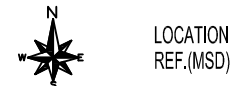
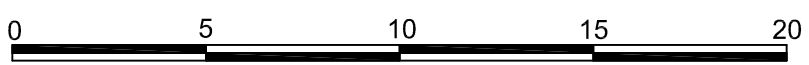
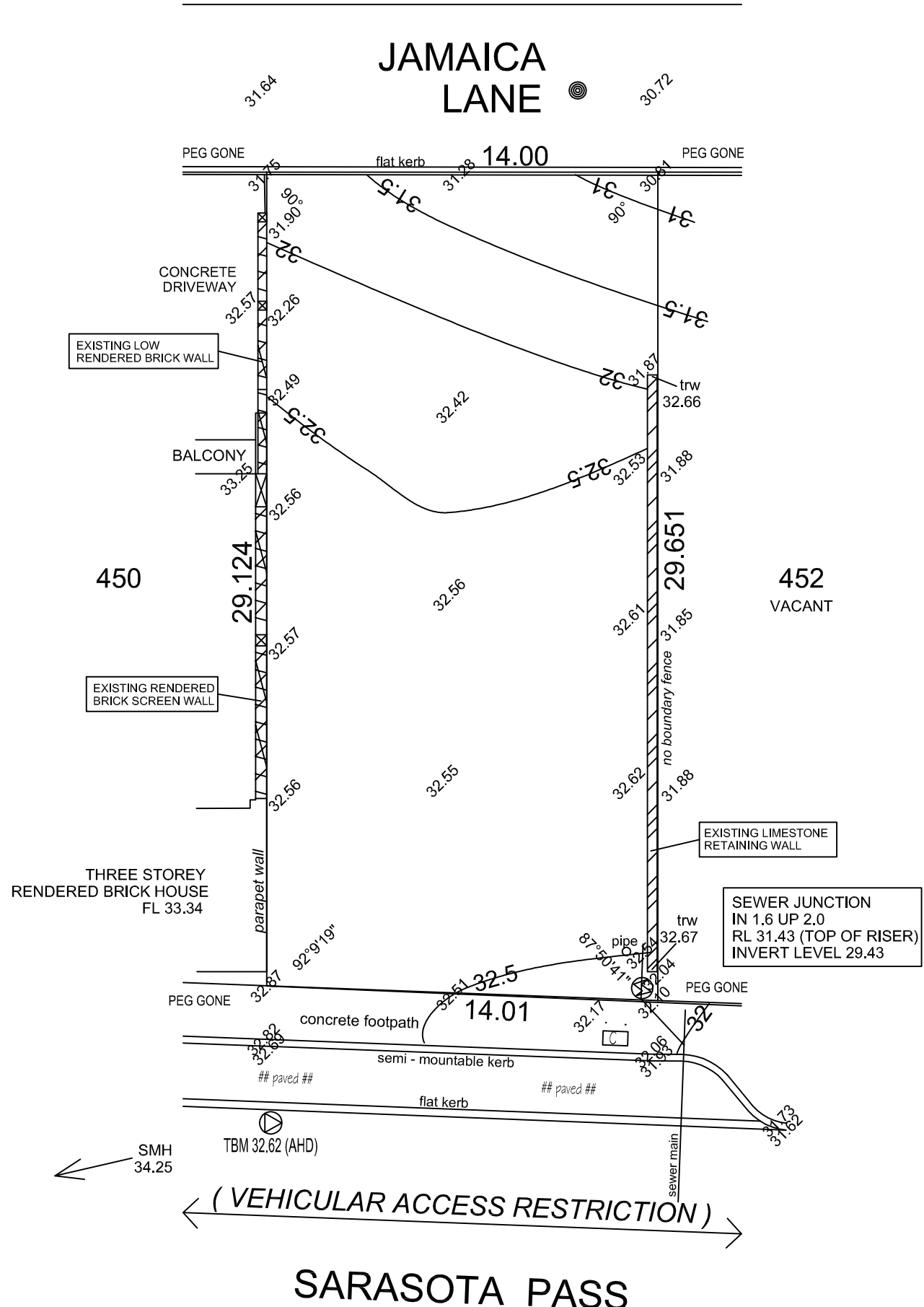


LOT No: 451
 AREA : 411m²



REVISED



AUSTRALIAN HEIGHT DATUM (AHD)
 DERIVED FROM SEWER MANHOLE
 AA0699 LID LEVEL.

INTEREST & NOTIFICATIONS OVER LOT.
 CHECK DEPOSITED PLAN FOR DETAILS.

RESTRICTIVE COVENANT OVER LOT.
 CHECK CERTIFICATE OF TITLE FOR DETAILS.
 THIS MAY RESTRICT WHAT CAN BE BUILT ON LOT.

trw - DENOTES TOP OF RETAINING WALL

POSITION OF FENCES & WALLS IN RELATION
 TO BOUNDARIES NOT GUARANTEED UNLESS
 REPEG CARRIED OUT AT TIME OF SURVEY.

POSITION OF FEATURES IN RESPECT
 TO BOUNDARIES NOT GUARANTEED.
 PEGS MISSING AT TIME OF SURVEY.

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED.
 PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION
 THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED
 TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

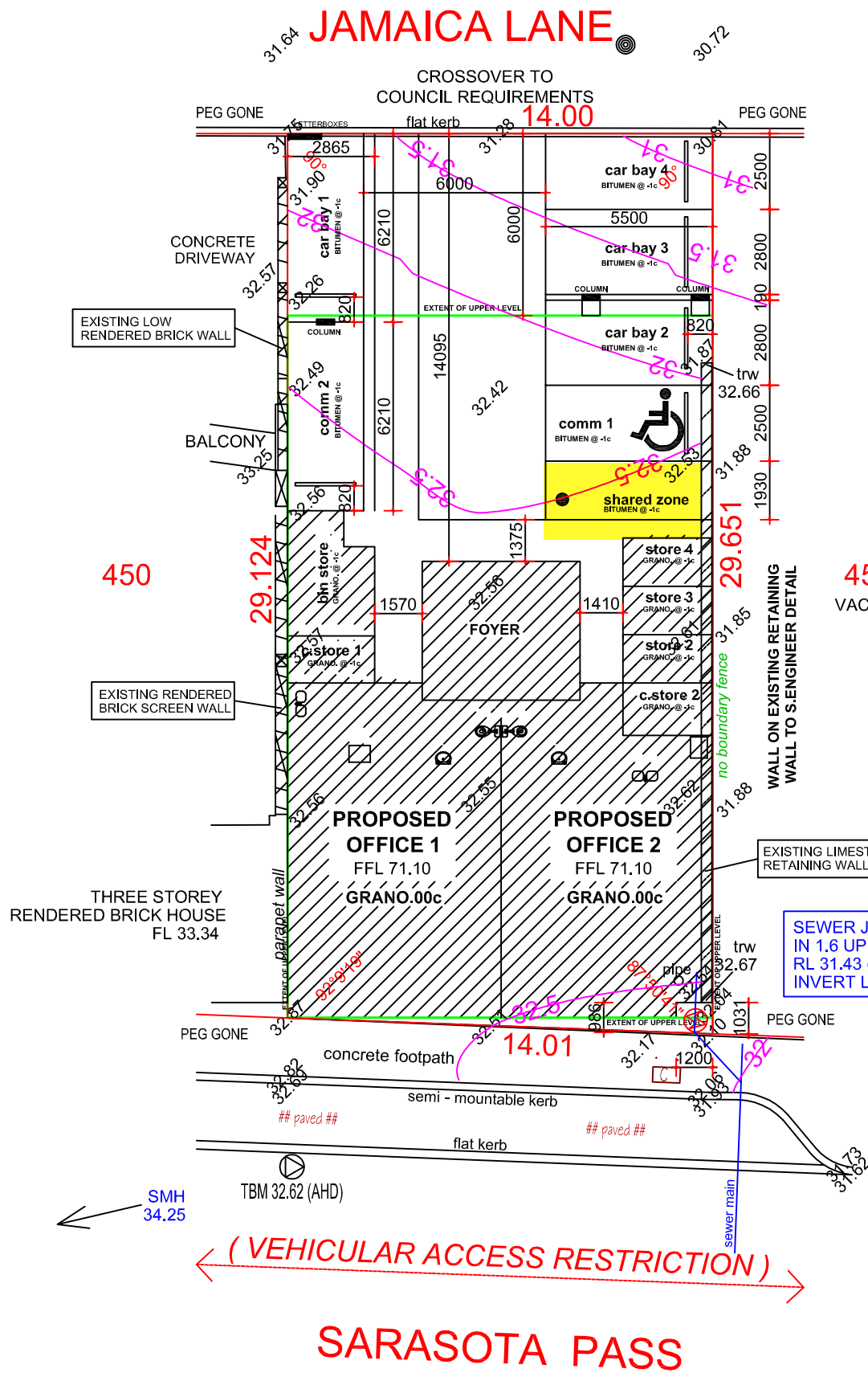
SITE PLAN 1:200 at A3

IMPORTANT NOTE: LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY. CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING. REF NO: 62093 FILE NO: 13380 DATE: 29.10.13 DRAWN: AC	
SURVEYOR SITE INSPECTION REPORT	
ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
PHONE: YES	WATER: YES (not sighted)
SEWERAGE: YES, ABOUT 1.1m DEEP (TOP OF RISER)	
ROAD: HOTMIX	
KERB: SEMI MOUNTABLE / FLAT	
FOOTPATH: CONCRETE (good condition)	
VEGETATION: LIGHT GRASS & WEEDS	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: NIL	
REPEG: REQUIRED	
REPEG TYPE: OLD SURVEY AREA	

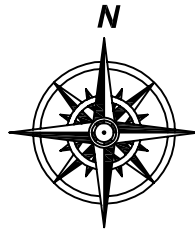
All sewer details plotted from information supplied by Water Corporation Spatial Information Management. Refer to the disclaimer note on Water Corp E PLAN. Block located more than 1 kilometre from the ocean.	
TITLE DETAILS LOT NOS: 451 C/T VOL: 2633 Deposited Plan: 48390 FOL: 220	
LEGEND	
T.B.M. POWER DOME PHONE Communication Pit SIDE ENTRY PIT TREE STUMP PILLAR	STREET LAMP TREE POWER POLE GRATED DRAIN DRAINAGE MANHOLE FENCE END WATER METER
HYDRANT STOP VALVE SEWERAGE MANHOLE SEWERAGE MANHOLE Sewerage Inspection Lid WATER TAP PRE-LAID WATER PIPE	

R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS SHOP 7, NORTH BEACH PLAZA 1 NORTH BEACH ROAD NORTH BEACH, WA 6020 PH: 9448 5009 - FX: 9203 6722 admin@lestersurveys.com.au	(BUILDER) CLIENT / S : WAHID SIDIQI SITE ADDRESS: #33 SARASOTA PASS, CLARKSON Local Authority : CITY OF WANNEROO																				
SIGNED CLIENT / S WITNESS SIGNED BUILDER WITNESS DATE	<table border="1"> <tr> <th>VARIATIONS</th> <th>DWN.</th> <th>DATE</th> <th>CHK.</th> <th>SHEET No :</th> </tr> <tr> <td>[]</td> <td>[]</td> <td>[]</td> <td>[]</td> <td>1 of 1</td> </tr> <tr> <td>[]</td> <td>[]</td> <td>[]</td> <td>[]</td> <td>JOB No:</td> </tr> <tr> <td>[]</td> <td>[]</td> <td>[]</td> <td>[]</td> <td>62093</td> </tr> </table>	VARIATIONS	DWN.	DATE	CHK.	SHEET No :	[]	[]	[]	[]	1 of 1	[]	[]	[]	[]	JOB No:	[]	[]	[]	[]	62093
VARIATIONS	DWN.	DATE	CHK.	SHEET No :																	
[]	[]	[]	[]	1 of 1																	
[]	[]	[]	[]	JOB No:																	
[]	[]	[]	[]	62093																	

REVISED



EXTENT OF UPPER LEVEL



No: 33
AREA: 411sqm

NOTE: EXHAUST FANS FLUMED TO EXTERNAL AIR THROUGH ROOF ABOVE OR IN CEILING SPACE TO WALL VENT AS PER PLAN. EXHAUST FLUME VENTS NOT TO BE FITTED ON FRONT ELEVATION WHEREVER POSSIBLE. FLUMED VENTS SHALL BE PROVIDED IN ACCORDANCE WITH STATUTORY AUTHORITY REQUIREMENTS.

