

FEATURE SYMBOL LEGEND

POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR

NOTES
 (1) ALL FEATURES IN GOOD CONDITION
 (2) DEVELOPMENT AREA: ESTABLISHED
 (3) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE
 (4) (A) EASEMENT - TRANSMISSION OF ELECTRICITY

WATER

WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER

SEWERAGE

SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	

TELSTRA

TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	

DRAINAGE

DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	

GAS

GAS METER	GAS VALVE
GAS MARKER	

SURVEY MARKS

PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL

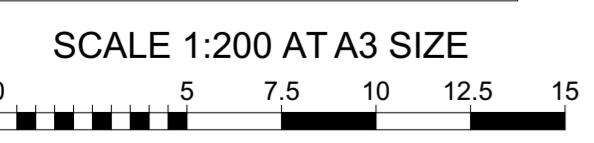
MISCELLANEOUS INFO.

STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

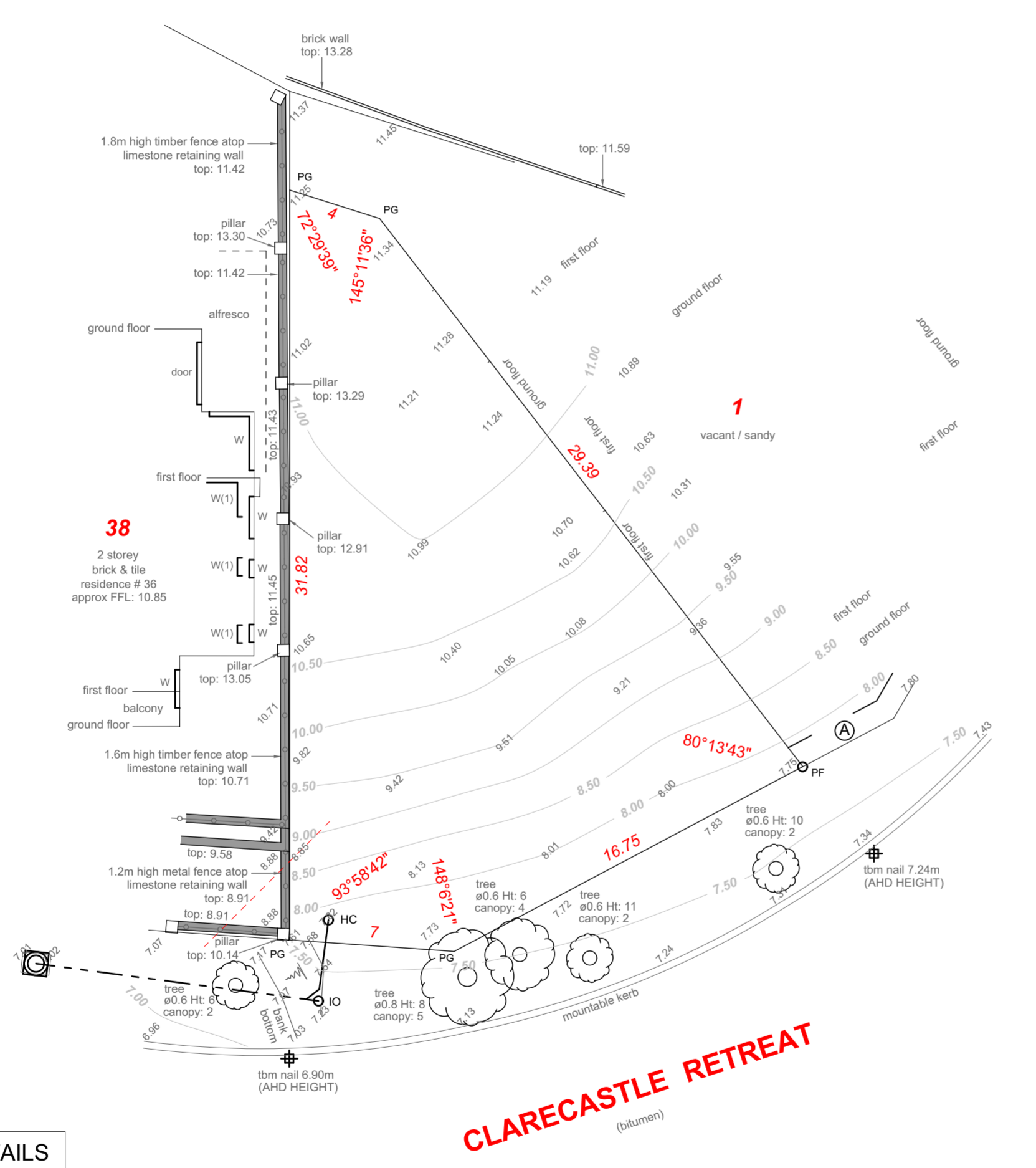
SERVICE DETAILS
 WATER: A, TBC
 OVERHEAD POWER: NS
 U/G POWER: A, TBC
 TELSTRA: A, TBC
 GAS: A, TBC
 SEWER: L

SERVICE NOTES
 L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS
 HOUSE CONNECTION (HC) IL: 5.93
 UP DISTANCE: 1.0
 DEPTH TO CONNECTION: 0.89



IMPORTANT FEATURE SURVEY NOTES
 1. The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
 2. The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
 3. The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
 4. All service information shown on this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



NTS LOCATION PLAN

REVISED
8/9/2022

CLARECASTLE RETREAT
 (bitumen)

SITE PLAN - EXISTING
 1:200

Rev ID	Change	Date
A	Initial Layout	
B	Initial Layout	
C	Revised	
D	Revised	
E	Revised	

DRAWING TITLE: SITE PLAN - EXISTING

DRAWN: RICCADONNA DESIGN	SCALE: AS SHOWN	REVISION: E
STATUS: DEVELOPMENT APPROVAL SUBMISSION	PUBLISH DATE: Thursday, 8 September 2022	

