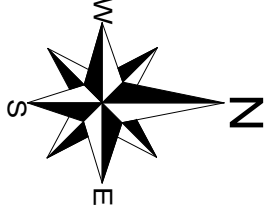


# LOT 937



**LEGEND**

⊕	Power Dome
⊙	Power Pole
⊔	Phone Pits
⊘	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....  
 OWNER 1.....  
 OWNER 2.....  
 BUILDER.....

DR	DATE	CHK	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

MODEL NAME:  
**MONTCLAIR**

DWG:  
**EXISTING SITE PLAN**

SCALE:  
**1:200**

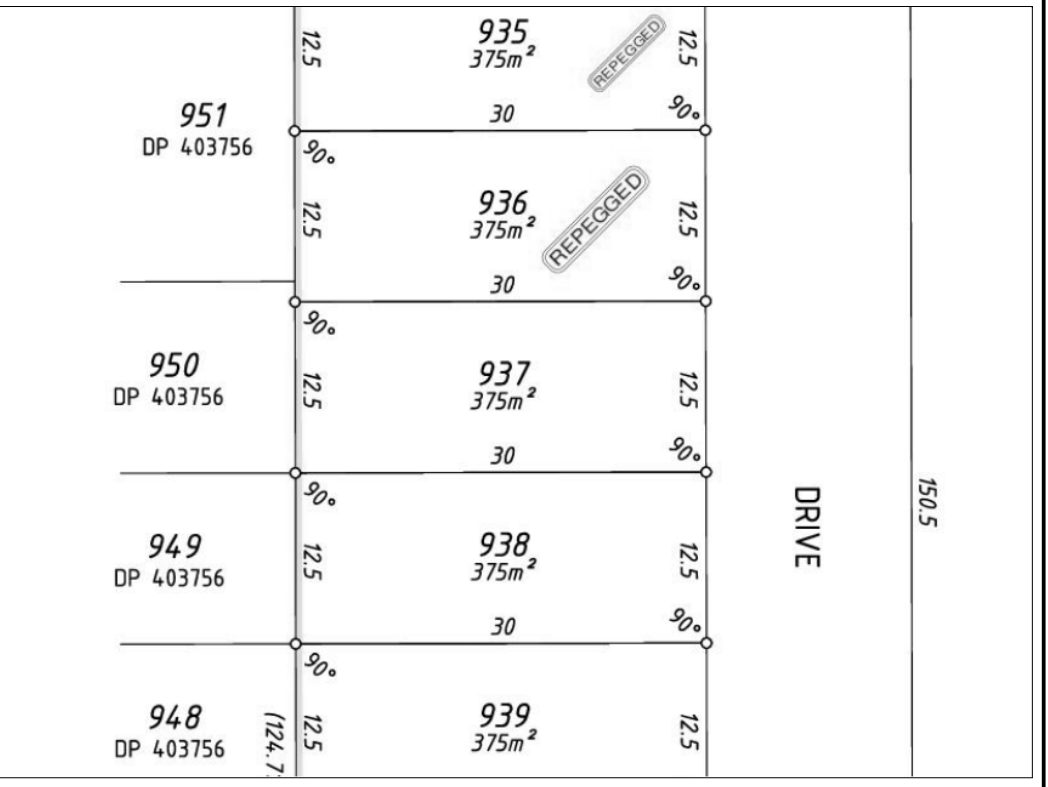
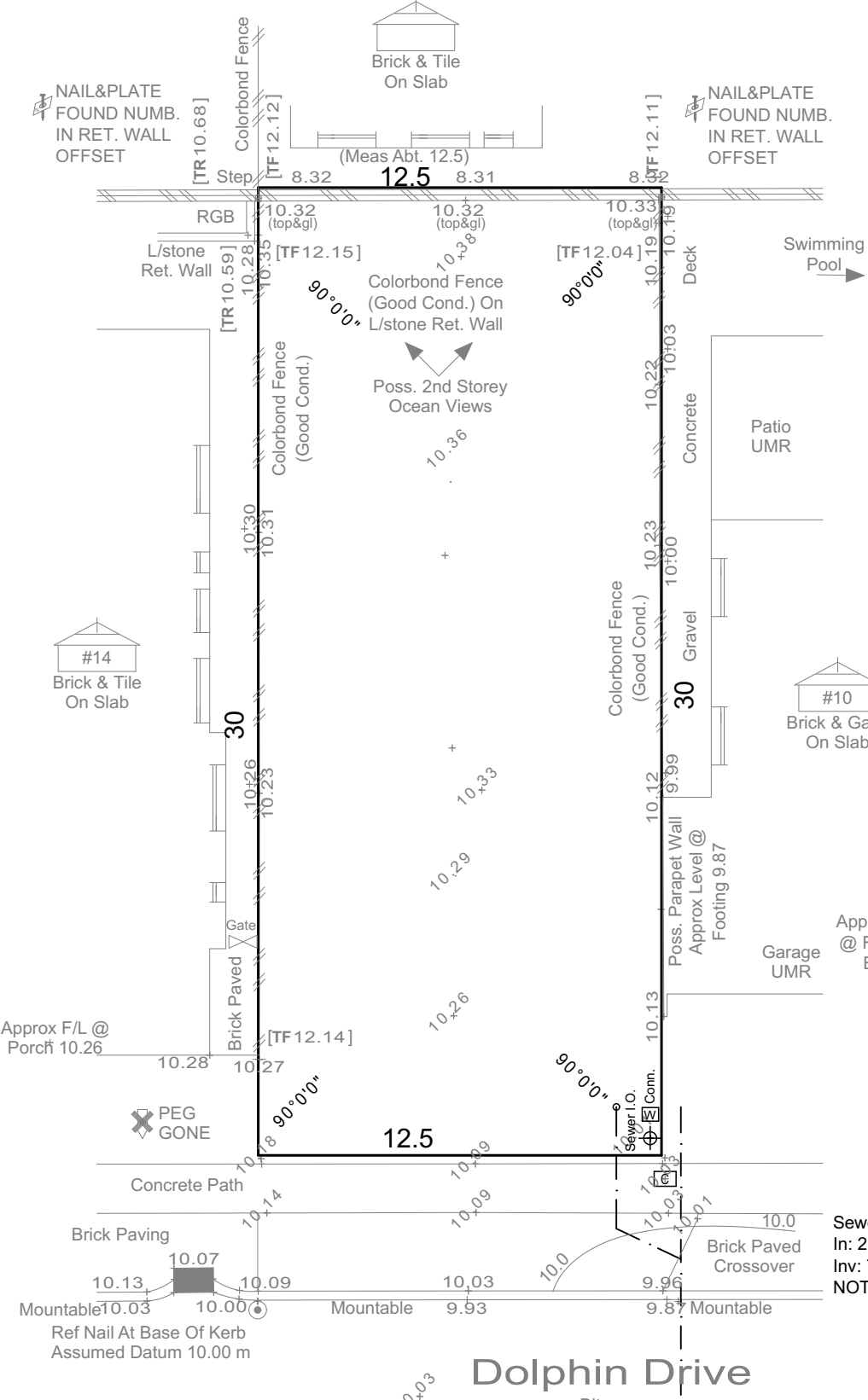
JOB No:  
**22121**