CLIENT BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

DOWNPIPES TO BE CONNECTED TO SOAKWELLS BY BUILDER

LANDSCAPING WATERED BY HARVESTED WATER USING A MOISTURE CENSORED RETICULATION SYSTEM PLANTS TREATED WITH SEAWEED SOLUTION APPLY AGED MULCH & SLOW RELEASE FERTILIZER & SOIL CONDITIONER

ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA

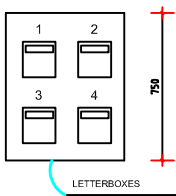
NOTE: SEWER POSITION IS PRELIMINARY BASED ON DESIGN POSITION, AS CONSTRUCTED SEWER POSITION TO BE ADDED WHEN IT BECOMES AVAILABLE FROM WATER CORPORATION

SITE PLAN



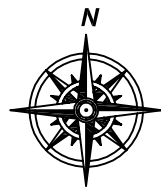
SHADOW CAST AT MIDDAY ON 21 JUNE INDICATED ON PLANE AT 11.0m WITH BE 100% FACING SARASOTA PASS AND WILL NOT AFFECT NEIGHBOURS

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		<p>Date: MAR 2022</p>			
		<p>Scale: 1:200</p>			
		<p>Plot Info: A3</p>			
		<p>© COPYRIGHT</p>			
	<p>SITE PLAN</p>			<p>R Date Description</p>	

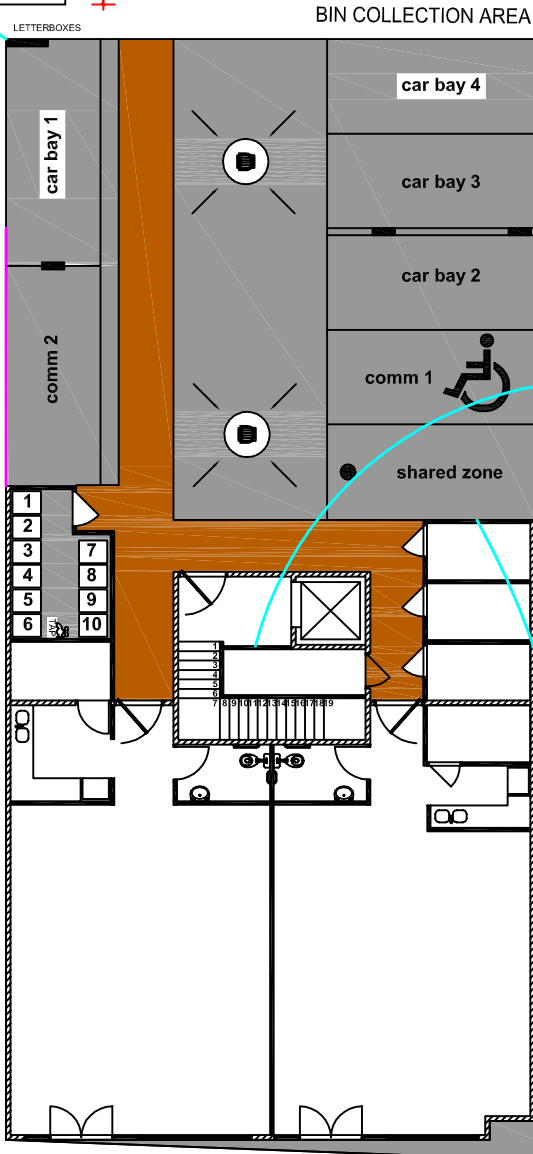


JAMAICA LANE

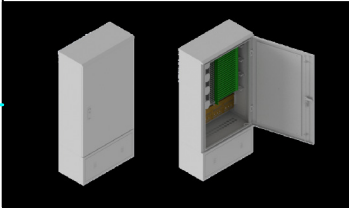
No: 33
AREA: 411sqm



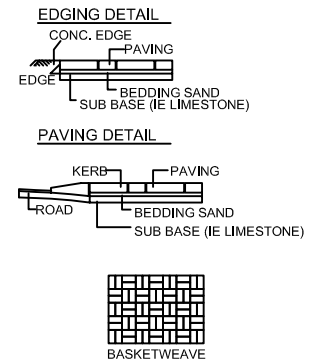
1X WASTE BIN FOR EACH UNIT & 1X RECYCLING BIN PER UNIT (EXCEPT UNIT 7 & 8 SHARE 1 OF EACH). DIMENSIONED 600MM X 750MM (PER BIN) TO BE TAKEN INDIVIDUALLY TO LANEWAY FOR COLLECTION.



NBN FIBRE TO THE PREMISE READY. FDH HUB & DISTRIBUTION BOX TO BE LOCATED IN FOYER. IN ACCORDANCE WITH SERVICE PROVIDER REQUIREMENTS



WHEEL STOPS ARE TO BE PROVIDED IN ACCORDANCE WITH AS2890 TO ENSURE VEHICLES DO NOT OVERHANG ANY DESIGNATED PEDESTRIAN PATH OR IMPACT ANY BUILDING (INCLUDING STOREROOM OR GROUND FLOOR DEVELOPMENT).



AUTO TIMED LIGHTING FOR PATHWAYS & COMMUNAL OPEN SPACE & PARKING SPACES

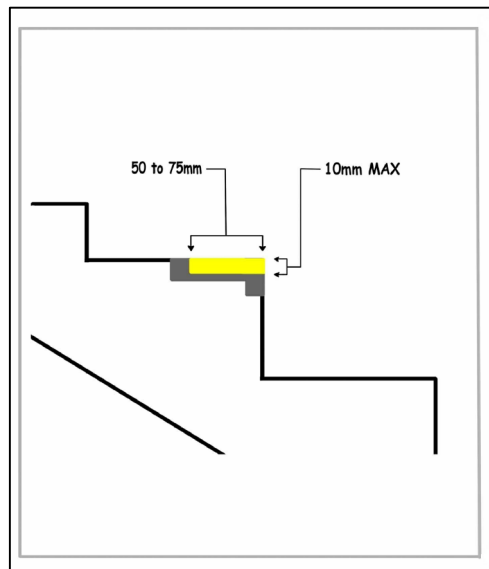
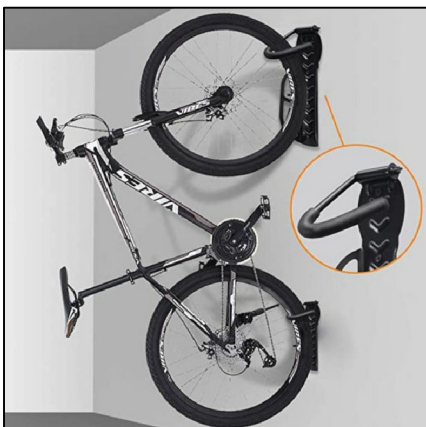


ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA

PARTY WALLS HAVE EITHER ACOUSTIC OR FIRE RATING PROPERTIES AND OWNERS ARE RESTRICTED FROM DOING ANYTHING TO THESE WALLS SO AS NOT TO IMPACT THE WALL PERFORMANCE

GROUND FLOOR

3X BIKE RACKS



PIC	SYMBOL	INFORMATION	HEIGHT MAXIMUM
	—	COLORBOND STEEL FENCING	1.8m
	■	HERRINGBONE STYLE PAVING	1 COURSE
	■	ARTIFICIAL GRASS	N/A
	■	RECYCLABLE ASPHALT BY asphaltrecyclersaust.com.au	N/A
	■	DEEP SOIL	N/A
	⊗	1500w x 1800 deep SOAKWELL W/GRATE	

LANDSCAPING WATERED BY HARVESTED WATER USING A MOISTURE CENSORED RETICULATION SYSTEM PLANTS TREATED WITH SEAWEED SOLUTION APPLY AGED MULCH & SLOW RELEASE FERTILIZER & SOIL CONDITIONER

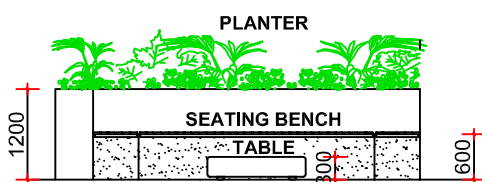
ELEVATED PLANTER 500mm WIDE BY 1.2m HIGH FILLED WITH DEEP SOIL. TO GET A COLOURFUL SELECTION AND MAXIMUM USAGE OF THE NORTHERN SUN A SELECTION OF THE FOLLOWING PLANTS & SHRUBS WOULD BE USED.