PROPOSED RESIDENCE
 CLIENT: P BURGESS
 SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE
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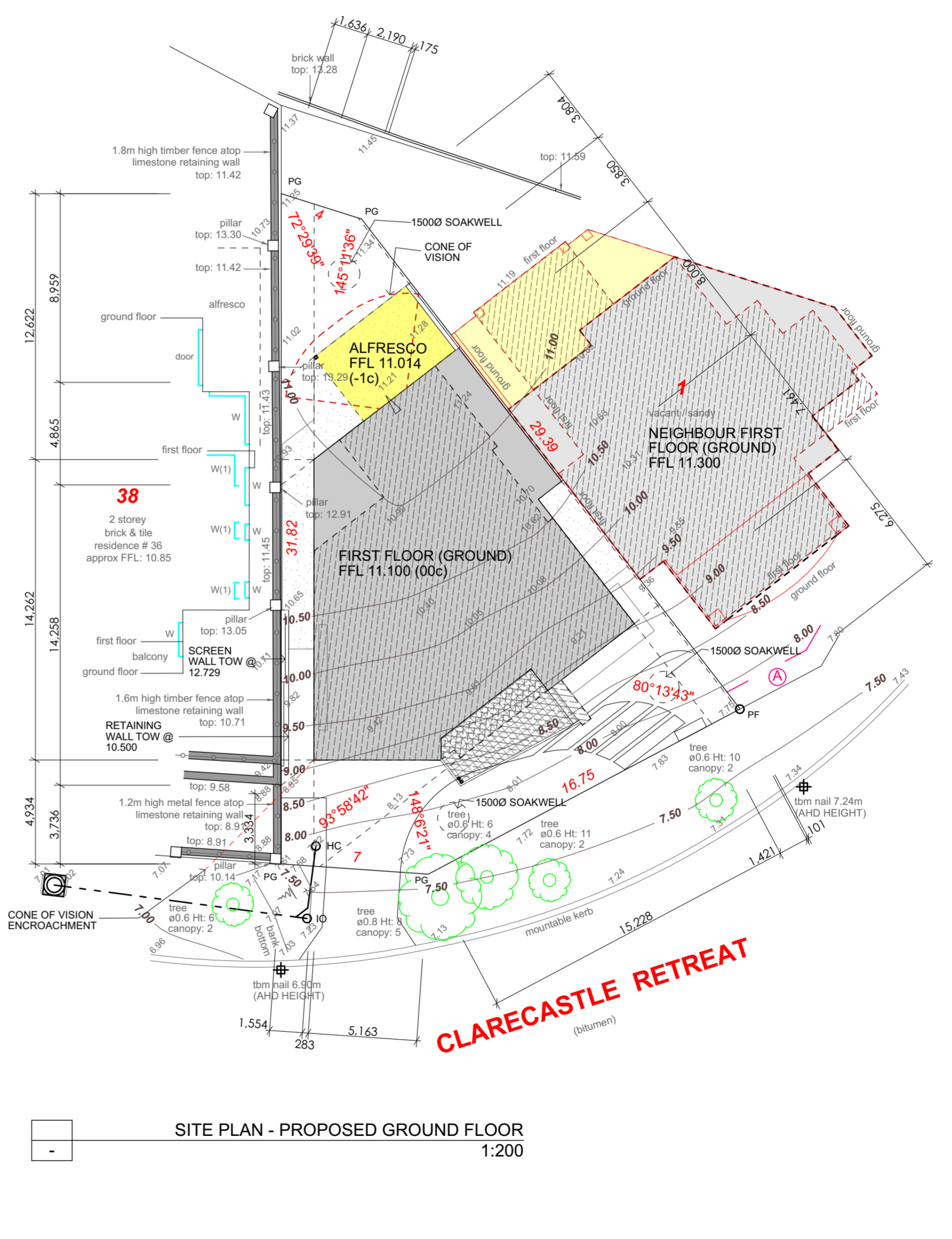
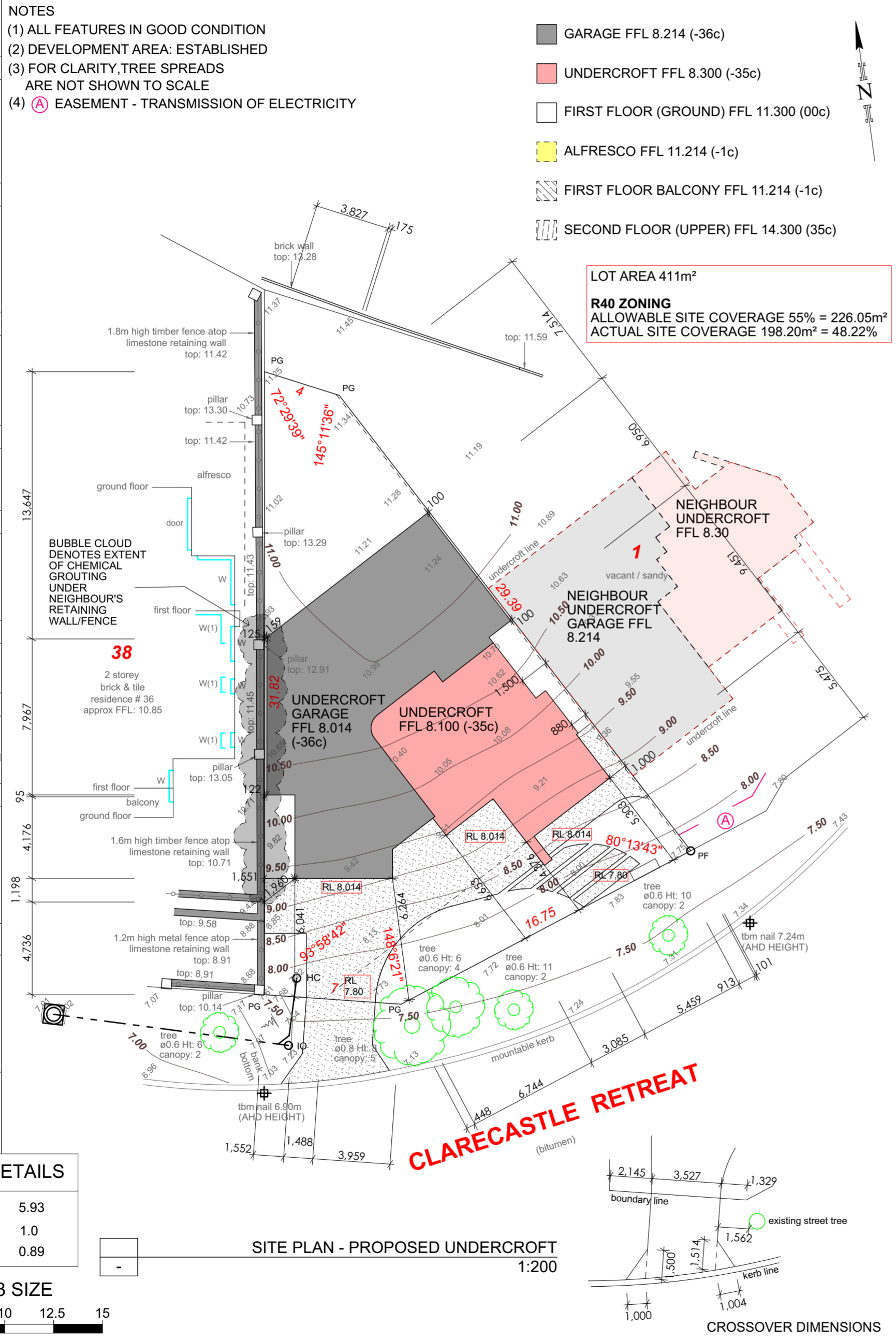
Project Partners
 - Designer: P.W. Surveying
 - Client: P. Burgess
 - City of Wannon
 - Surveying
 - Planning
 - Engineering
 - Construction
 - Landscape Architecture
 - Quantity Surveying
 - Civil Engineering
 - Structural Engineering
 - Mechanical Engineering
 - Electrical Engineering
 - Environmental Engineering
 - Geotechnical Engineering
 - Hydrology
 - Meteorology
 - Oceanography
 - Seismicity
 - Soils
 - Water Resources
 - Wind Engineering

NOTE
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**REVISED
8/9/2022**

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POWER	
CABLE DOME	POWER POLE ○ PP
CABLE BOX	CONSUMER POLE ○ CP
POWER MARKER	EXPOSED CABLES * EC
LIGHT POLE * LP	STAYWIRE ANCHOR ○ SWA
WATER	
WATER METER / TAP	FIRE HYDRANT (H)
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PROPOSED RESIDENCE
P BURGESS
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DRAWING TITLE: SITE PLAN - PROPOSED UNDERCROFT

Rev ID: Change
 Date
 A Initial Layout
 B Initial Layout
 C Proposed Site
 D Proposed Site
 E Proposed Site