SHEET No:  
**5 of 7**

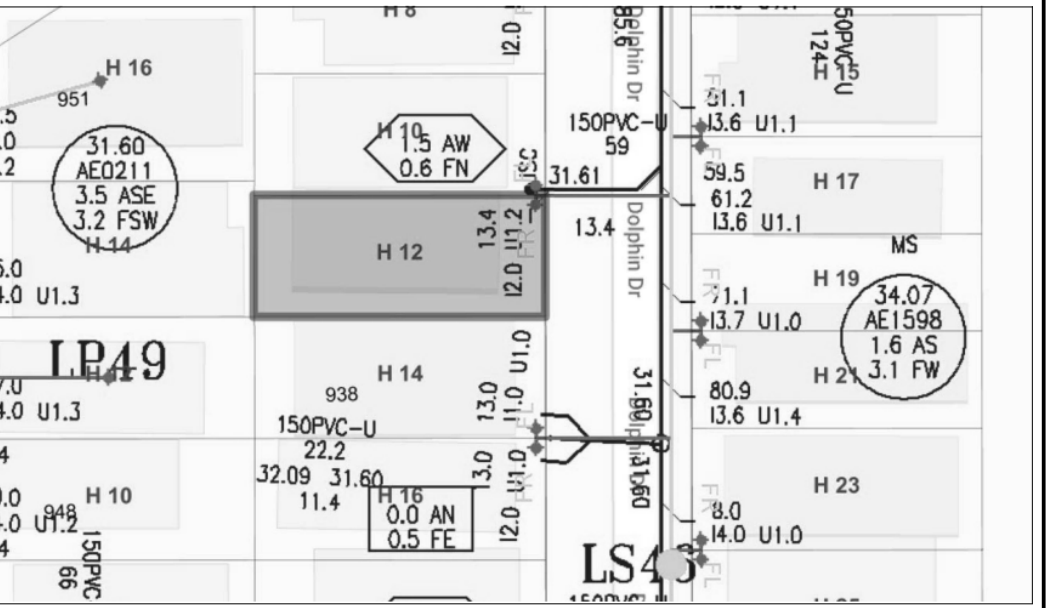
**NEW CHOICE HOMES**  
 24 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
 PO BOX 1407 OSBORNE PARK  
 BUSINESS CENTRE WA 6916  
 PHONE: 9201 7800  
 FAX: 9444 5111  
 EMAIL: Reception@newchoicehomes.com.au  
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**CONTOUR & FEATURE SURVEY**