- GOLDEN BREATH OF HEAVEN (COLEONEMA PULCHELLUM)
- MYRTLE SPURGE (EUPHORBIA MYRSINITES)
- NEW ZEALAND SEDGE (CAREX TESTACEA)
- LAVENDER (LAVANDULA STOECHAS)

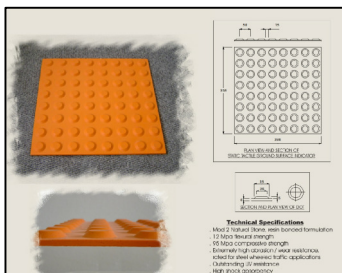


UNIVERSAL DESIGN:

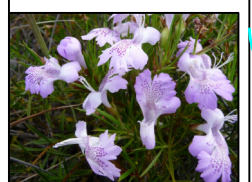
- MANEUVERING IS EASY FOR PRAMS & STROLLERS.
- SHOPS IDEAL FOR WHEELCHAIR ACCESS AND STEP FREE.
- ALL UNITS HAVE LARGE ENTRY DOOR AND NO SMALL CORRIDORS.
- ALL BATHROOM HAVE HOBLESS SHOWERS.
- GROUND FLOOR AMBULANT WC.
- WIDE STAIRWAYS AND FOYER



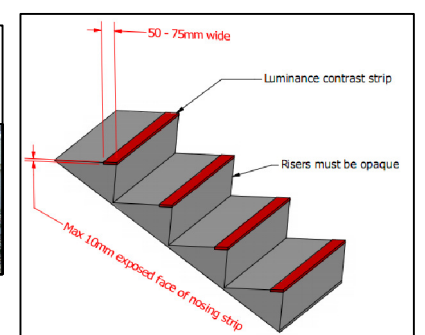
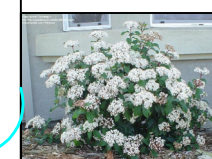
COMMUNAL SPACE ELEVATION



GROUND COVER SHRUBS HERMIANDRA PUNGENS. IDEAL FOR LANDSCAPING STRIP.



LOW MAINTENANCE SPRING BOUQUET LAURUSTINUS



MEZZANINE / COMMUNAL AREA

TACTILE GROUND SURFACE INDICATORS (TGS) MUST BE PROVIDED TO THE TOP AND BOTTOM OF THE STAIRS IN ACCORDANCE WITH AS 1428.1

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		<p>Date: MAR 2022</p>			
		<p>Scale: 1:200</p>			
		<p>Plot Info: A3</p>			
		<p>© COPYRIGHT</p>			
	<p>SITE PLAN</p>			<p>R Date Description</p>	

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.

INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT

DOWNPIPE NOTE: NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

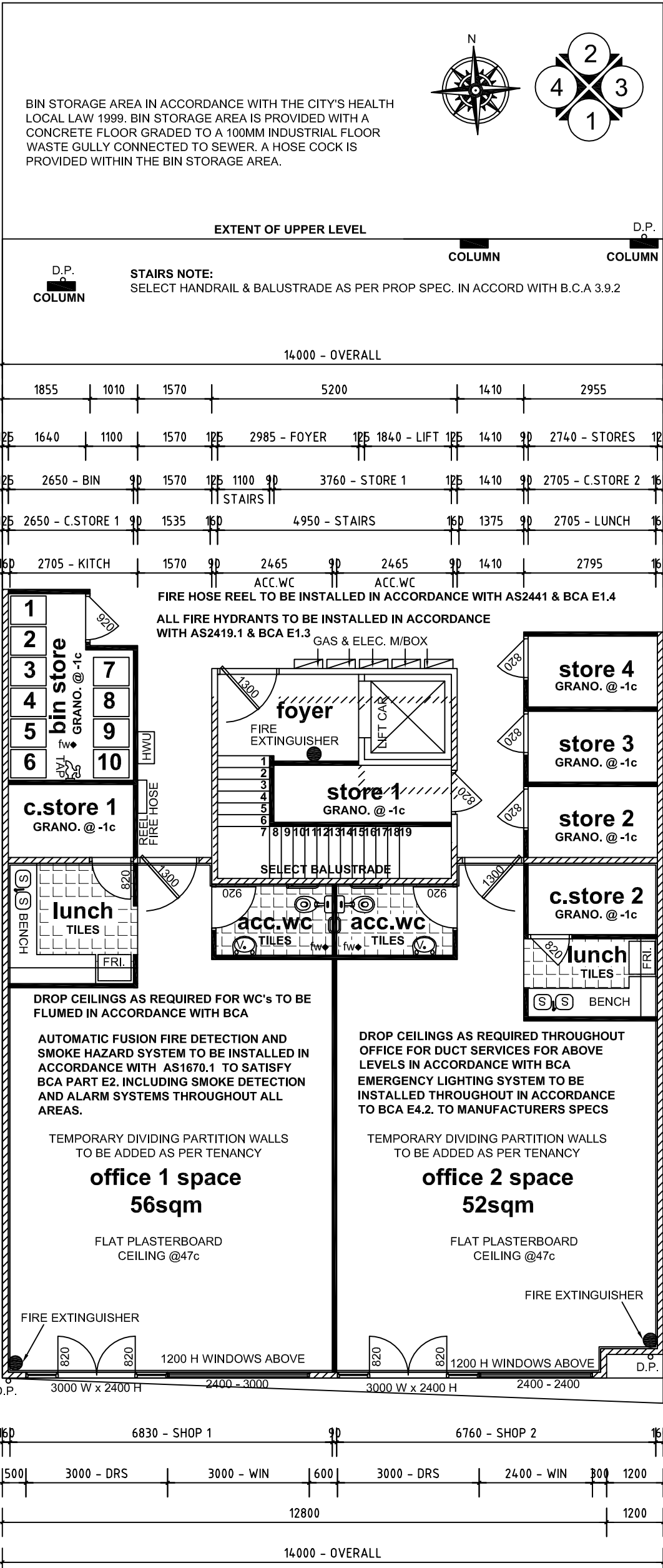
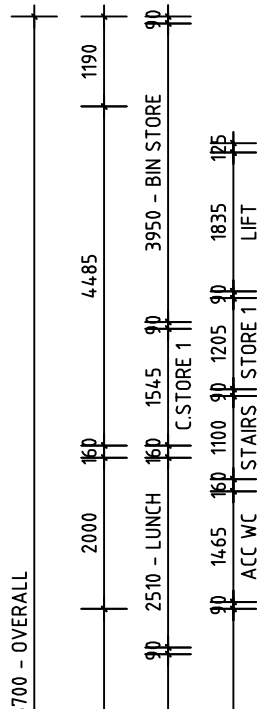
ENGINEER NOTE:
REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

WALL FINISH NOTE:
DIMENSIONS SHOWN ON PLAN ARE TO BRICKWORK ONLY, SIZES WILL VARY ONSITE, DUE TO ALLOWANCE FOR WALL FINISHES.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

ALL DOOR TO BE -/120/30 SELF CLOSING DRS IN ACCORD WITH BCA C3.11

BIN STORAGE ENTRY DOOR WITH AIR GRILLS FOR VENTILATION



GROUND FLOOR AREAS	
SHOP 1	74.80sqm
SHOP 2	68.30sqm
FOYER \ STORE 1	22.90sqm
STORE 2	4.70sqm
STORE 3	4.70sqm
STORE 4	4.70sqm
C.STORE 1	4.60sqm
C.STORE 2	5.10sqm
BIN STORE	10.60sqm
TOTAL FLOOR AREA	200.40sqm
TOTAL PERIMETER	78.90m

GENERAL NOTES:
1. THESE PLANS ARE THE PROPERTY OF THE BUILDER & MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR PART WITHOUT PERMISSION. COPYRIGHT ACT 1968-1973.

2. ROOF TIE-DOWN IN ACCORDANCE WITH AUSTRALIAN STANDARDS. TIMBER ROOF FRAMING IN ACCORD. WITH AUSTRALIAN STANDARDS

3. VENTILATION IN ACCORD WITH THE SEWERAGE, LIGHTING, VENTILATION, & CONSTRUCTION REGULATIONS 1971 & AS1688.

4. THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.

5. PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SPECIFICATIONS, ENGINEERS DRAWINGS & ANY OTHER DOCUMENTATION FORMING PART OF THE CONTRACT.

6. ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA

7. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.

8. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD. WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.

9. FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.

10. WHEN ADDING / ALTERING MATCH EXISTING DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY THE BUILDER.

11. DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBERS DISCRETION.

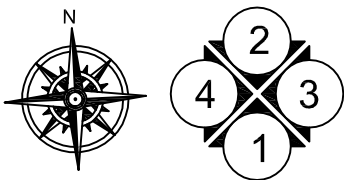
12. DO NOT SCALE FROM THESE DRAWINGS

GROUND FLOOR PLAN SCALE 1:100

REVISED

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

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		<p>Date: MAR 2022</p>		
		<p>Scale: 1:100</p>		
		<p>Plot Info: A3</p>		
<p>FLOOR PLAN</p>		<p>© COPYRIGHT</p>		



STAIRS NOTE: SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORD WITH B.C.A 3.9.2

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.

FIRST FLOOR AREAS	
UNIT 1	128.90sqm
BALC 1	10.90sqm
BALC 3	11.60sqm
UNIT 2	137.60sqm
BALC 2	10.90sqm
BALC 4	11.60sqm
FOYER	26.20sqm
TOTAL FLOOR AREA	337.70sqm
TOTAL PERIMETER	76.30m

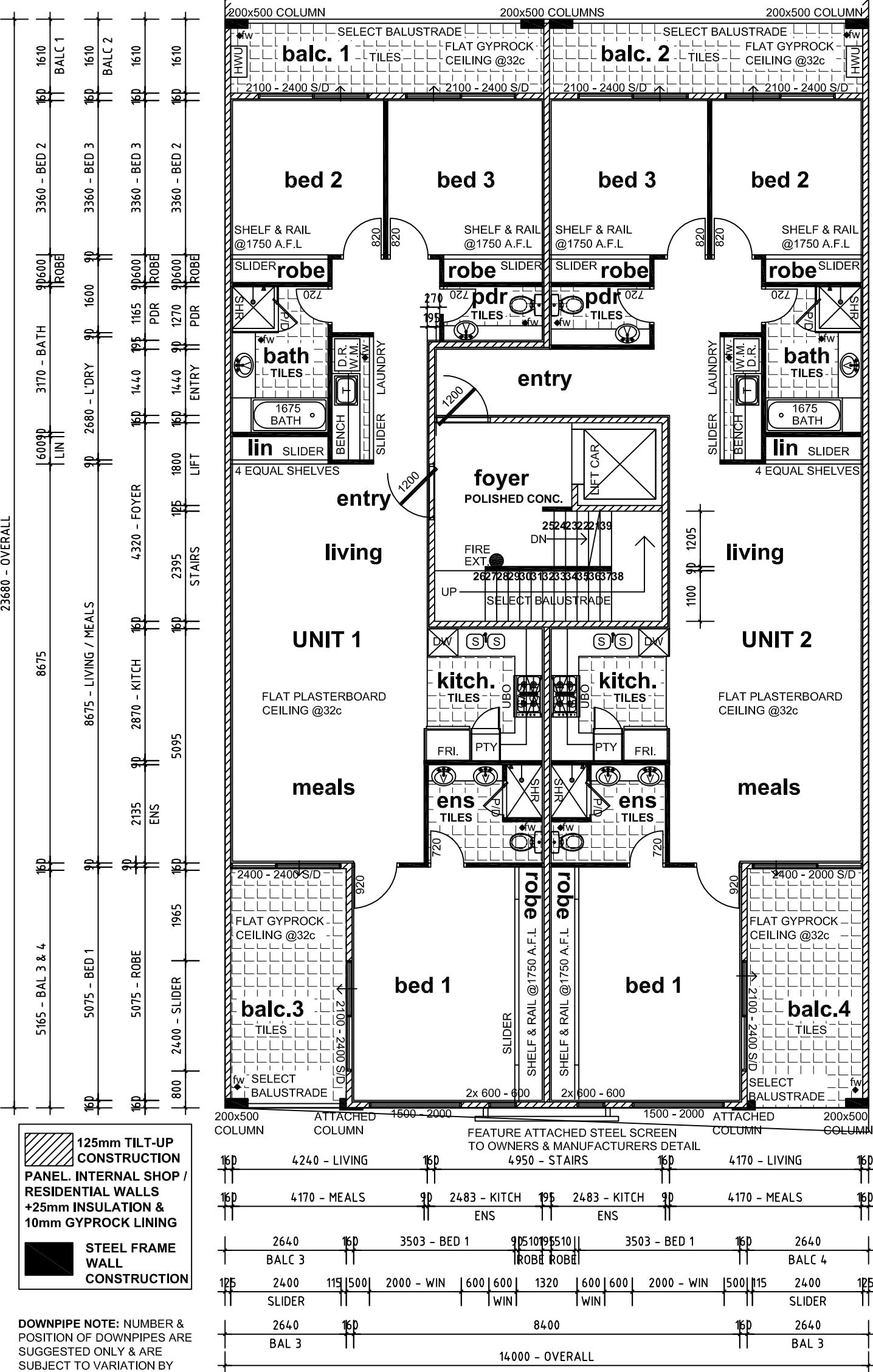
- GENERAL NOTES:**
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 - ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
 - ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD. WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
 - FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
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 - DO NOT SCALE FROM THESE DRAWINGS

