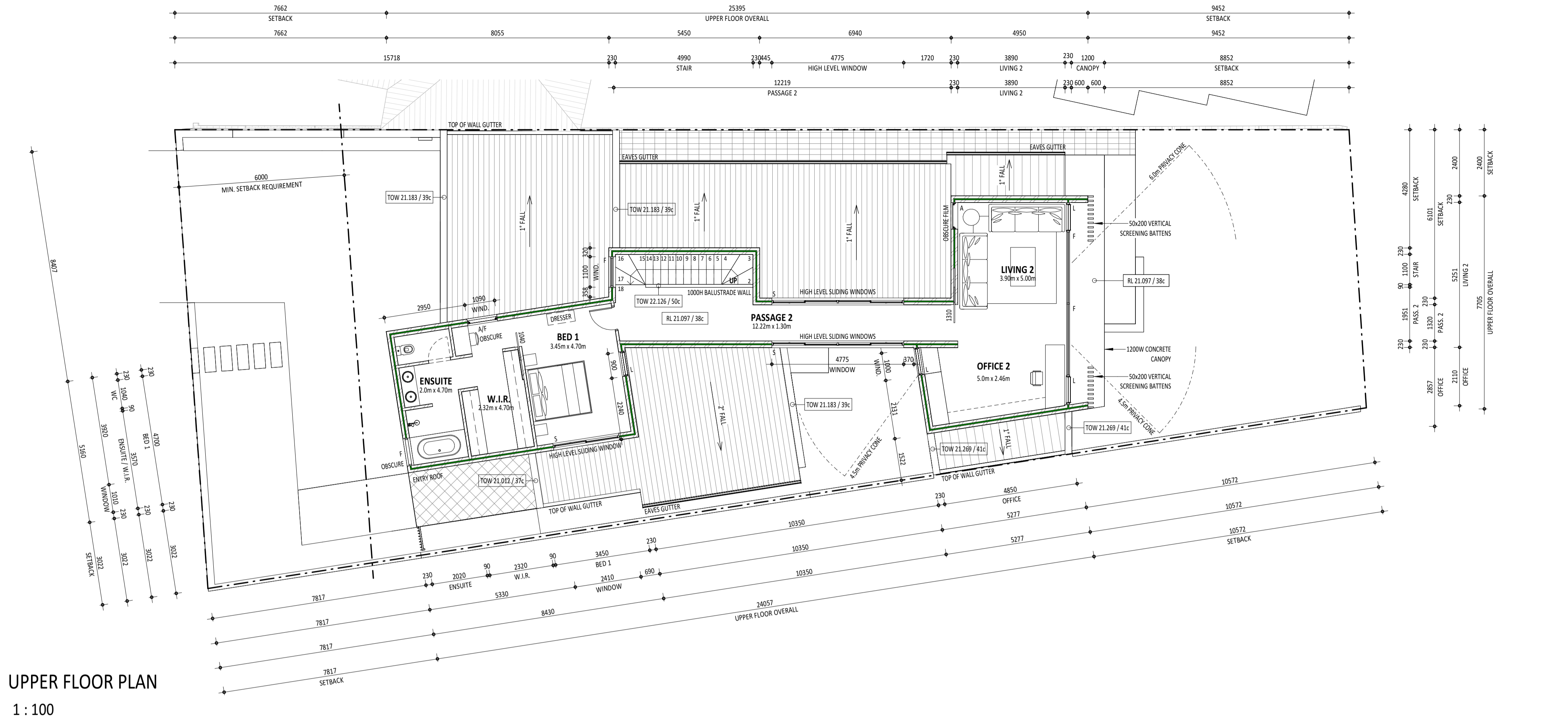
DRAWING NO.