**LOT** Lot 937 (DP 404349)  
**ADDRESS** #12 Dolphin Drive, Alkimos  
**LGA** CITY OF WANNEROO  
**CLIENT** Ms Newby  
**ORDER #** 22121  
**GPS** Lat: -31.626205 Long: 115.68425  
**SSA** Yes **AREA** 375m² **VOL.** 2872 **FOL.** 222



<b>ELEC.</b>	U/Ground	<b>SEWER</b>	Yes	<b>ROADS</b>	Bitumen	<b>COASTAL</b>	No
<b>GAS</b>	Check Alinta	<b>COMMS</b>	Yes	<b>PATH</b>	Concrete	<b>SOIL</b>	Sand
<b>WATER</b>	Yes	<b>DRAINAGE</b>	Good	<b>KERBS</b>	Mountable	<b>VEG.</b>	Light Grass Cover



**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**LOT MISCLOSE**  
 0.000m

**DUG TO LEVEL**  
 9.90 ON LOT  
 (SAND ONLY)



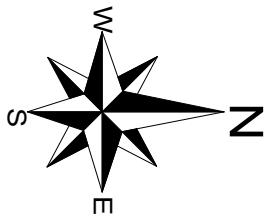
**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

87-89 Guthrie St PO Box 1611 P: (08) 9446 7361  
 Osborne Park WA 6017 Osborne Park BC E: perth@cottage.com.au  
 WA 6917 WA 6917 W: www.cottage.com.au

**JOB:** 533287 **DATE:** 12 Sep 22 **DRAWN:** J. Jee

# LOT 937



## EARTHWORKS NOTE

REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION  
ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

## CONCRETOR NOTE

ALL EXTERNAL CAVITY WALLS TO BE 2c CAVITY BRICKWORK (230mm); UNLESS NOTED OTHERWISE

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

## BRICKPAVING NOTE

BRICKPAVING AS PER ADDENDA

90mm PVC PIPE TO BE PLACED 2m FROM THE CARPORT / GARAGE APPROX 300mm DEEP

## CLIENT NOTE

F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN  
A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S)  
B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

## SERVICES NOTE

SEWER JUNCTION AND WATER PRELAY NOT AVAILABLE AT PRELIMINARY DRAWINGS STAGE

WATER PRELAY LOCATED AT FRONT LEFT OF BLOCK

## DOWNPIPE NOTE

LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.