ENGINEER NOTE:
REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

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WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT



FIRST FLOOR PLAN

SCALE 1:100

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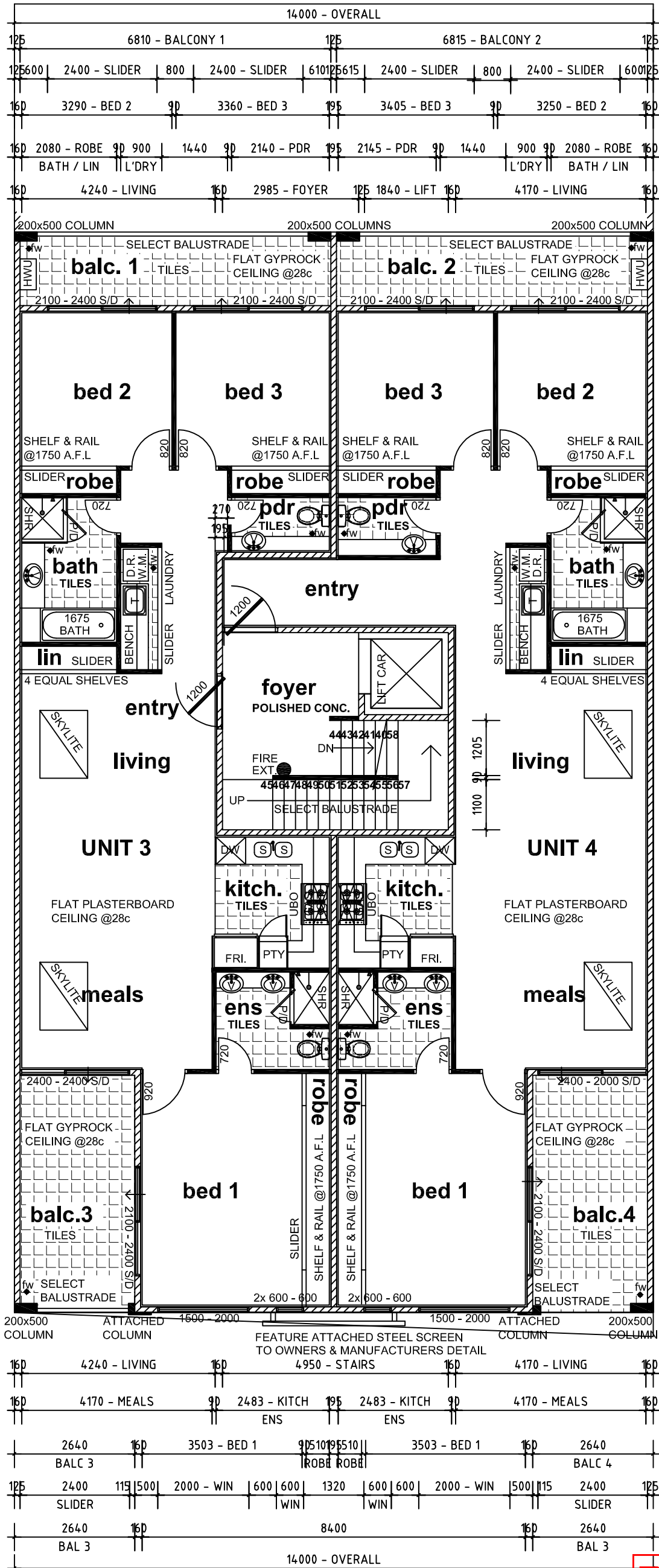
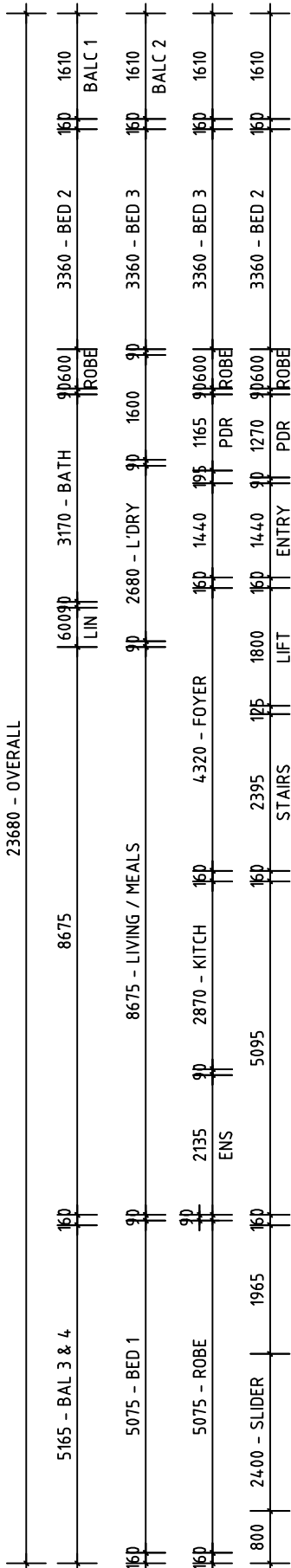
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		<p>Date: MAR 2022</p>			
<p>FLOOR PLAN</p>	<p>© COPYRIGHT</p>	<p>Scale: 1:100</p>			
		<p>Plot Info: A3</p>			
				R	Date
					Description



STAIRS NOTE: SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORD WITH B.C.A 3.9.2

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.



SECOND FLOOR AREAS	
UNIT 3	123.90sqm
BALC 1	10.90sqm
BALC 3	13.60sqm
UNIT 4	131.60sqm
BALC 2	10.90sqm
BALC 4	13.60sqm
FOYER	26.20sqm
TOTAL FLOOR AREA	330.70sqm
TOTAL PERIMETER	75.30m

GENERAL NOTES:

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7. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
8. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD. WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
9. FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
10. WHEN ADDING / ALTERING MATCH EXISTING DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY THE BUILDER.
11. DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBERS DISCRETION.
12. DO NOT SCALE FROM THESE DRAWINGS

ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

WALL FINISH NOTE: DIMENSIONS SHOWN ON PLAN ARE TO BRICKWORK ONLY, SIZES WILL VARY ONSITE, DUE TO ALLOWANCE FOR WALL FINISHES.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT

SECOND FLOOR PLAN SCALE 1:100

REVISED

125mm TILT-UP CONSTRUCTION PANEL. INTERNAL SHOP / RESIDENTIAL WALLS +25mm INSULATION & 10mm GYPROCK LINING

STEEL FRAME WALL CONSTRUCTION

DOWNPIPE NOTE: NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

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		<p>Date: MAR 2022</p>				
<p>FLOOR PLAN</p>	<p>© COPYRIGHT</p>	<p>Scale: 1:100</p>	<p>R</p>	<p>Date</p>	<p>Description</p>	<p>Description</p>
		<p>Plot Info: A3</p>				

THIRD FLOOR AREAS

SEATING / OUTDOOR GYM	38.60sqm
TERRACE	53.40sqm
FOYER	29.50sqm
	26.20sqm

TOTAL FLOOR AREA	147.70sqm
TOTAL PERIMETER	49.70m

LOCKERS TO BE PROVIDED FOR EMPLOYEES.

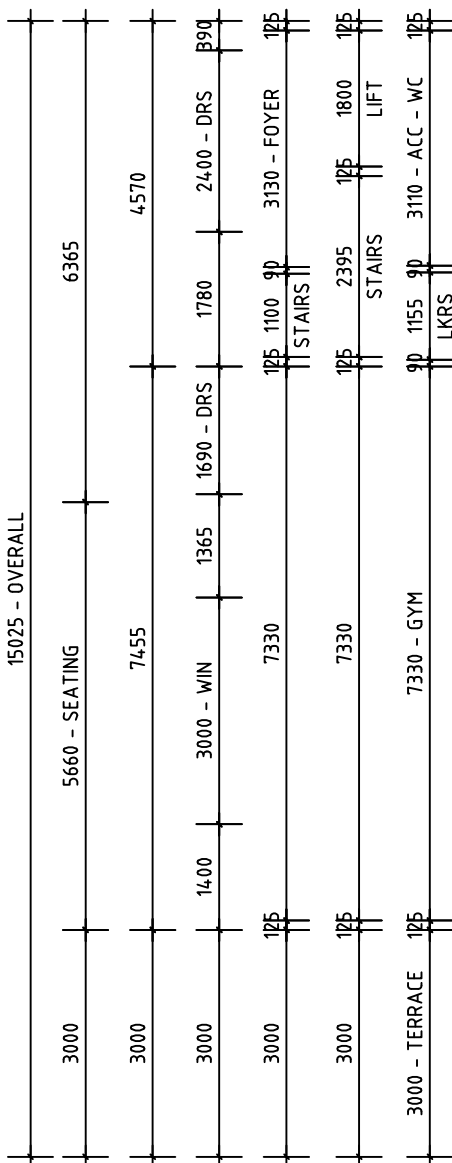
ALL MATERIALS AND BUILDING TO COMPLY WITH 2.11 OF DESIGN GUIDELINES FOR CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN.