SCALE: AS SHOWN
 A2

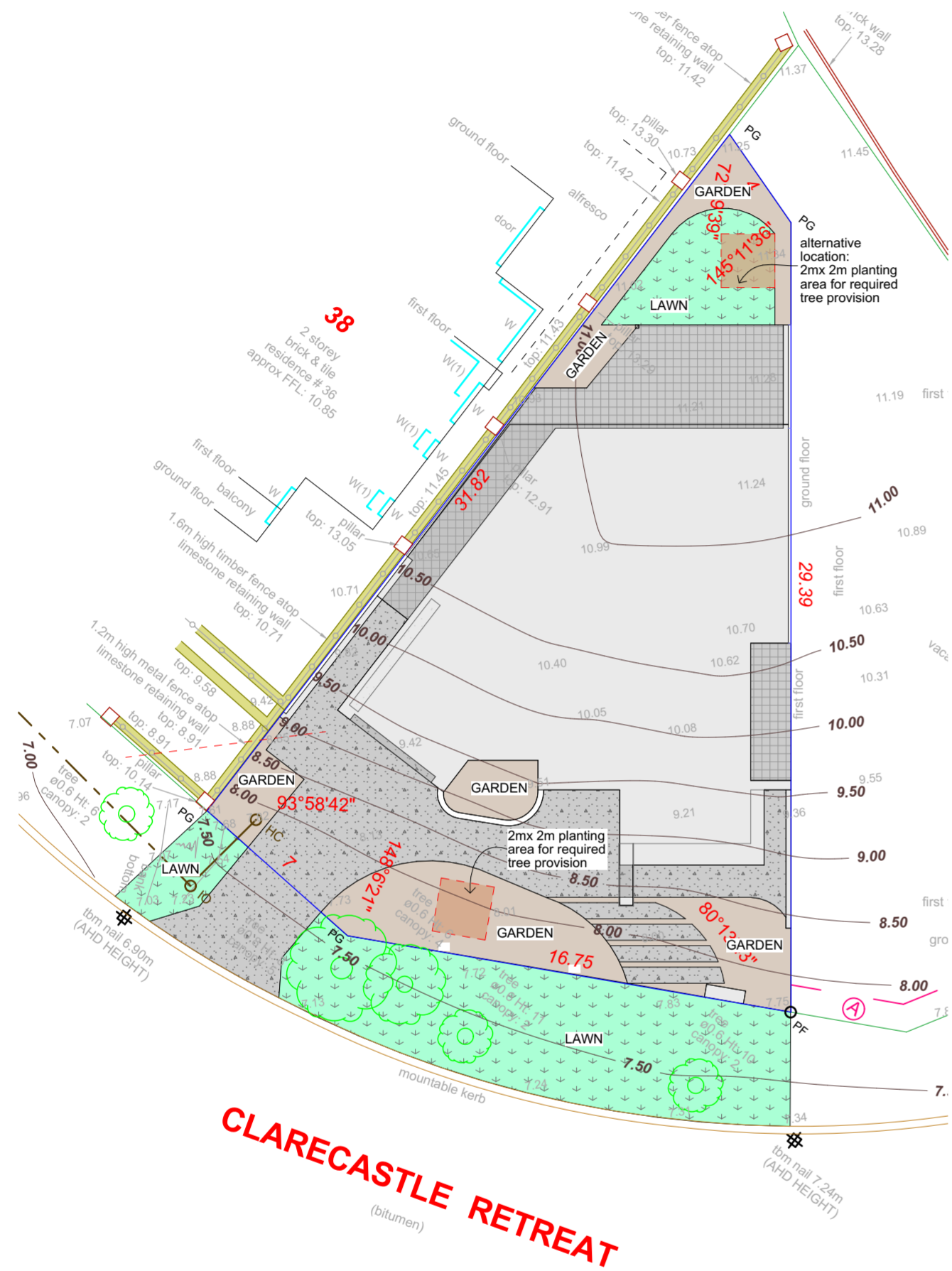
STATUS: DEVELOPMENT APPROVAL SUBMISSION
 REVISION: E
 PUBLISH DATE: Thursday, 8 September 2022

Project Partners
 - Client: P Burgess
 - Designer: Riccadonna Design
 - Draftsman: Riccadonna Design
 - Surveyor: Pro West Surveying
 - Engineer: Riccadonna Design
 - Photographer: Riccadonna Design
 - Printer: Riccadonna Design

NOTE
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REVISED
8/9/2022



0. LANDSCAPED AREA 1:200

MAIN RENDER - DULUX WHITSUNDAY
ROOF - COLORBOND MOMUMENT
CLADDING - JAMES HARDIE AXON / DULUX KNOT

EAVES/SOFFIT - DULUX LEXICON
EXTERNAL METALWORK - DULUX BLACK
WINDOW FRAMES - NIGHT SKY

CONTRASTING RENDER - DULUX LYTTELTON
CLADDING - ULTRABOND SILK GREY

GARAGE DOOR - ULTRABOND SILK GREY
PAVING - HOLCIM GREVILLEA EXPOSED
STONE CLADDING - ECO OUTDOOR - BOKARA

MATERIAL SELECTION

LANDSCAPE PLAN AND MATERIALS

Rev ID	Change	Date
A	Initial Landscaped Area	
B	Initial Cladding	
C	Revised Cladding	
D	Revised Cladding	
E	Revised Cladding	

SCALE	AS SHOWN
DRAWN:	RICCADONNA DESIGN
STATUS:	DEVELOPMENT APPROVAL SUBMISSION
PUBLISH DATE:	Thursday, 8 September 2022

PROPOSED RESIDENCE

CLIENT: **P BURGESS**
SITE ADDRESS: **LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE**

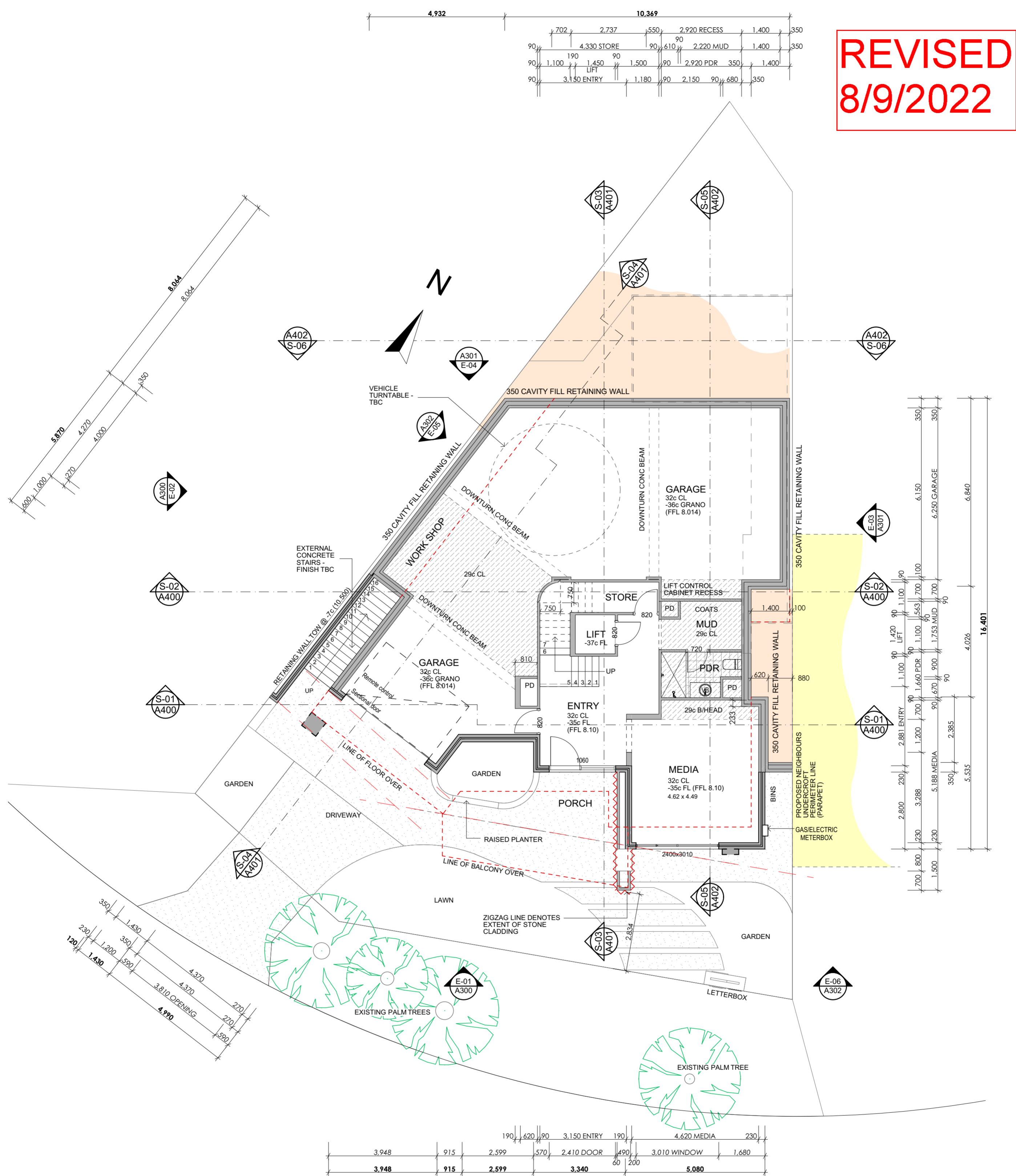
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NOTE
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Project Partners
- Riccadonna Design
- P Burgess
- J Burgess
- J Burgess
- J Burgess
- J Burgess
- J Burgess