SK101 D

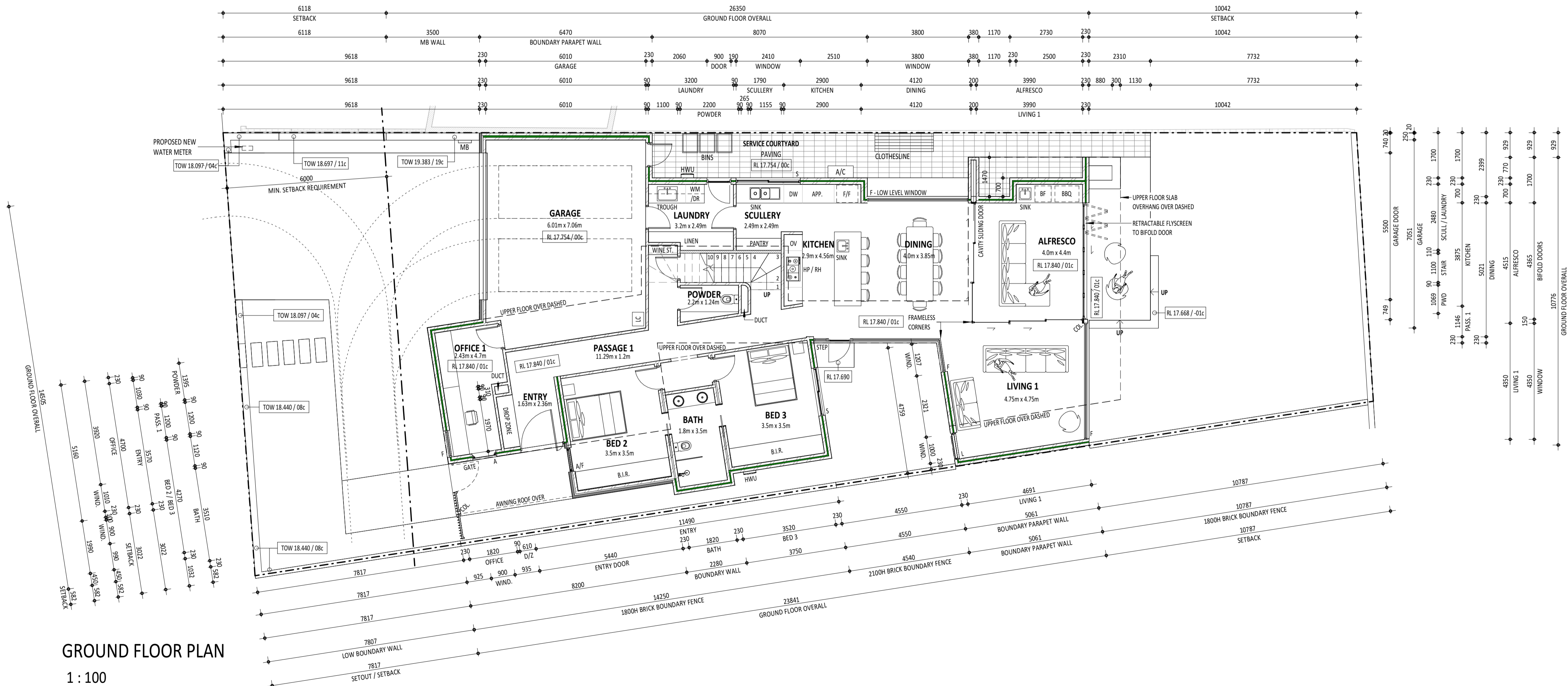
REV.



BUILDING AREAS	
GROUND FLOOR	171 m ²
GARAGE	49 m ²
ALFRESCO	21 m ²
UPPER FLOOR	114 m ²
Grand total	355 m ²



UPPER FLOOR PLAN
1 : 100



GROUND FLOOR PLAN
1 : 100

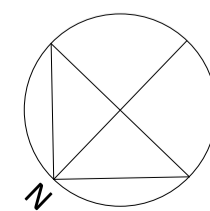
PRIVATE RESIDENCE
11 (LOT 889) KINSALE DRIVE MINDARIE 6030
NASH FAMILY

WESTSTYLE

5/103 Erindale Rd Bacatta WA 6021 9345 1565 9240 1103

www.weststyle.com.au

THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF WESTSTYLE AND MUST NOT BE GIVEN, LENT, REPRODUCED, COPIED OR OTHERWISE DISPOSED OF WITHOUT THE WRITTEN PERMISSION OF WESTSTYLE.