ENGINEER NOTE:
REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

WALL FINISH NOTE: DIMENSIONS SHOWN ON PLAN ARE TO BRICKWORK ONLY. SIZES WILL VARY ONSITE, DUE TO ALLOWANCE FOR WALL FINISHES.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

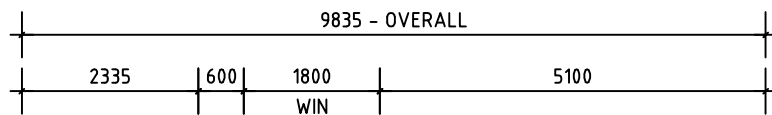
INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT



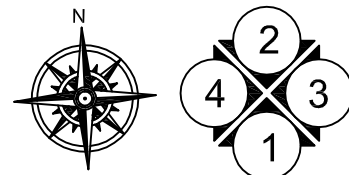
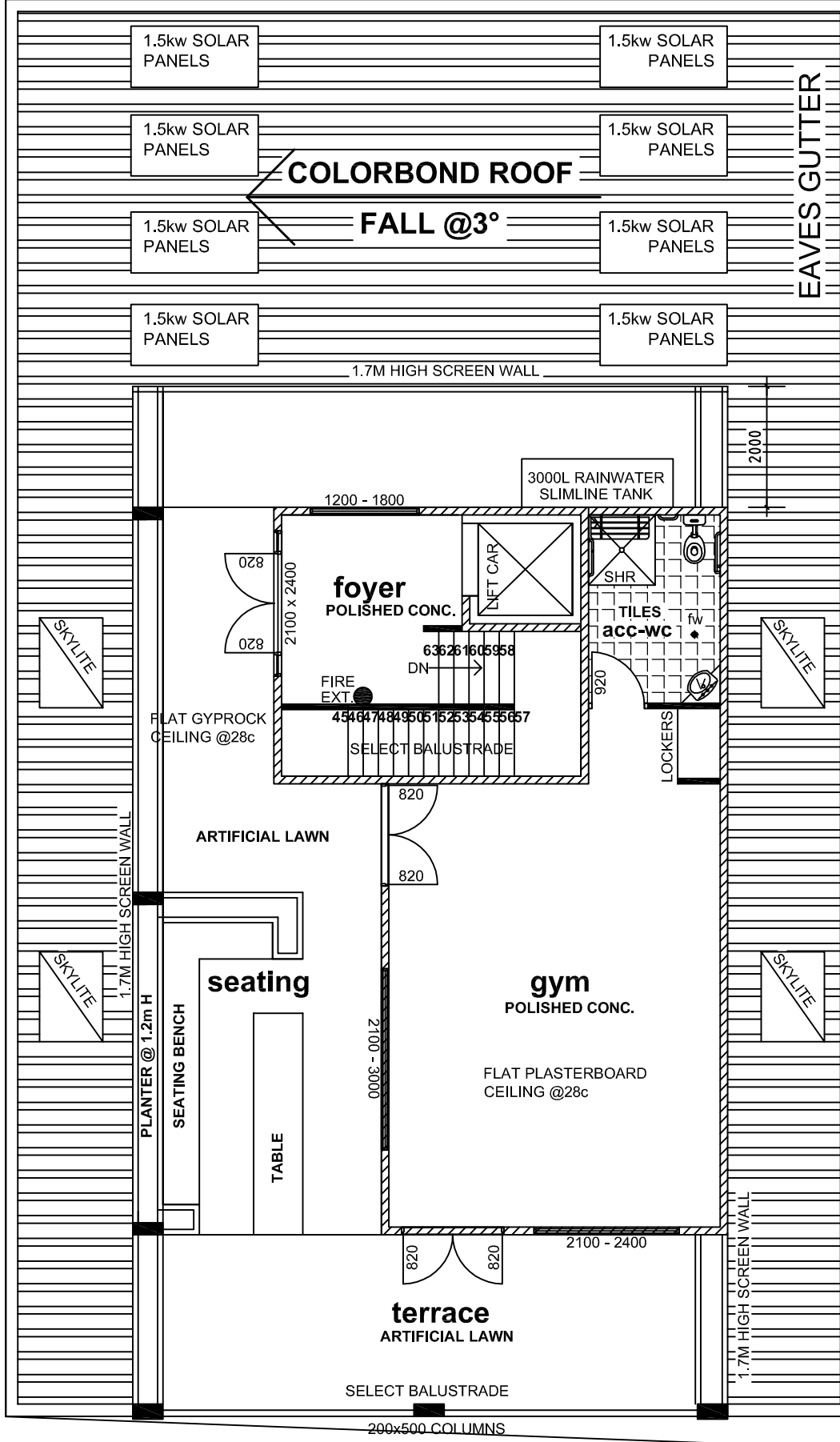
EAVES GUTTER

STAIRS NOTE: SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORD WITH B.C.A 3.9.2

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.



EAVES GUTTER



GENERAL NOTES:

- THESE PLANS ARE THE PROPERTY OF THE BUILDER & MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR PART WITHOUT PERMISSION. COPYRIGHT ACT 1968-1973.
- ROOF TIE-DOWN IN ACCORDANCE WITH AUSTRALIAN STANDARDS. TIMBER ROOF FRAMING IN ACCORD WITH AUSTRALIAN STANDARDS
- VENTILATION IN ACCORD WITH THE SEWERAGE, LIGHTING, VENTILATION, & CONSTRUCTION REGULATIONS 1971 & AS1688.
- THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.
- PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SPECIFICATIONS, ENGINEERS DRAWINGS & ANY OTHER DOCUMENTATION FORMING PART OF THE CONTRACT.
- ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA
- ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
- ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
- FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
- WHEN ADDING / ALTERING MATCH EXISTING DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY THE BUILDER.

- DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBERS DISCRETION.
- DO NOT SCALE FROM THESE DRAWINGS

MEZZANINE / COMMUNAL FLOOR PLAN
SCALE 1:100

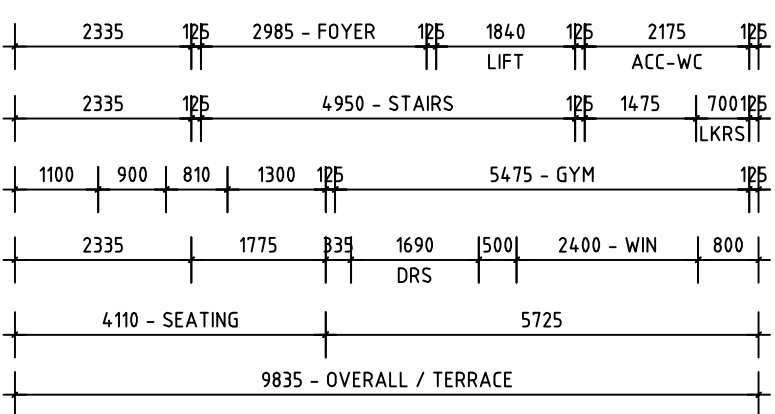
125mm TILT-UP CONSTRUCTION PANEL. INTERNAL SHOP / RESIDENTIAL WALLS +25mm INSULATION & 10mm GYPROCK LINING

STEEL FRAME WALL CONSTRUCTION

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

LOCKERS TO BE PROVIDED FOR EMPLOYEES.

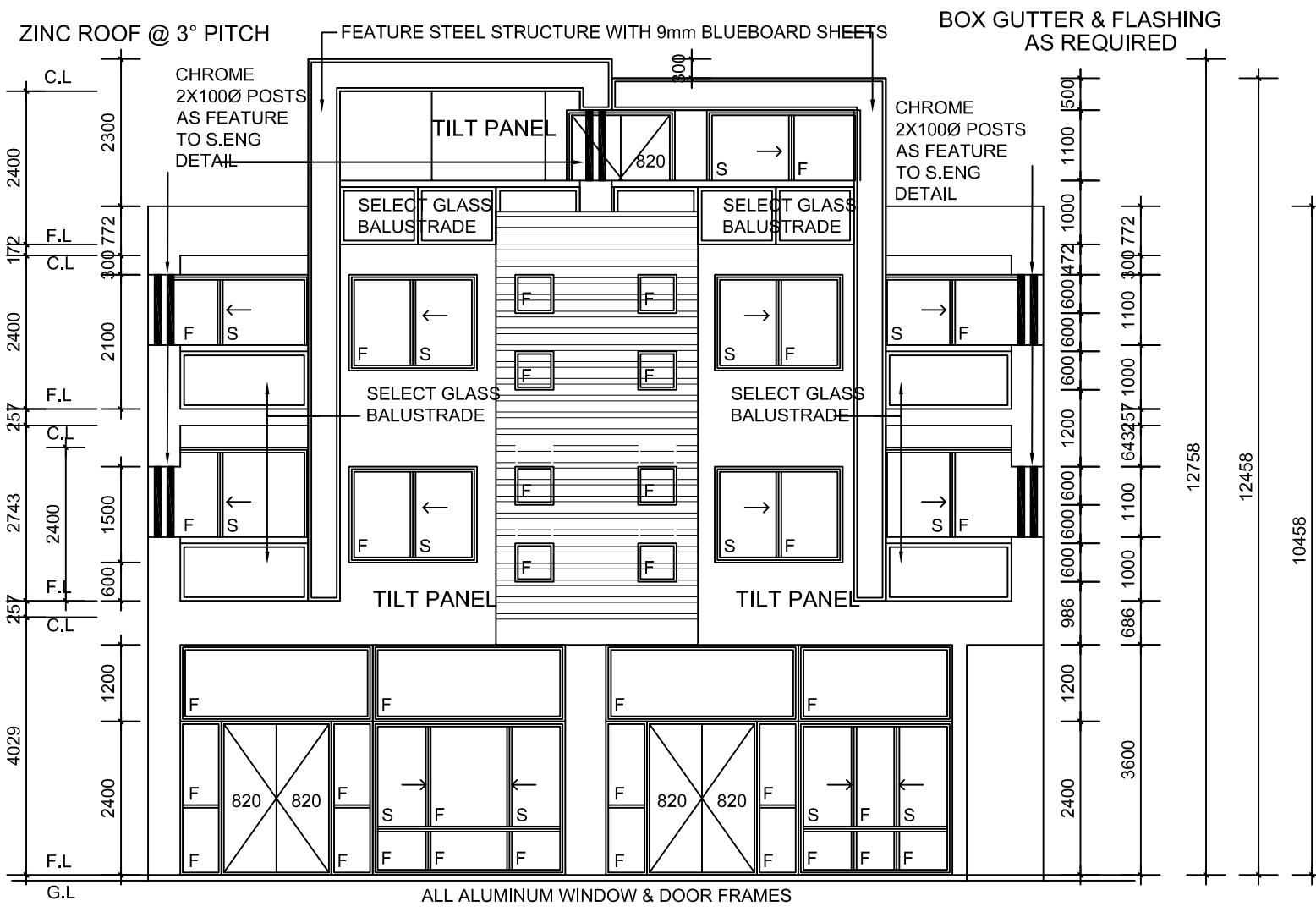
ALL MATERIALS AND BUILDING TO COMPLY WITH 2.11 OF DESIGN GUIDELINES FOR CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN.