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**REVISED
8/9/2022**



GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK.

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED.

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.

SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION.

TIMBER CONSTRUCTION NOTES

ALL TIMBER TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 AND THE TIMBER STRUCTURES CODE AS 1720.1

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

BALUSTRADE NOTES
BALUSTRADE CONSTRUCTION TO COMPLY TO BCA PART 3.9.2
MINIMUM HEIGHT OF BALUSTRADE TO BE 1000MM ABOVE FLOOR LEVEL
OPENINGS IN BALUSTRADE TO BE A MAXIMUM OF 125MM.

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE: REFER BUILDERS SPECIFICATION FOR ALL OWNER SUPPLIED AND INSTALLED ITEMS. CLARIFY EXACT SCOPE PRIOR TO ANY WORKS STARTING

COPYRIGHT	PROPOSED RESIDENCE		DRAWING TITLE: UNDERCROFT PLAN															
	CLIENT: P BURGESS		DRAWN: RICCADONNA DESIGN	SCALE: AS SHOWN														
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		STATUS: DEVELOPMENT APPROVAL SUBMISSION	REVISION: E														
			PUBLISH DATE: Thursday, 8 September 2022	<table border="1"> <thead> <tr> <th>Rev ID</th> <th>Change</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Initial Concept</td> <td>21.03.22</td> </tr> <tr> <td>C</td> <td>Initial Concept 2</td> <td>31.03.22</td> </tr> <tr> <td>B</td> <td>Client Amendments</td> <td>21.04.22</td> </tr> <tr> <td>E</td> <td>Development Approval Submission - Amend</td> <td>08.09.22</td> </tr> </tbody> </table>	Rev ID	Change	Date	A	Initial Concept	21.03.22	C	Initial Concept 2	31.03.22	B	Client Amendments	21.04.22	E	Development Approval Submission - Amend
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Project Partners
Refer to separate documentation when directed

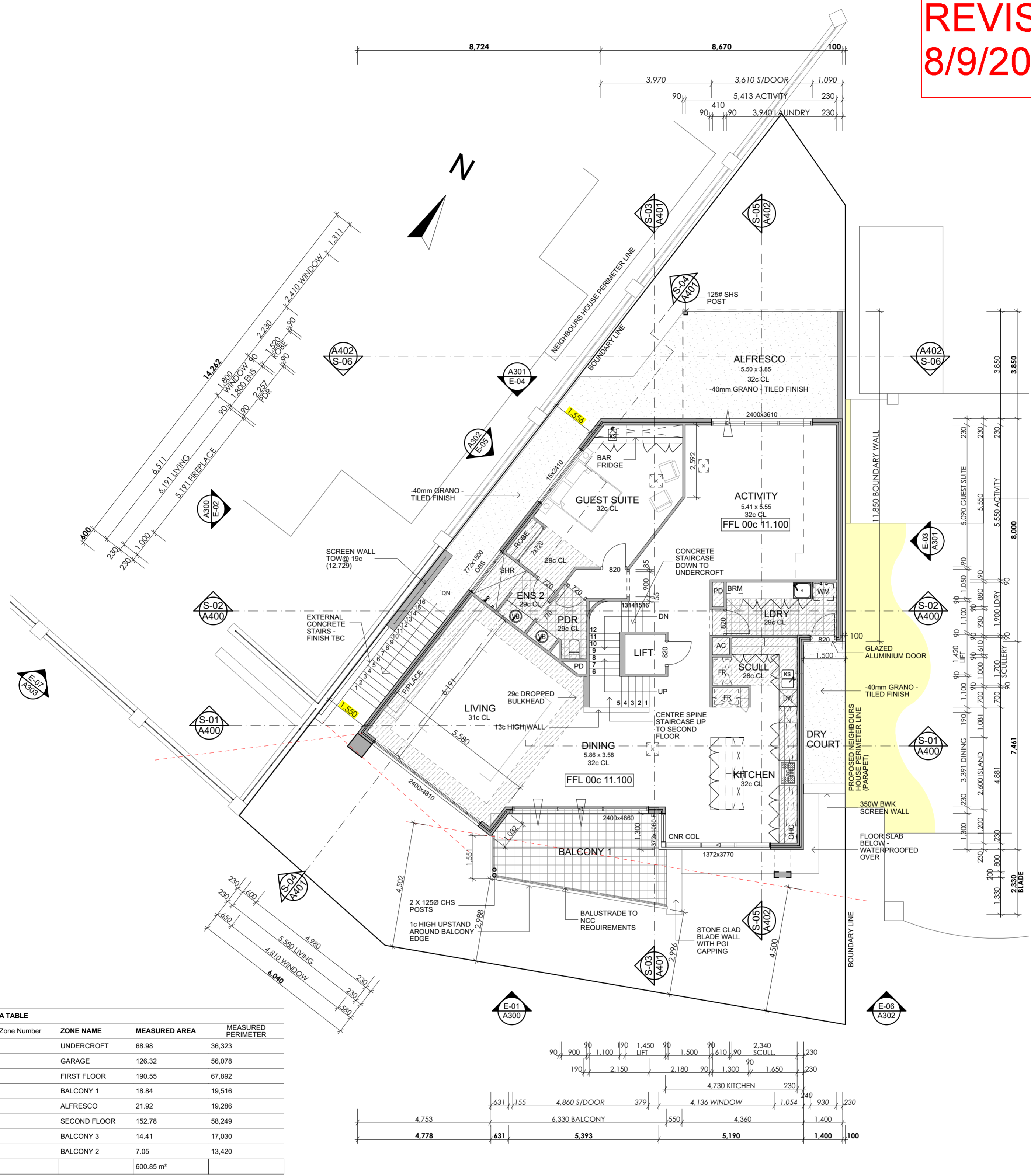
- Builder - TBC
- Designer - Riccadonna Design
- Engineer - Structural Engineer
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

rd
riccadonna
design

m : 0417 974 215
e : riccad@bigpond.net.au

DRAWING NO.
A200

REVISED
8/9/2022



Zone Number	ZONE NAME	MEASURED AREA	MEASURED PERIMETER
01	UNDERCROFT	68.98	36,323
01	GARAGE	126.32	56,078
02	FIRST FLOOR	190.55	67,892
03	BALCONY 1	18.84	19,516
04	ALFRESCO	21.92	19,286
05	SECOND FLOOR	152.78	58,249
06	BALCONY 3	14.41	17,030
06	BALCONY 2	7.05	13,420
		600.85 m²	