## SUPERVISOR NOTE

PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

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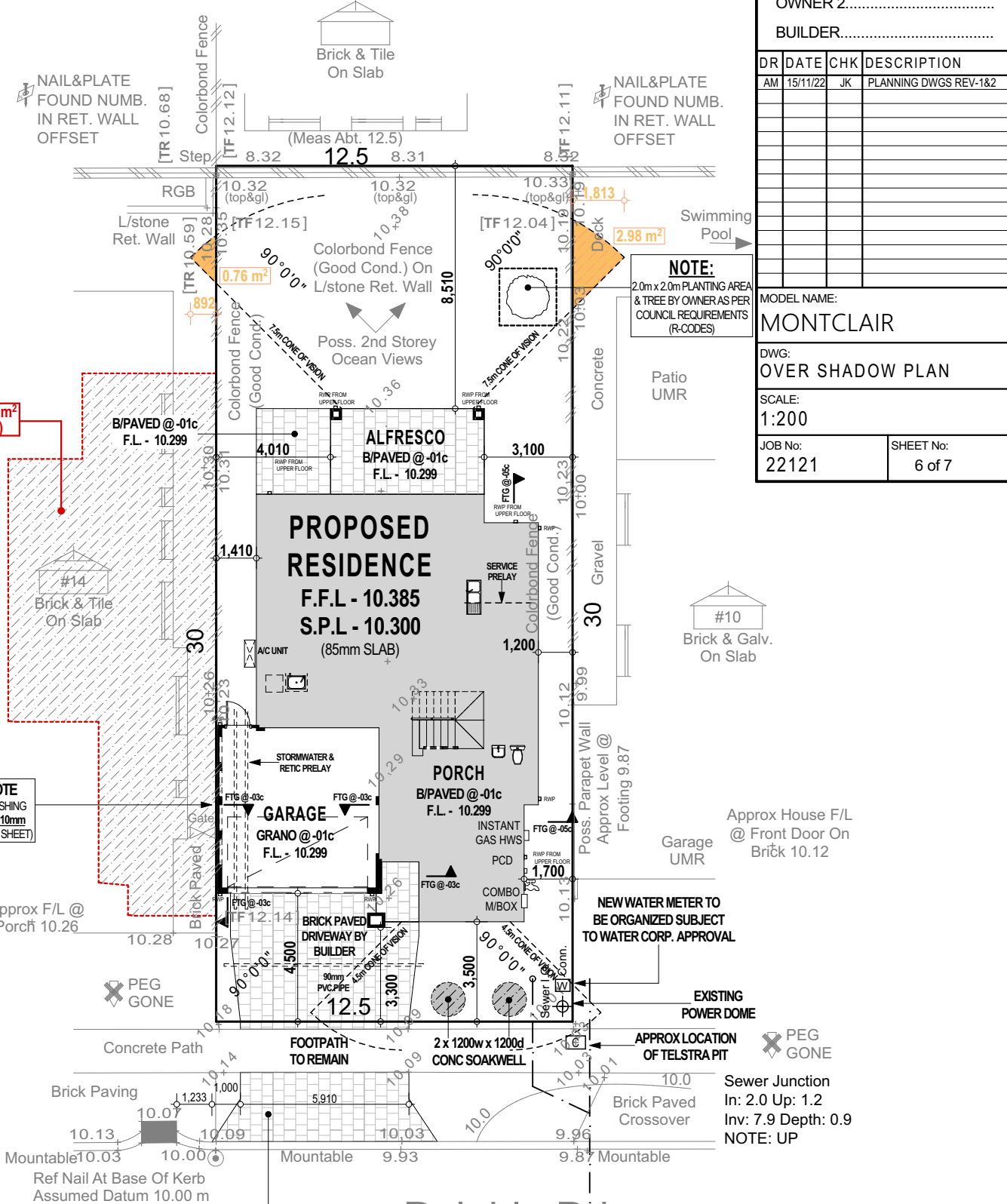
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**LOT MISCLOSE**  
0.000m

SITE ZONING-R30/LDP	
CITY OF WANNEROO	
Area of Site	375m <sup>2</sup>
Area of Building	146.93m <sup>2</sup>
<b>SITE COVERAGE</b>	<b>39.185%</b>
Allowed Coverage	70%

SHADOW CAST AREA = 108.18 m<sup>2</sup>  
LOT AREA = 375m<sup>2</sup> (28.84 %)

**DISCLAIMER:** Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.



LEGEND	
⊕	Power Dome
⊙	Power Pole
⊠	Phone Pits
⊞	Water Conn.
⊞	Top Pillar/Post
⊞	Top Wall
⊞	Top Retaining
⊞	Top Fence

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....  
OWNER 1.....  
OWNER 2.....  
BUILDER.....