DOWNPIPE NOTE: NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

REVISED

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		<p>Date: MAR 2022</p>				
		<p>Scale: 1:100</p>				
		<p>Plot Info: A3</p>				
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				R	Date	Description



FIXTURES - VANDALISM RESISTANT, STEEL FRAME DOORS, LAMINATED GLASS AND STURDY HARDWARE. ALL ETERNAL FITTINGS STURDY AND FIXED SECURELY TO THE BUILDING

SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORDANCE WITH B.C.A 3.9.2

ENERGY MANAGEMENT TO COMPLY WITH 3.2 OF DESIGN GUIDELINES. THERE IS PLENTY OF GLAZING AND OPENINGS ON BUILDINGS. A FULL ENERGY ASSESSMENT WILL BE DONE WITH BUILDING APPLICATION.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

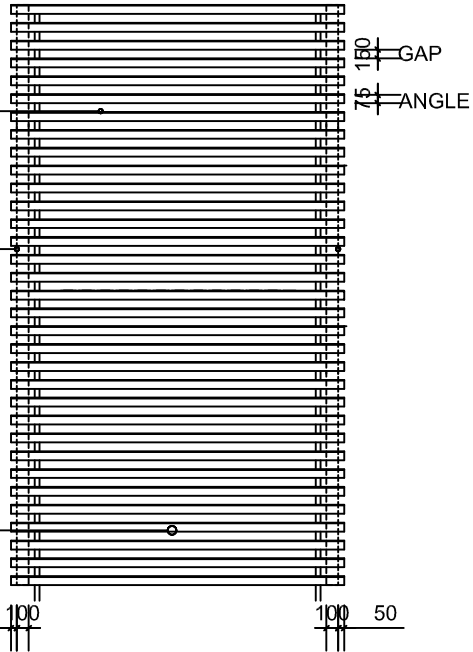
ELEVATION 1 (FRONT)
SCALE 1:100

GLAZING TO PROMOTE SURVELLANCE TO STREET ENTRY VISUALLY EXPOSED TO STREET FRONTAGE

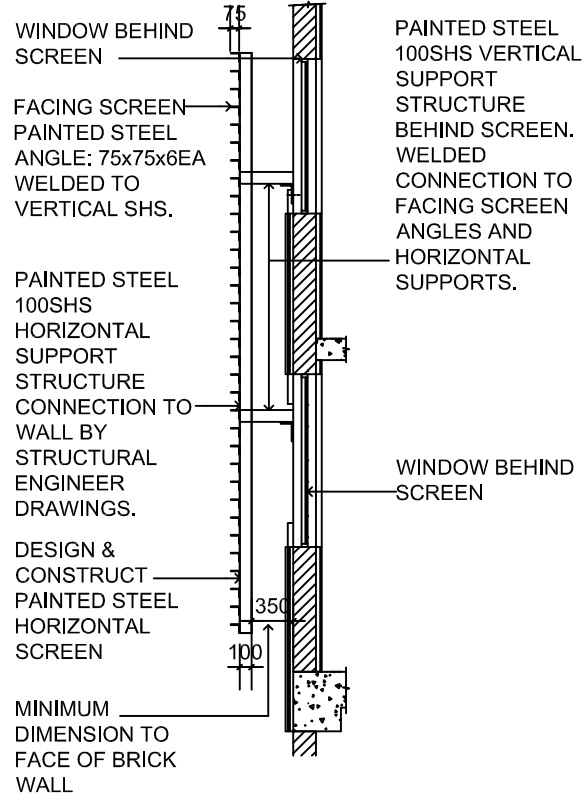
FACING SCREEN PAINTED STEEL ANGLE: 75x75x6EA WELDED TO VERTICAL SHS.

STEEL 100 SHS SUPPORT STRUCTURE BEHIND SCREEN CONNECTION TO WALL BY STRUCTURAL ENGINEER DRAWINGS.

DESIGN & CONSTRUCT PAINTED STEEL HORIZONTAL SCREEN



SCREEN DETAILS (FRONT)



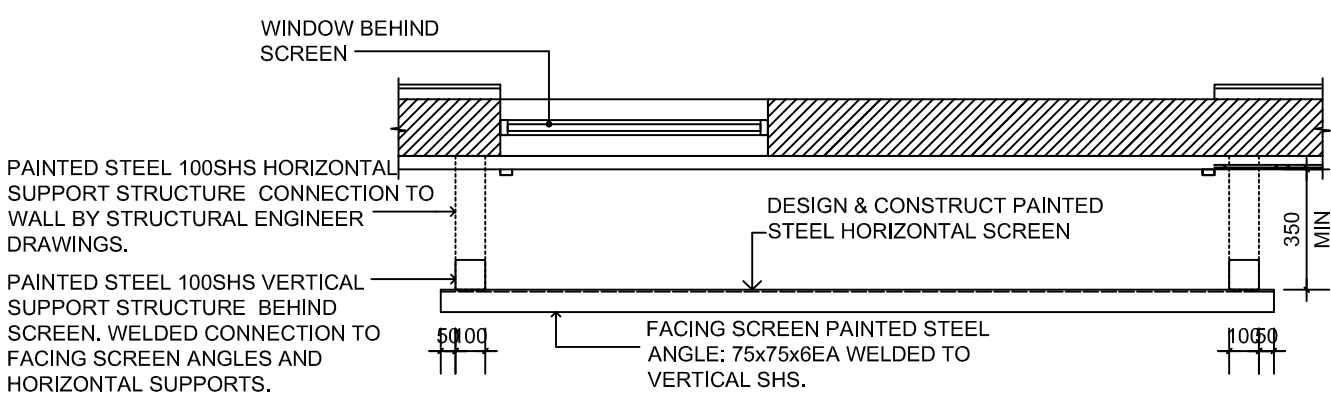
SCREEN DETAILS (SIDE)

ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

THE HEIGHT AND TYPE OF BALUSTRADE FOR BALCONIES IS IN COMPLIANCE WITH BCA 3.8.2

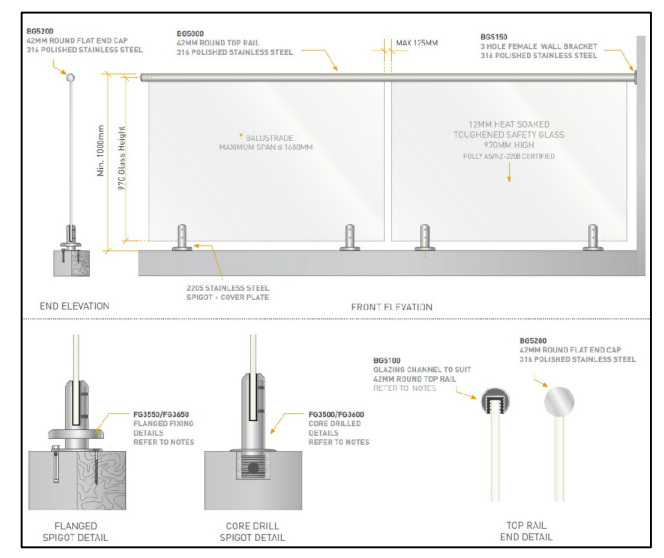
ALL AWNING WINDOWS ARE OPENABLE AT MAXIMUM 125mm. OTHER UPPER BEDROOM HABITABLE ROOM HAVE SCREENING 1.7m ABOVE F.L WERE NEEDED

ALL OTHER PROTECTION OF OPENABLE WINDOWS ON THE UPPER FLOOR BEDROOMS HAS BEEN ADDRESSED AND COMPLY WITH BCA 3.8.2.5

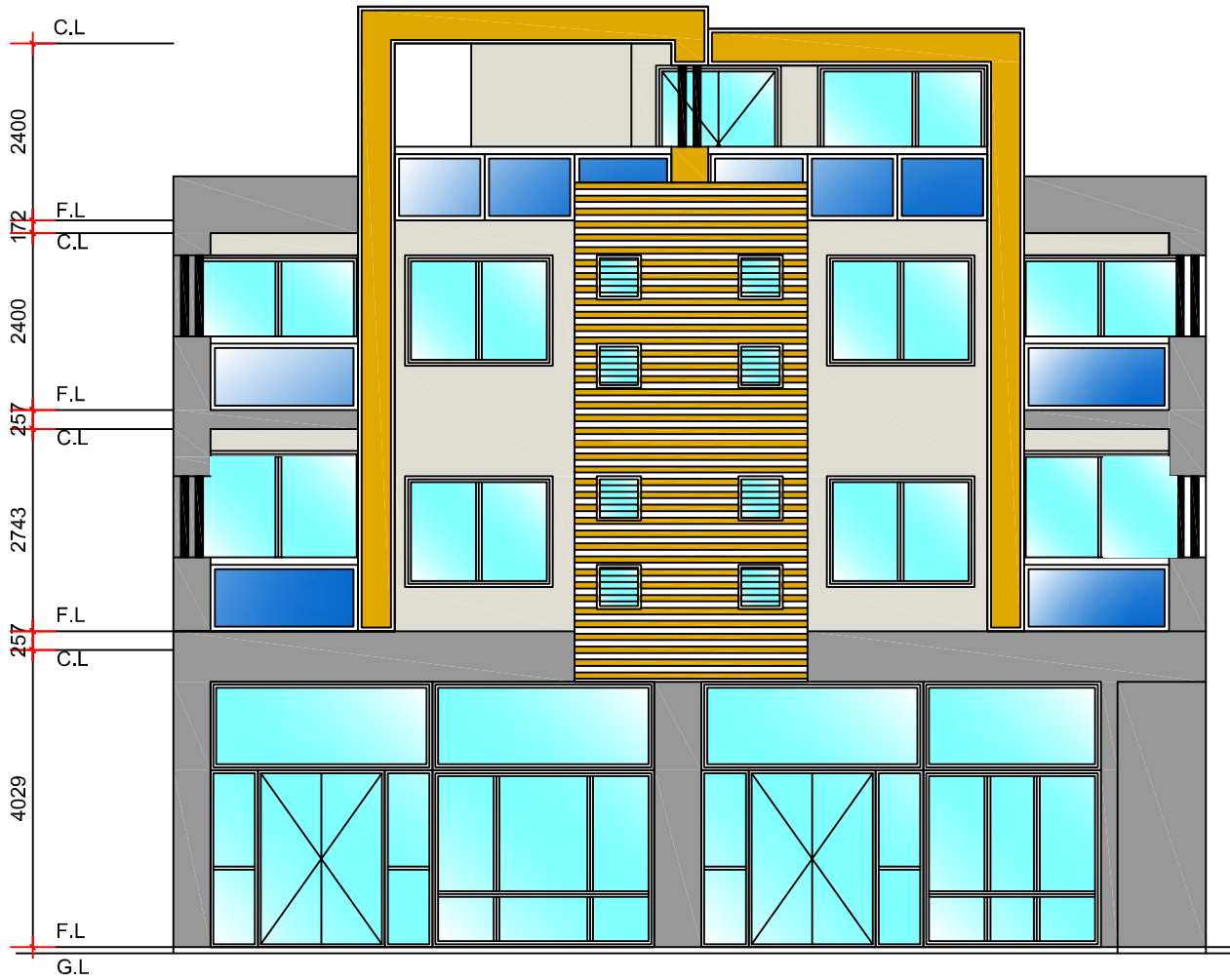


SCREEN DETAILS (PLAN)

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		<p>Date: MAR 2022</p>				
		<p>Scale: 1:100</p>				
		<p>Plot Info: A3</p>				
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				R	Date	Description



-  FEATURE SCREEN (POSSIBLE CEDAR COLOUR) TO ATTRACT ATTENTION & FOR VISUAL AESTHETICS
-  TILT UP PANEL WITH CLEAR FINISH SHOWN GREY
-  TILT UP PANEL WITH DARK GREY FINISH
-  COLOURED (POSSIBLE DARK CREAM) TO ATTRACT ATTENTION & FOR VISUAL AESTHETICS

COLOUR & MATERIALS FRONT ELEVATION

BOX GUTTER AND FLASHING AS REQUIRED

STREET SURVEILLANCE: LARGE WINDOWS ARE PROVIDED FACING MAIN STREETS. SECURITY CAMERAS AND SENSORS WOULD ALSO BE PROVIDED AT OWNERS DISCRETION.