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	CLIENT: P BURGESS		DRAWN: RICCADONNA DESIGN	SCALE: AS SHOWN														
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		STATUS: DEVELOPMENT APPROVAL SUBMISSION	REVISION: E														
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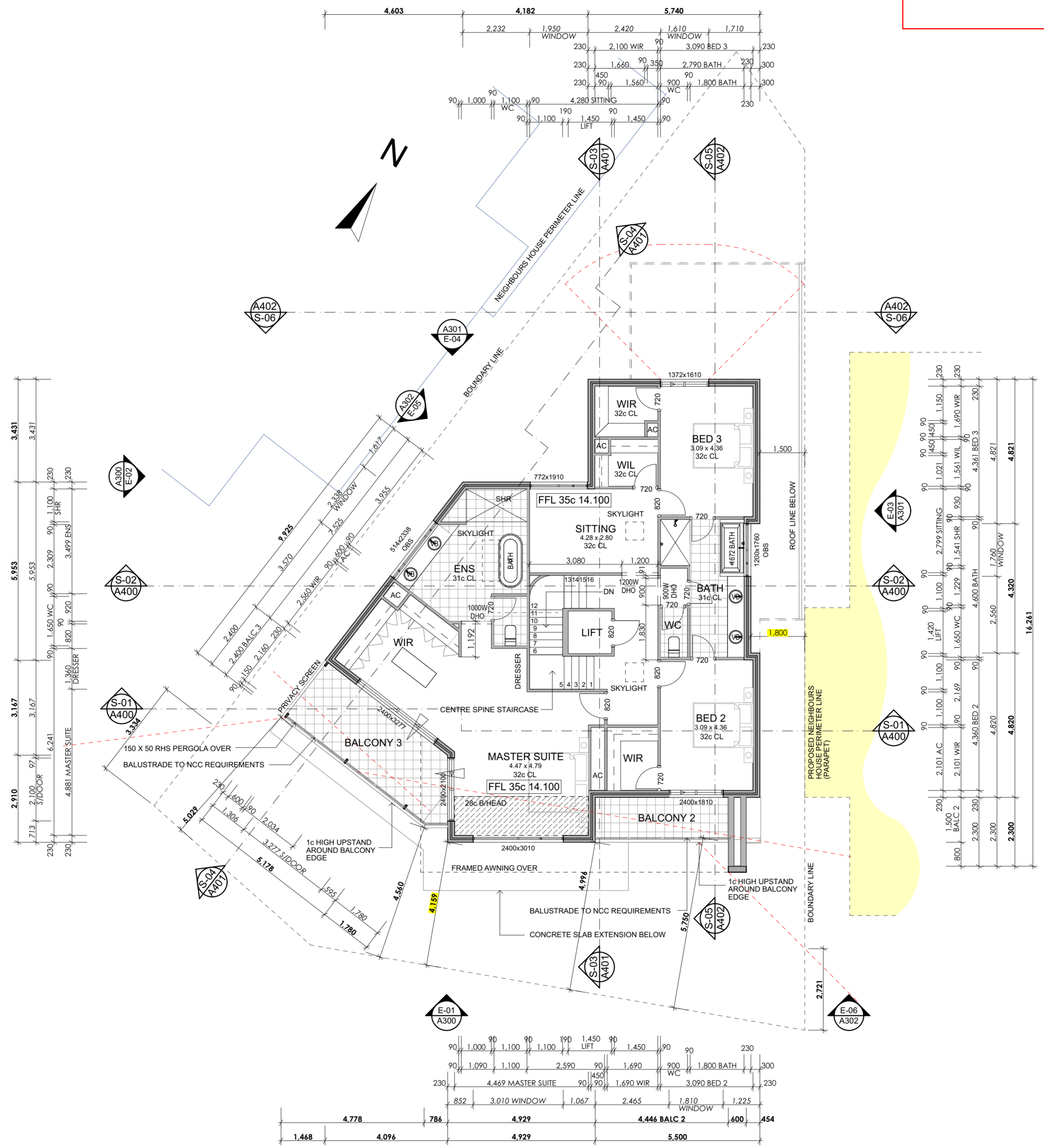
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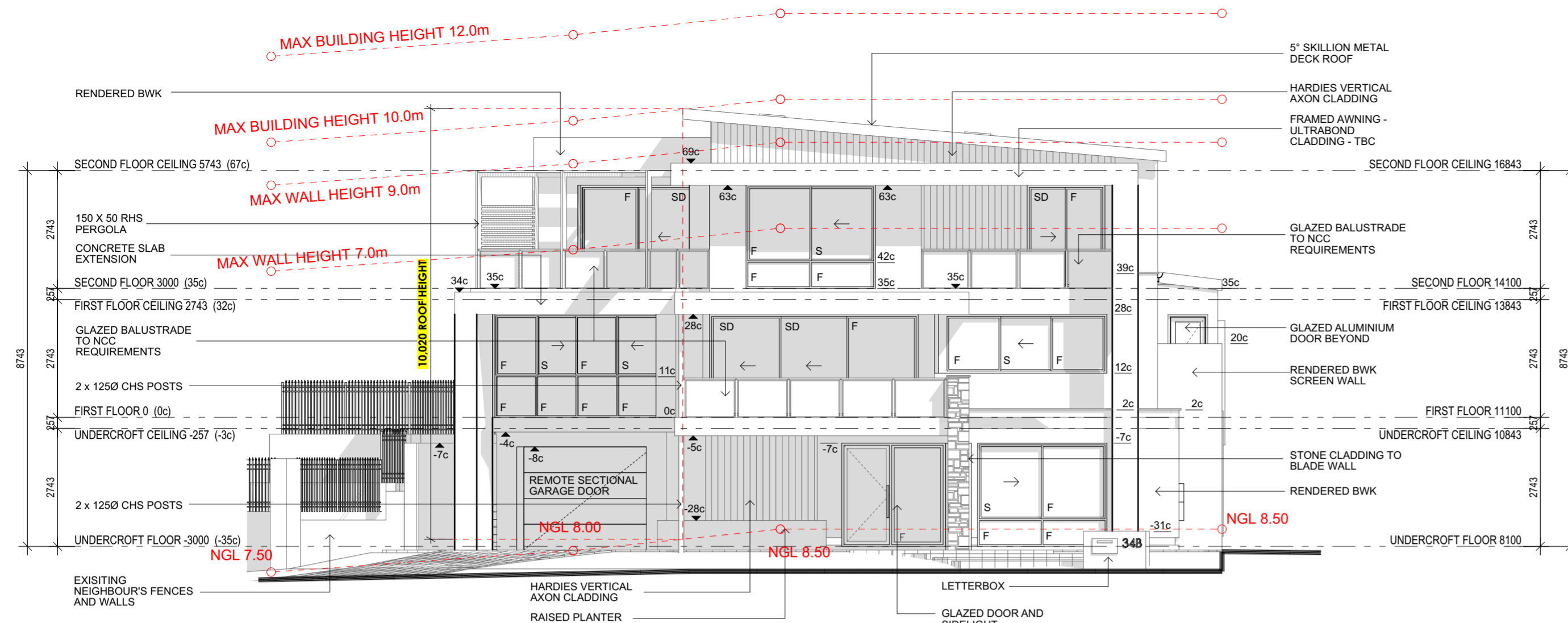
rd
riccadonna
design
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e : riccad@bigpond.net.au