DR	DATE	CHK	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

MODEL NAME:  
**MONTCLAIR**

DWG:  
**OVER SHADOW PLAN**

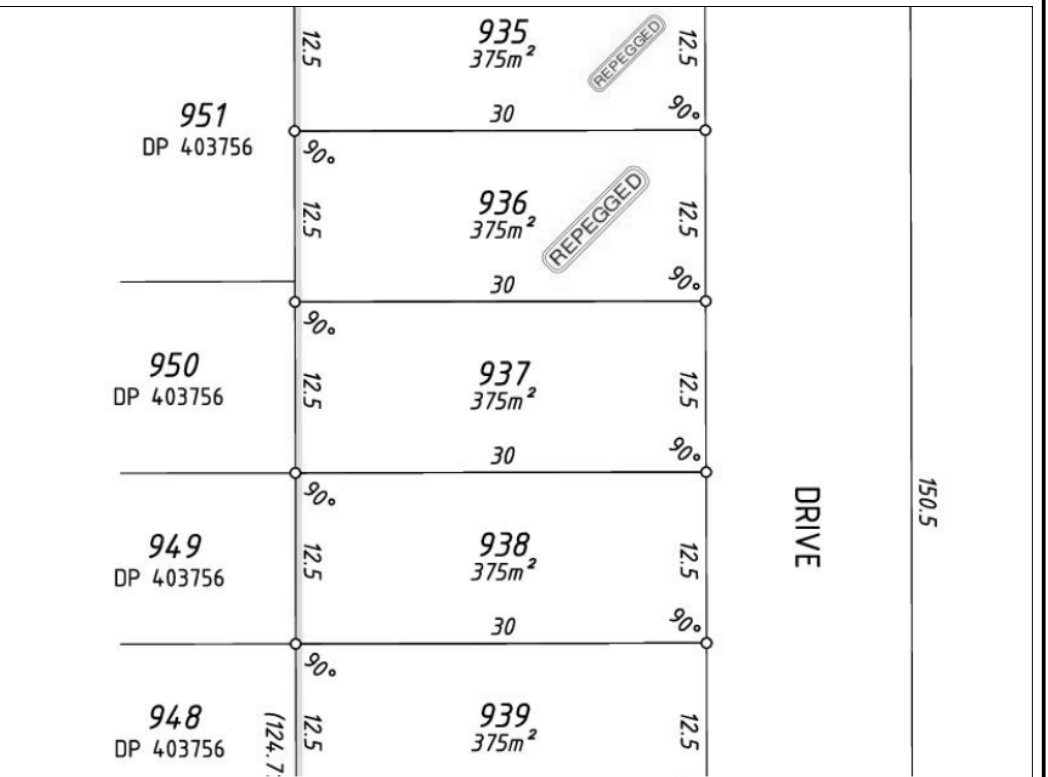
SCALE:  
**1:200**

JOB No:  
**22121**

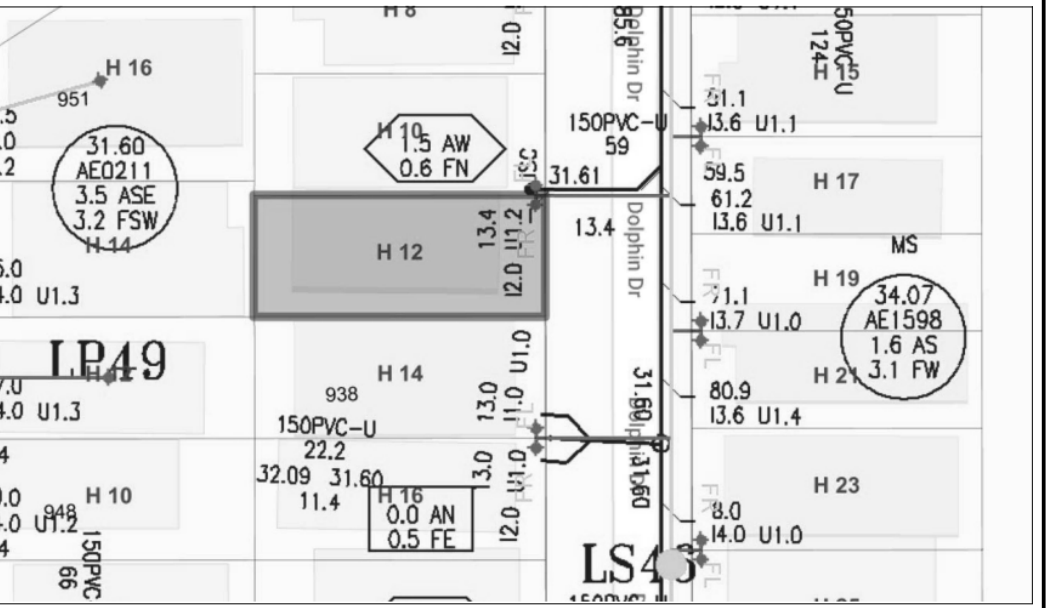
SHEET No:  
**6 of 7**

**New Choice**  
HOMES  
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
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CONTOUR & FEATURE SURVEY	
<b>LOT</b>	Lot 937 (DP 404349)
<b>ADDRESS</b>	#12 Dolphin Drive, Alkimos
<b>LGA</b>	CITY OF WANNEROO
<b>CLIENT</b>	Ms Newby
<b>ORDER #</b>	22121
<b>GPS</b>	Lat: -31.626205 Long: 115.68425
<b>SSA</b>	Yes
<b>AREA</b>	375m <sup>2</sup>
<b>VOL.</b>	2872
<b>FOL.</b>	222