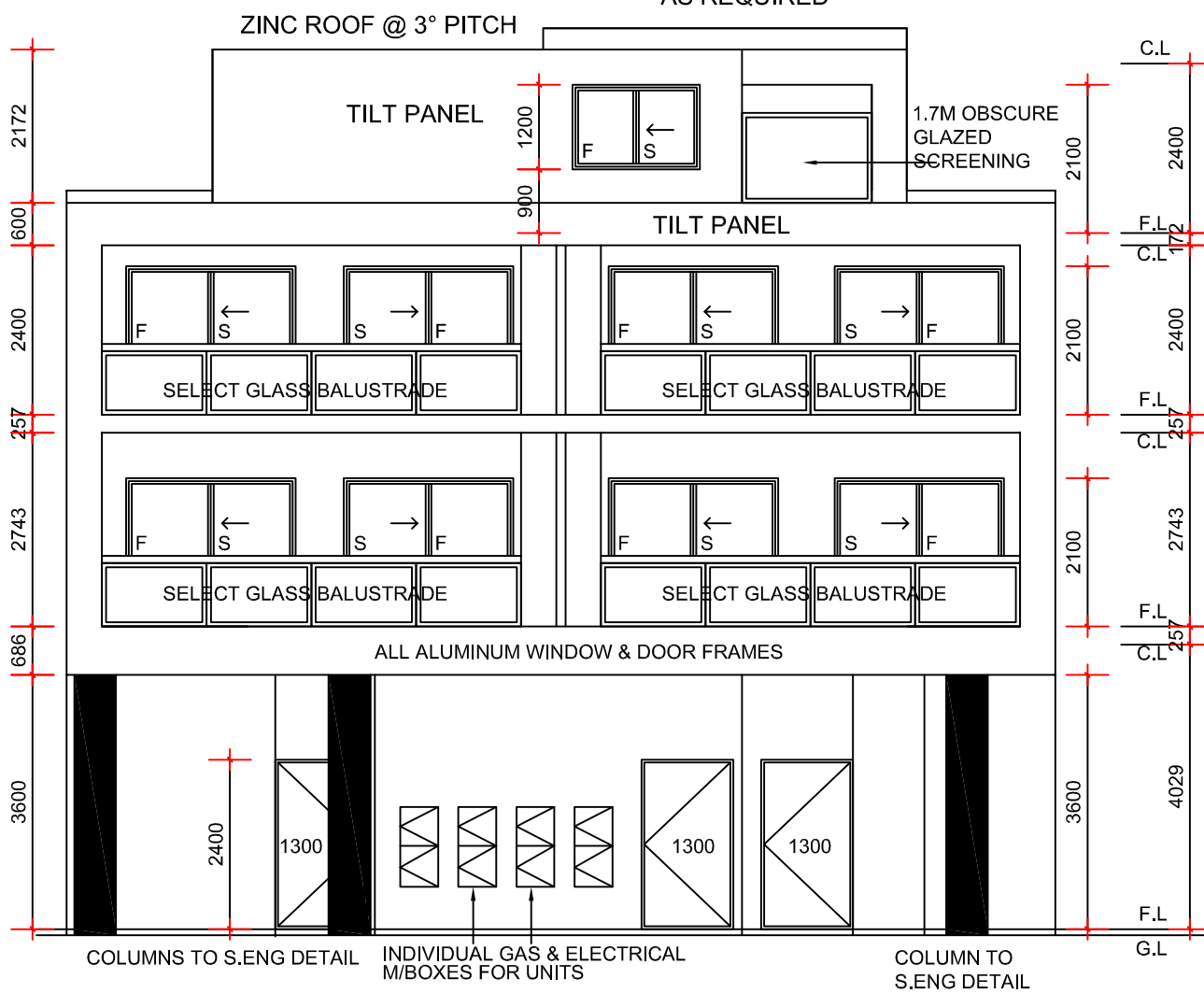
THE HEIGHT AND TYPE OF BALUSTRADE FOR BALCONIES IS IN COMPLIANCE WITH BCA 3.8.2

ALL AWNING WINDOWS ARE OPENABLE AT MAXIMUM 125mm. OTHER UPPER BEDROOM HABITABLE ROOM HAVE SCREENING 1.7m ABOVE F.L WERE NEEDED

ALL OTHER PROTECTION OF OPENABLE WINDOWS ON THE UPPER FLOOR BEDROOMS HAS BEEN ADDRESSED AND COMPLY WITH BCA 3.8.2.5

FIXTURES - VANDALISM RESISTANT, STEEL FRAME DOORS, LAMINATED GLASS AND STURDY HARDWARE. ALL ETERNAL FITTINGS STURDY AND FIXED SECURELY TO THE BUILDING

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING



ELEVATION 2 (REAR)

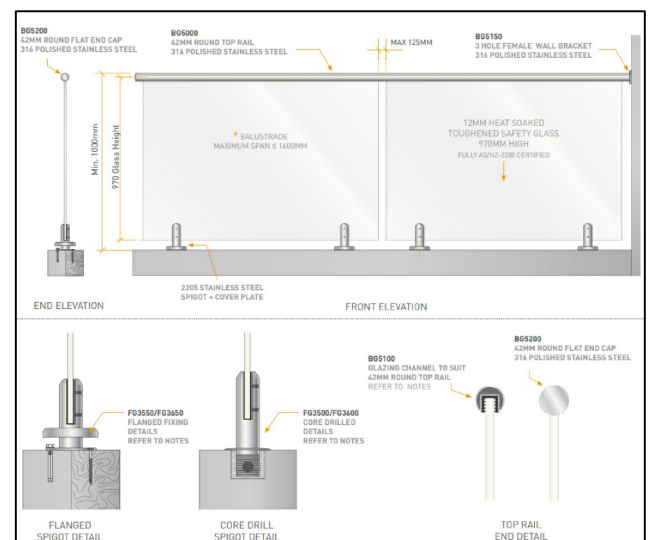
SCALE 1:100


ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

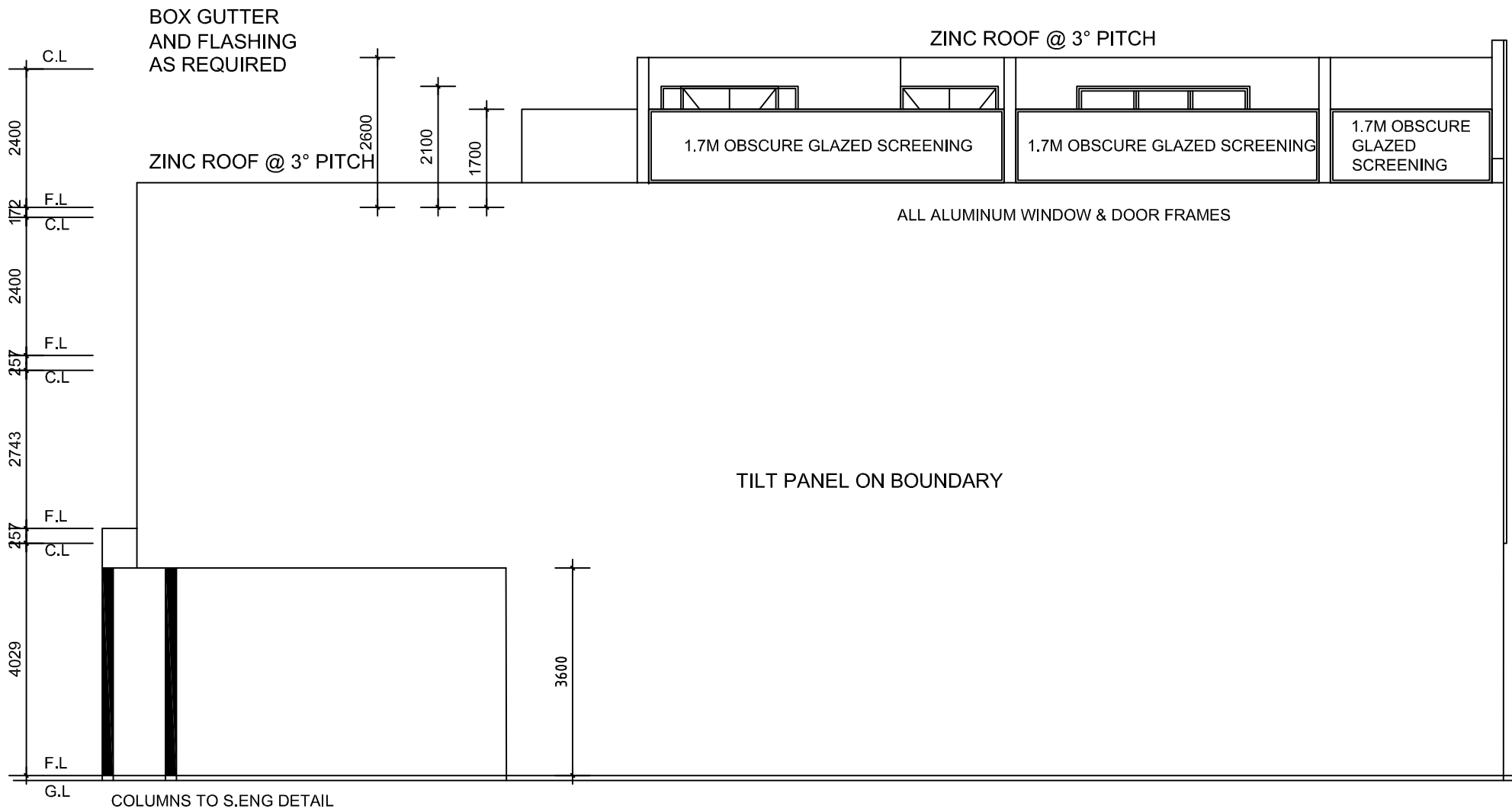
SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORDANCE WITH B.C.A 3.9.2

ENERGY MANAGEMENT TO COMPLY WITH 3.2 OF DESIGN GUIDELINES. THERE IS PLENTY OF GLAZING AND OPENINGS ON BUILDINGS. A FULL ENERGY ASSESSMENT WILL BE DONE WITH BUILDING APPLICATION.