DRAWING: FLOOR PLANS
STATUS: NOT FOR CONSTRUCTION
SCALE: 1:100 @ A1
DRAWN: MO

DATE: 24-11-2021
02-03-2022
18-03-2022
29-03-2022
04-04-2022

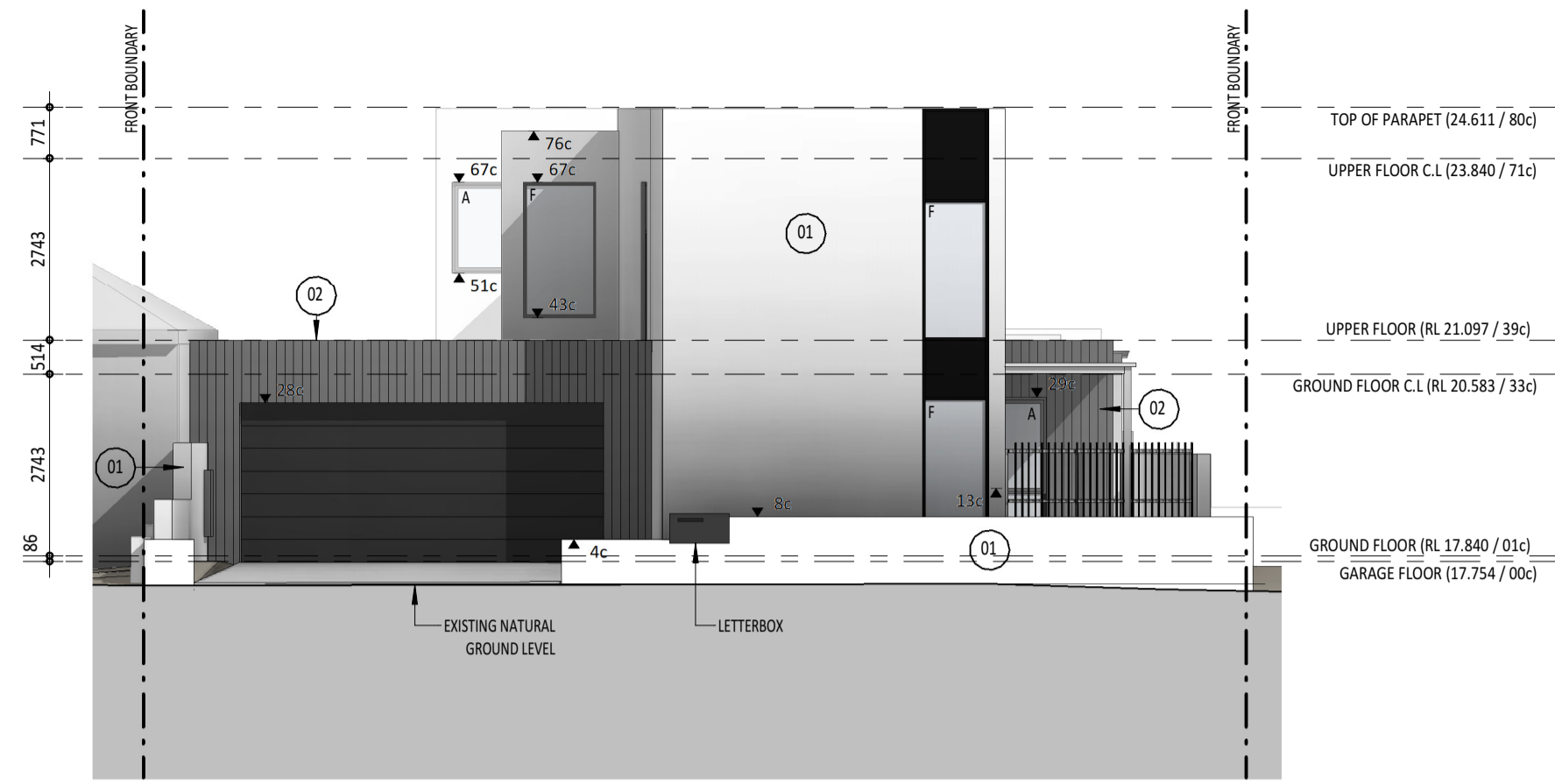
REV: A
B
C
D
E

NOTE: ISSUED TO CLIENTS FOR REVIEW
TABLED AT CLIENT MEETING
ISSUED TO CLIENTS FOR REVIEW
ISSUED FOR INTERNAL REVIEW
ISSUED FOR DEVELOPMENT APPROVAL APPLICATION