<b>ELEC.</b>	U/Ground	<b>SEWER</b>	Yes	<b>ROADS</b>	Bitumen	<b>COASTAL</b>	No <small>(Approx. Only - Confirm With Shire)</small>
<b>GAS</b>	Check Alinta	<b>COMMS</b>	Yes	<b>PATH</b>	Concrete	<b>SOIL</b>	Sand
<b>WATER</b>	Yes	<b>DRAINAGE</b>	Good	<b>KERBS</b>	Mountable	<b>VEG.</b>	Light Grass Cover

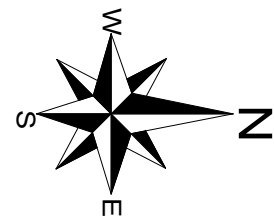


**COTTAGE SURVEYS**  
87-89 Guthrie St Osborne Park WA 6017  
PO Box 1611 Osborne Park BC WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

JOB: 533287 DATE: 12 Sep 22 DRAWN: J. Jee



# LOT 937



### EARTHWORKS NOTE

REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION  
 ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

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COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

### SERVICES NOTE

WATER PRELAY LOCATED AT FRONT LEFT OF BLOCK

### DOWNPIPE NOTE

### SUPERVISOR NOTE

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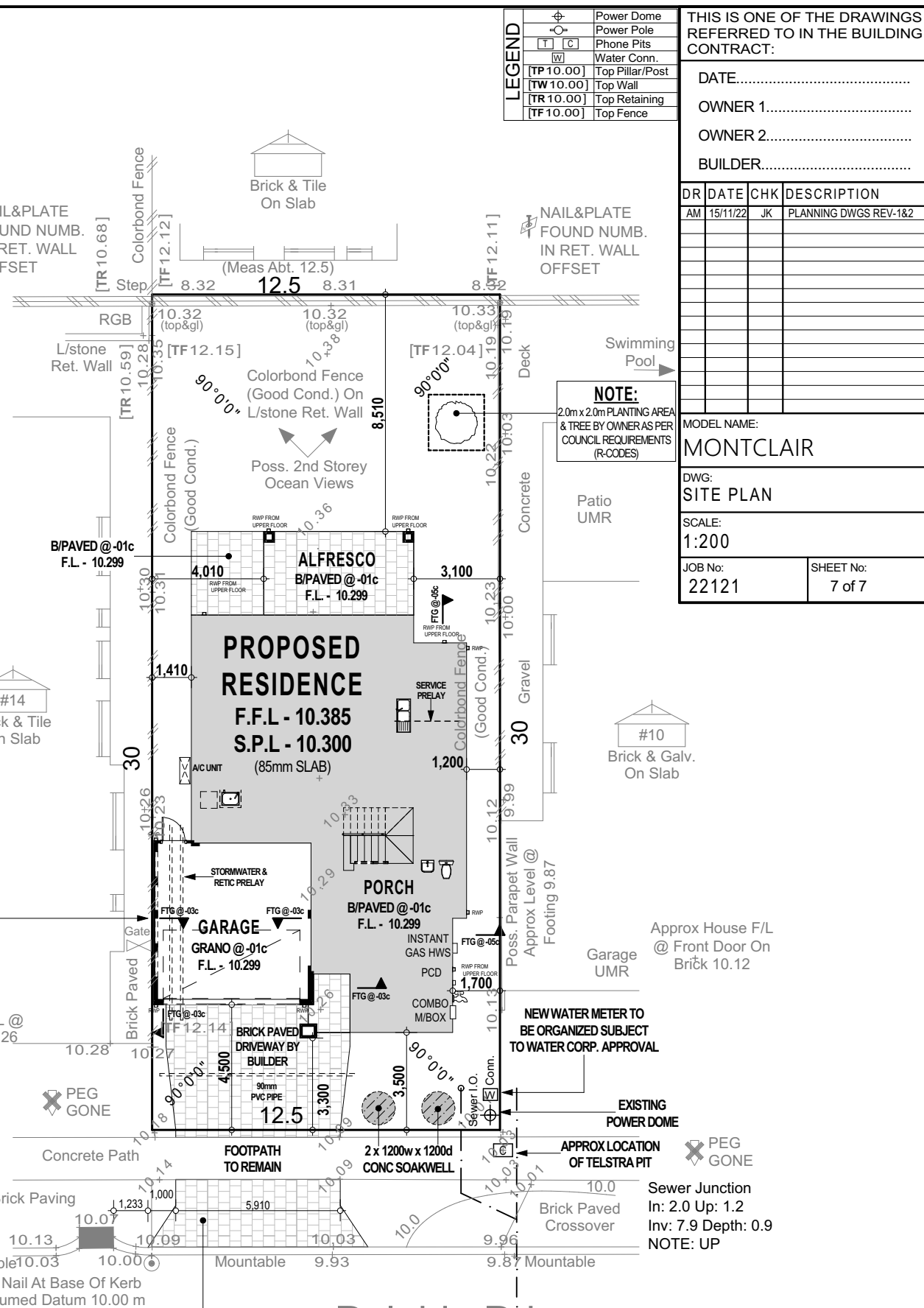
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**LOT MISCLOSE**  
0.000m