REVISED

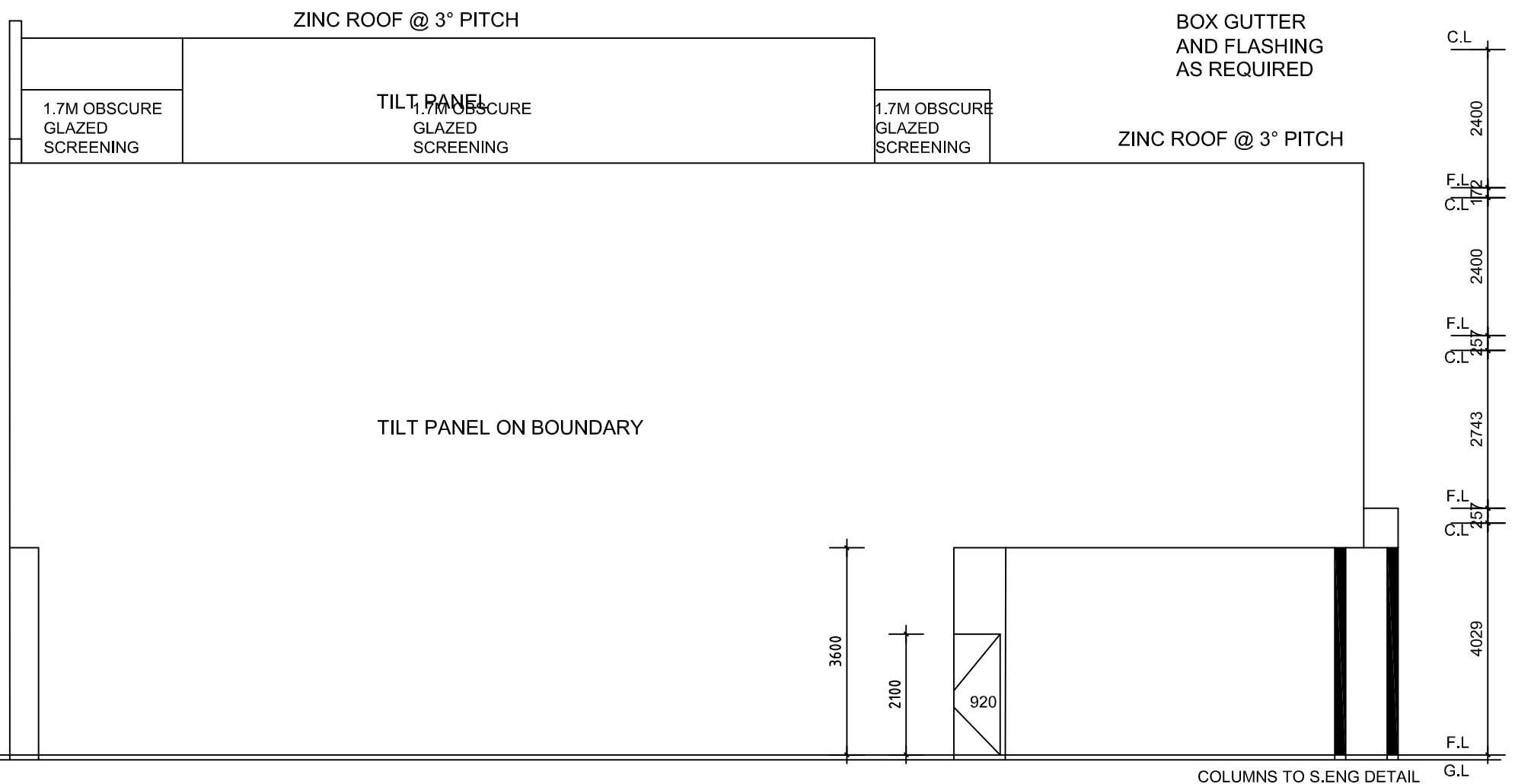


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		<p>Date: MAR 2022</p>			
		<p>Scale: 1:100</p>			
		<p>Plot Info: A3</p>			
		<p>© COPYRIGHT</p>			
	<p>ELEVATIONS</p>			<p>R Date Description</p>	



ELEVATION 3 (SIDE)

SCALE 1:100



ELEVATION 3 (SIDE)


SCALE 1:100

ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

FIXTURES - VANDALISM RESISTANT, STEEL FRAME DOORS, LAMINATED GLASS AND STURDY HARDWARE. ALL ETERNAL FITTINGS STURDY AND FIXED SECURELY TO THE BUILDING

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		<p>Date: MAR 2022</p>				
		<p>Scale: 1:100</p>				
		<p>Plot Info: A3</p>				
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<p>ELEVATIONS</p>				R	Date	Description

REVISED



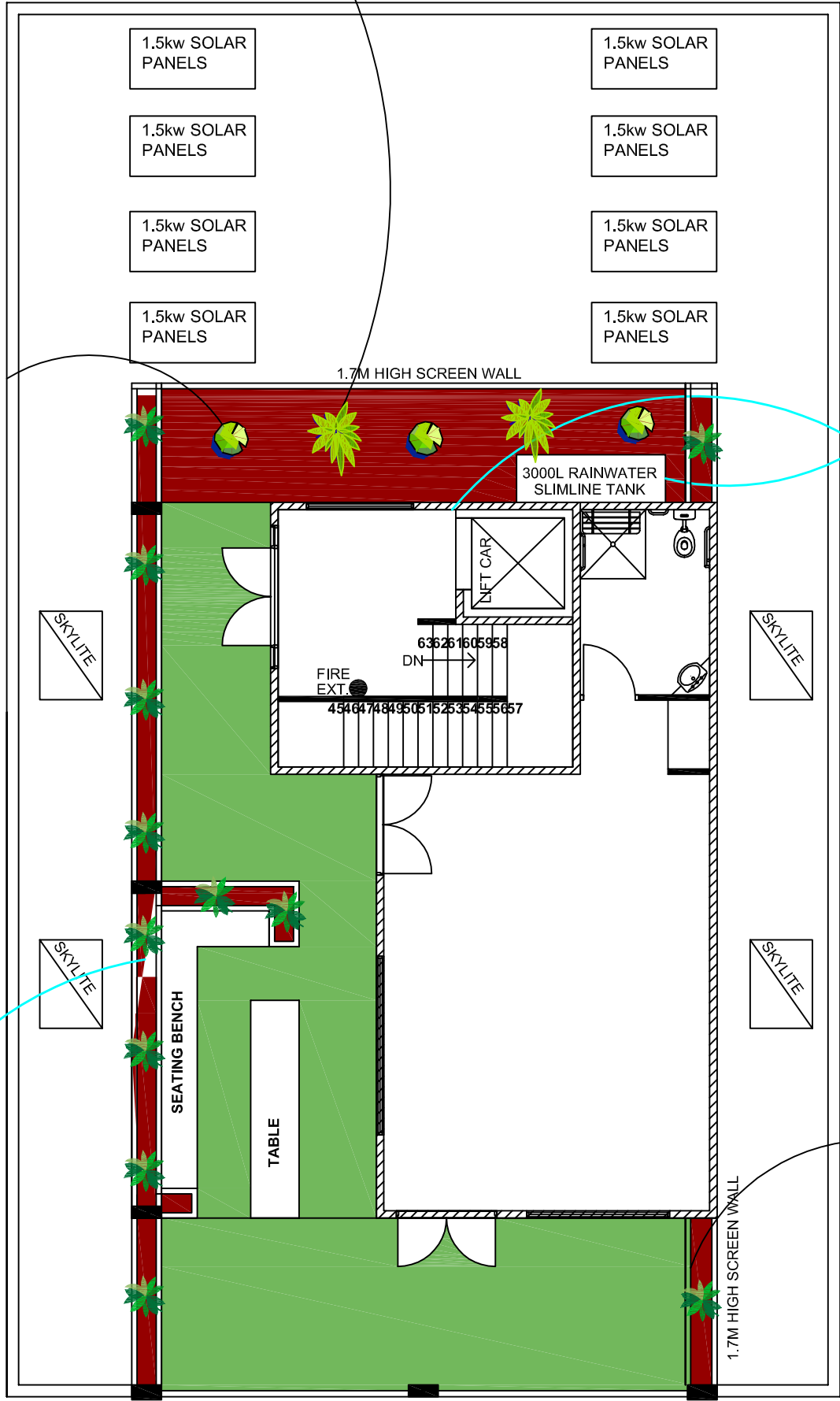
LOW MAINTENANCE
FOXTAIL AGAVE
(AGAVE ATTENUATA)



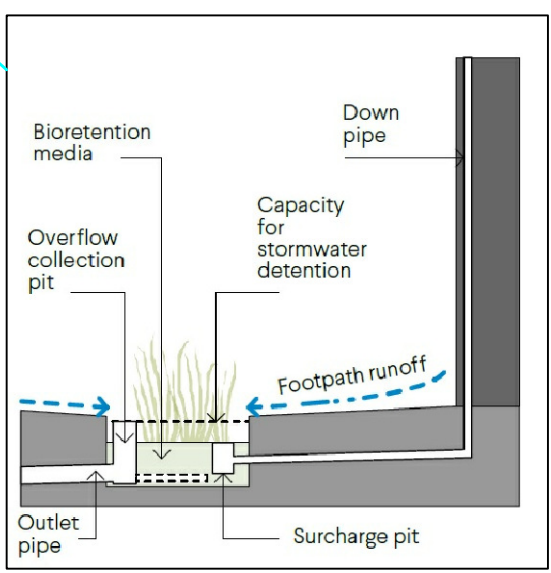
LOW MAINTENANCE
SPRING BOUQUET
LAURUSTINUS

ARTIFICIAL GRASS

SOIL



3000L RAINWATER SLIMLINE TANK



GROUND COVER SHRUBS HERMIANDRA PUNGENS. IDEAL FOR LANDSCAPING STRIP.



ELEVATED PLANTER 500mm WIDE BY 1.2m HIGH FILLED WITH DEEP SOIL. TO GET A COLOURFUL SELECTION AND MAXIMUM USAGE OF THE NORTHERN SUN A SELECTION OF THE FOLLOWING PLANTS & SHRUBS WOULD USED.

- GOLDEN BREATH OF HEAVEN (COLEONEMA PULCHELLUM)
- MYRTLE SPURGE (EUPHORBIA MYRSINITES)
- NEW ZEALAND SEDGE (CAREX TESTACEA)
- LAVENDER (LAVANDULA STOECHAS)



LANDSCAPE PLAN

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		<p>Date: MAR 2022</p>			
		<p>Scale: 1:100</p>			
		<p>Plot Info: A3</p>			
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		R	Date	Description	