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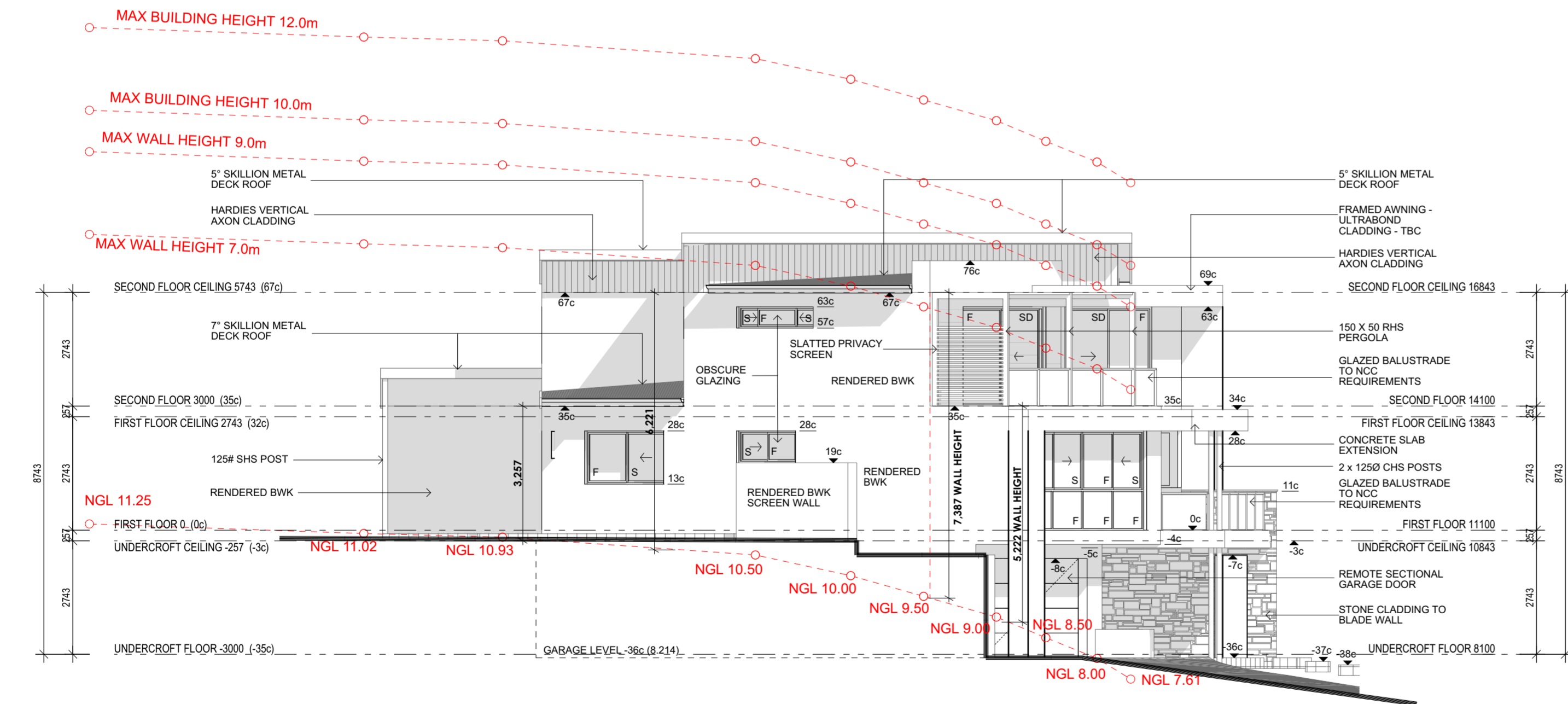
Project Partners
Refer to project documentation when directed
- Builder - TBC
- Engineer - Riccadonna Design
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents have within are subject to Australian Copyright Laws.

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STREET ELEVATION
1:100



SOUTH/WEST ELEVATION
1:100

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

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ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER.
FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

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CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS.

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ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
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BALUSTRADE NOTES
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MINIMUM HEIGHT OF BALUSTRADE TO BE 100MM ABOVE FLOOR LEVEL.
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NOTE:
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NOTE: REFER BUILDERS SPECIFICATION FOR ALL OWNER SUPPLIED AND INSTALLED ITEMS. CLARIFY EXACT SCOPE PRIOR TO ANY WORKS STARTING

**REVISED
8/9/2022**

E-02


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Project Partners
Refer to contract documentation when directed
- Builder - TBC
- Civil Engineer - TBC
- Engineer - Structural Engineer
- Landscape Designer - TBC
- Interior Designer - TBC

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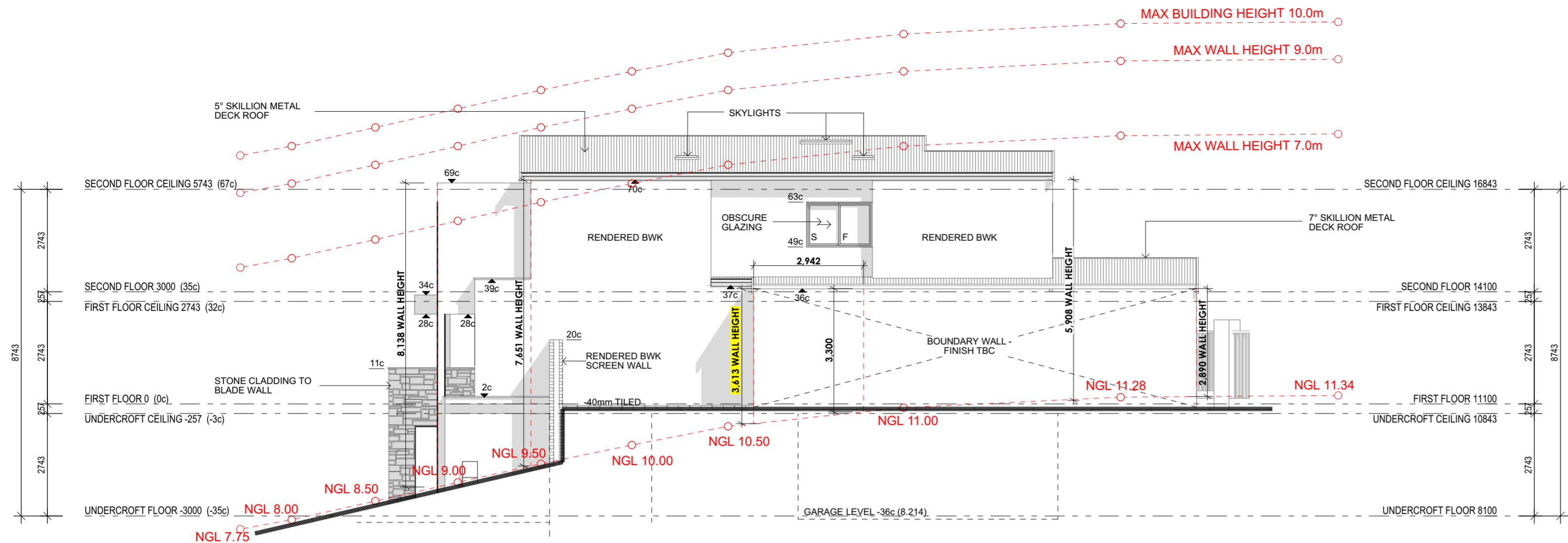
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	CLIENT: P BURGESS		SCALE: AS SHOWN	REVISION: E
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		STATUS: DEVELOPMENT APPROVAL SUBMISSION	REVISION: E
	PUBLISH DATE: Thursday, 8 September 2022		REVISION:	REVISION:

Rev ID	Change	Date
A	Initial Concept	21.03.22
C	Initial Concept 3	31.03.22
D	Development Approval Submission	02.05.22
E	Development Approval Submission - Amend	08.09.22

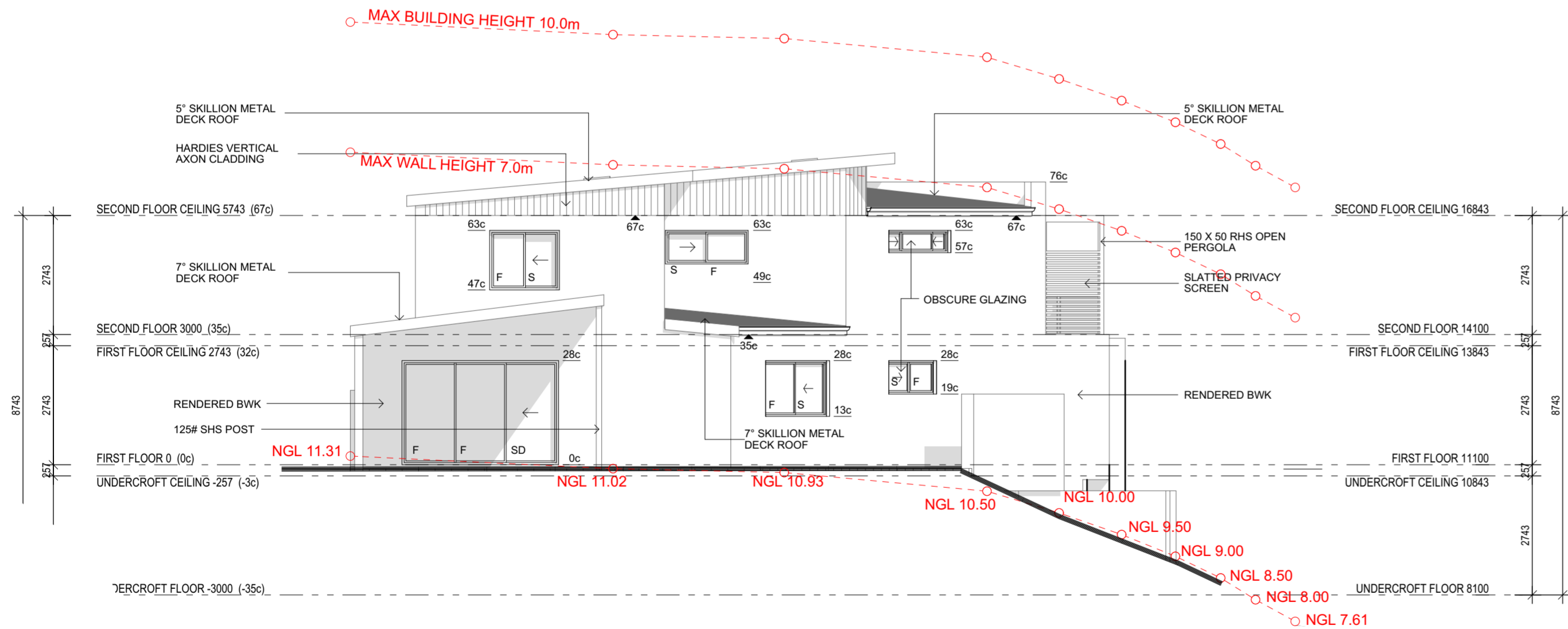


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e : riccad@bigpond.net.au



E-03 NORTH/EAST ELEVATION 1:100



E-04 REAR ELEVATION 1:100

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

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**REVISED
8/9/2022**

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Project Partners
Builder - TBC
Contractor - TBC
Engineer - Structural Engineer
Landscape Designer - TBC
Interior Designer - TBC

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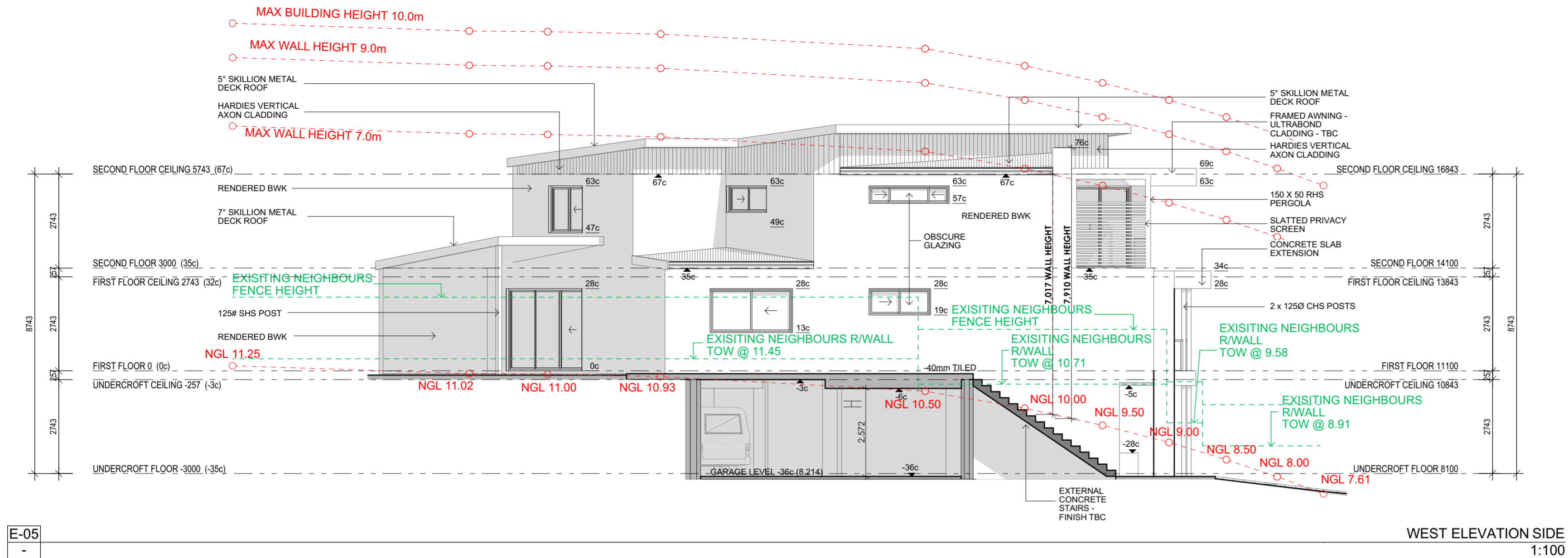
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	CLIENT: P BURGESS		SCALE: AS SHOWN	REVISION: E
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		DRAWN: RICCADONNA DESIGN	DATE: Thursday, 8 September 2022
			STATUS: DEVELOPMENT APPROVAL SUBMISSION	

Rev ID	Change	Date
A	Initial Concept	21.03.22
C	Initial Concept 3	31.03.22
D	DEVELOPMENT APPROVAL SUBMISSION	02.05.22
E	Development Approval Submission - Amend	08.09.22