Scale 1:200

SITE ZONING-R30/LDP	
CITY OF WANNEROO	
Area of Site	375m <sup>2</sup>
Area of Building	146.93m <sup>2</sup>
<b>SITE COVERAGE</b>	<b>39.185%</b>
Allowed Coverage	70%

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**LEGEND**

⊕	Power Dome
○	Power Pole
□	Phone Pits
⊞	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....  
 OWNER 1.....  
 OWNER 2.....  
 BUILDER.....

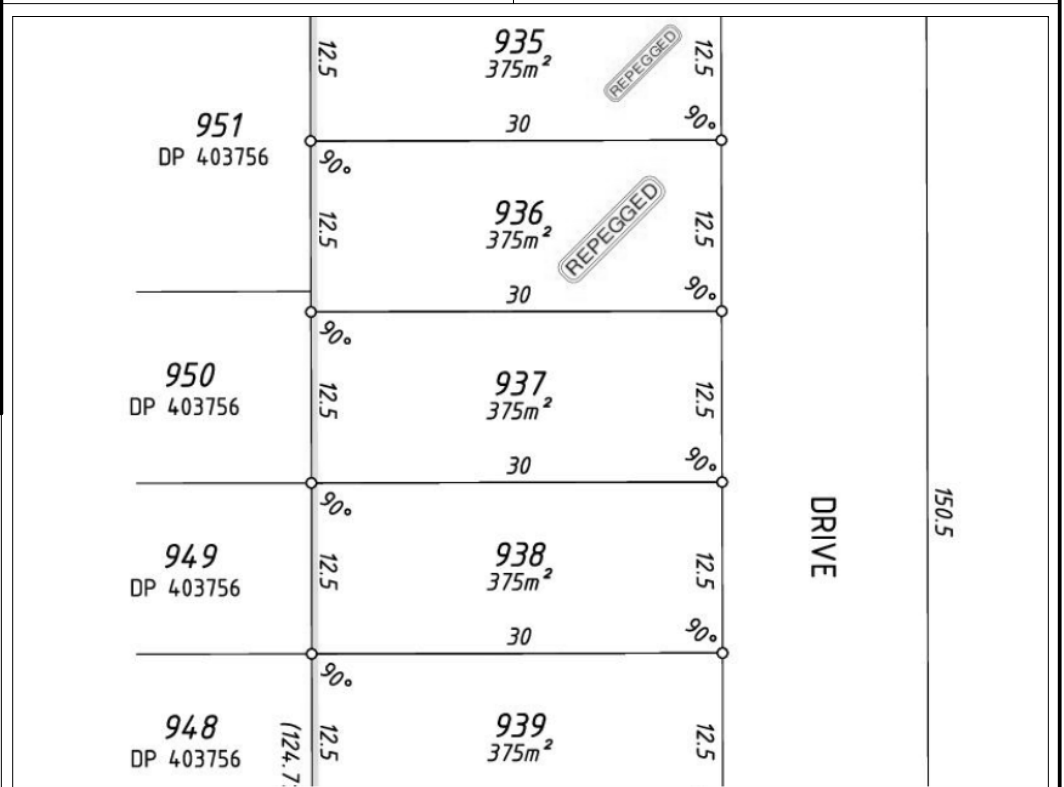
DR	DATE	CHK	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