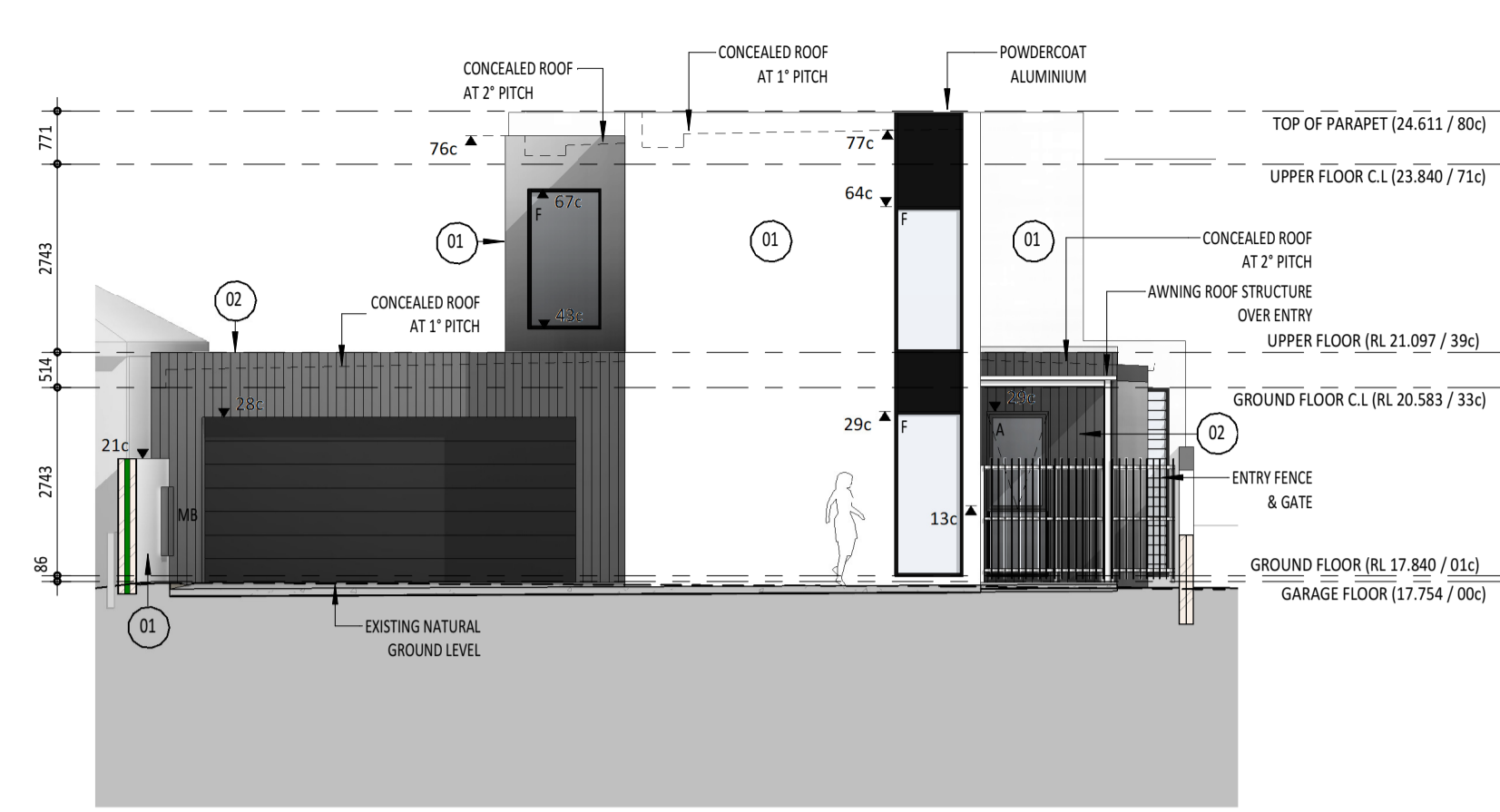
DRAWING NO.

REV.