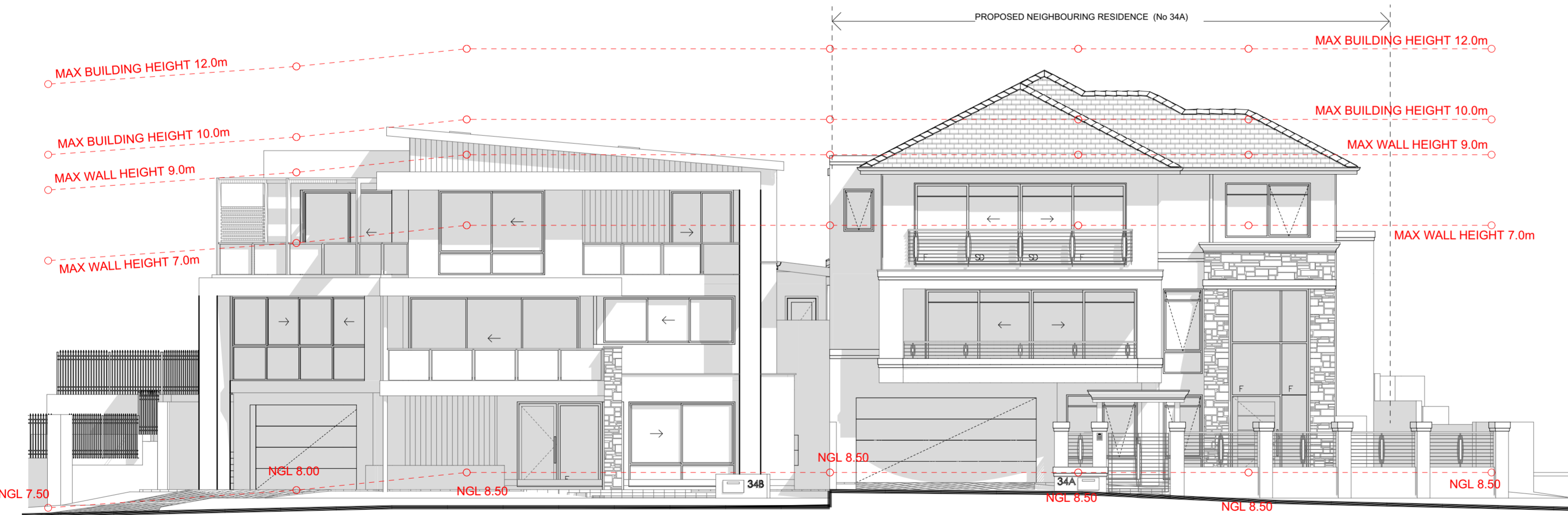
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design

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DRAWING NO.
A301



WEST ELEVATION SIDE
1:100



STREET ELEVATION WITH SOUTHERN NEIGHBOUR
1:100

GENERAL NOTES

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**REVISED
8/9/2022**

E-05

E-06

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Project Partners
Builder - TBC
Contractor - TBC
Engineer - Structural Engineer
Landscape Designer - TBC
Surveyor - TBC
Interior Designer - TBC

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	CLIENT: P BURGESS		SCALE: AS SHOWN	Rev ID Change Date
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		STATUS: DEVELOPMENT APPROVAL SUBMISSION	A Initial Concept 21.03.22 B Initial Concept 3 31.03.22 C DEVELOPMENT APPROVAL SUBMISSION 02.05.22 E Development Approval Submission - Amend 08.09.22
	PUBLISH DATE: Thursday, 8 September 2022		REVISION: E	m : 0417 974 215 e : riccad@bigpond.net.au

riccadonna design
m : 0417 974 215
e : riccad@bigpond.net.au

DRAWING NO.
A302

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK.

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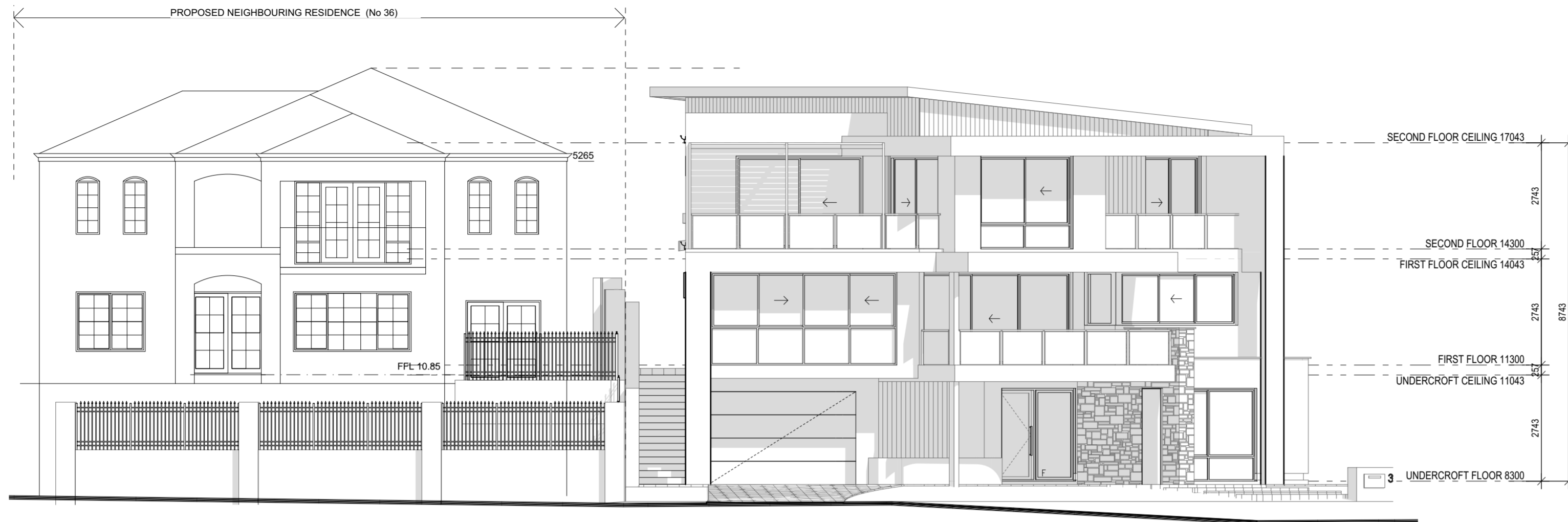
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E-07
-

STREET ELEVATION WITH WESTERN NEIGHBOUR
1:100


REVISED
8/9/2022

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Project Partners
Refer to consultant documentation when directed
- Builder - TBC
- Civilian - AGS
- Engineer - Structural Engineer
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

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	CLIENT: P BURGESS		DRAWN: RICCADONNA DESIGN	SCALE: A2 AS SHOWN														
	SITE ADDRESS: LOT 2 (No 34B) CLARECASTLE RETREAT MINDARIE		STATUS: DEVELOPMENT APPROVAL SUBMISSION	REVISION: E														
	PUBLISH DATE: Thursday, 8 September 2022		<table border="1"> <thead> <tr> <th>Rev ID</th> <th>Change</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Initial Concept</td> <td>21.03.22</td> </tr> <tr> <td>C</td> <td>Initial Concept 3</td> <td>31.03.22</td> </tr> <tr> <td>D</td> <td>DEVELOPMENT APPROVAL SUBMISSION</td> <td>02.05.22</td> </tr> <tr> <td>E</td> <td>Development Approval Submission - Amend</td> <td>08.09.22</td> </tr> </tbody> </table>		Rev ID	Change	Date	A	Initial Concept	21.03.22	C	Initial Concept 3	31.03.22	D	DEVELOPMENT APPROVAL SUBMISSION	02.05.22	E	Development Approval Submission - Amend
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DRAWING NO.
A303