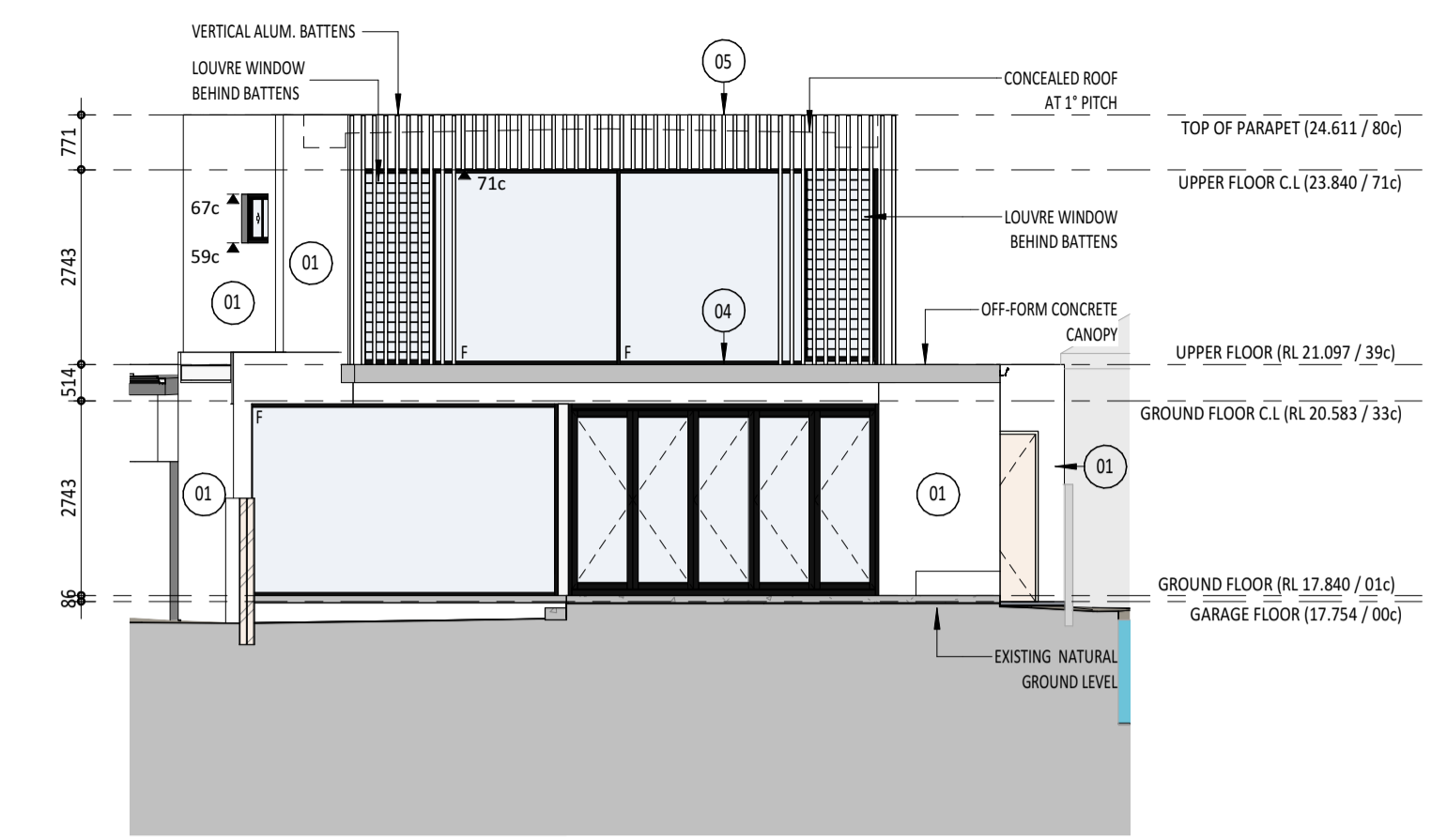
SK201 E



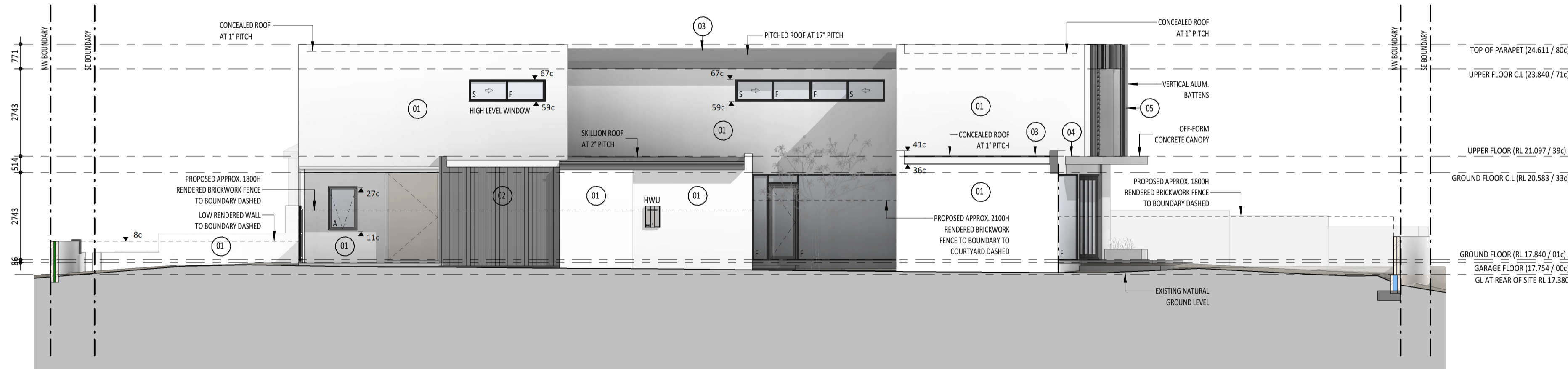
NORTH-EAST ELEVATION - STREET
1 : 100



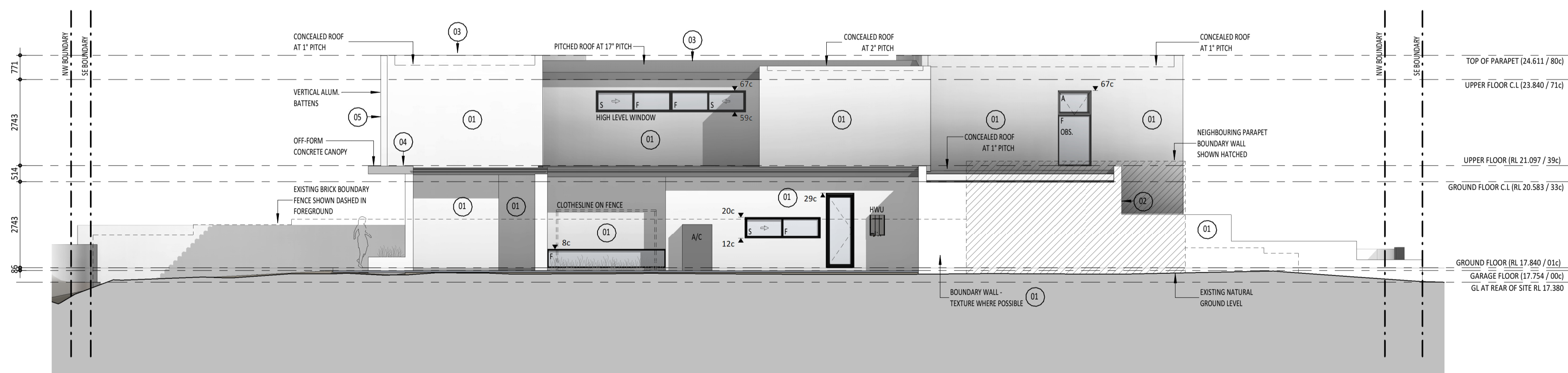
NORTH-EAST ELEVATION
1 : 100



SOUTH-WEST ELEVATION
1 : 100



NORTH-WEST ELEVATION
1 : 100



SOUTH-EAST ELEVATION
1 : 100

FINISHES LEGEND	
01	ACRYLIC TEXTURE
02	VERTICAL GROOVE FIBRE CEMENT CLADDING
03	METAL ROOF SHEETING
04	OFF-FORM CONCRETE
05	ALUM. POWDERCOAT BATTENS

PRIVATE RESIDENCE
11 (LOT 889) KINSALE DRIVE MINDARIE 6030
NASH FAMILY

WESTSTYLE

5/103 Erindale Rd Balcatta WA 6021 9345 1565 9240 1103

www.weststyle.com.au

THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF WESTSTYLE AND MUST NOT BE GIVEN, LENT, REPRODUCED, COPIED OR OTHERWISE DISPOSED OF WITHOUT THE WRITTEN PERMISSION OF WESTSTYLE.

DRAWING: ELEVATIONS
STATUS: NOT FOR CONSTRUCTION
SCALE: 1 : 100 @ A1
DRAWN: MO

DATE	REV	NOTE
24-11-2021	A	ISSUED TO CLIENTS FOR REVIEW
02-03-2022	B	TABLED AT CLIENT MEETING
18-03-2022	C	ISSUED TO CLIENTS FOR REVIEW
29-03-2022	D	ISSUED FOR INTERNAL REVIEW
04-04-2022	E	ISSUED FOR DEVELOPMENT APPROVAL APPLICATION

DRAWING NO.

REV.

SK301 E