MODEL NAME: MONTCLAIR  
 DWG: SITE PLAN  
 SCALE: 1:200  
 JOB No: 22121  
 SHEET No: 7 of 7

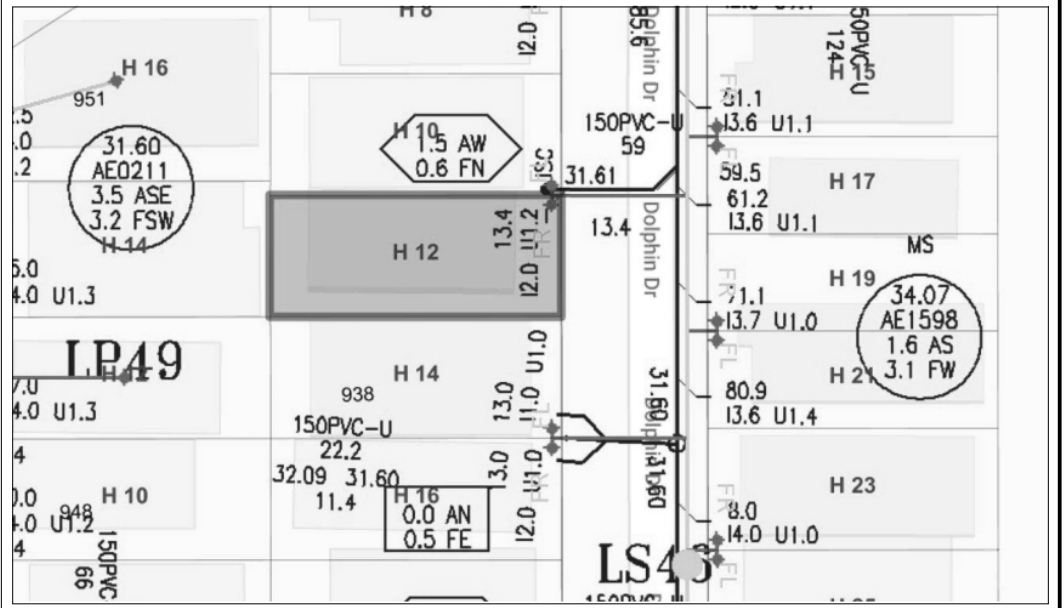
**New Choice HOMES**  
 24 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
 PO BOX 1407 OSBORNE PARK  
 BUSINESS CENTRE WA 6916  
 PHONE: 9201 7800  
 FAX: 9444 5111  
 EMAIL: Reception@newchoicehomes.com.au  
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**CONTOUR & FEATURE SURVEY**

<b>LOT</b>	Lot 937 (DP 404349)
<b>ADDRESS</b>	#12 Dolphin Drive, Alkimos
<b>LGA</b>	CITY OF WANNEROO
<b>CLIENT</b>	Ms Newby
<b>ORDER #</b>	22121
<b>GPS</b>	Lat: -31.626205 Long: 115.68425
<b>SSA</b>	Yes
<b>AREA</b>	375m <sup>2</sup>
<b>VOL.</b>	2872
<b>FOL.</b>	222



<b>ELEC.</b>	U/Ground	<b>SEWER</b>	Yes	<b>ROADS</b>	Bitumen	<b>COASTAL</b>	No <small>(Approx. Only - Confirm With Shire)</small>
<b>GAS</b>	Check Alinta	<b>COMMS</b>	Yes	<b>PATH</b>	Concrete	<b>SOIL</b>	Sand
<b>WATER</b>	Yes	<b>DRAINAGE</b>	Good	<b>KERBS</b>	Mountable	<b>VEG.</b>	Light Grass Cover



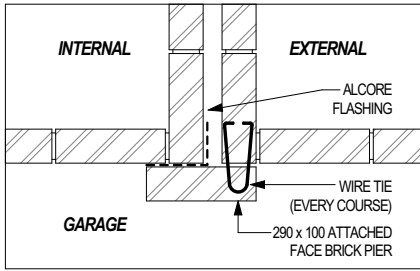
**COTTAGE SURVEYS**

87-89 Guthrie St  
Osborne Park  
WA 6017

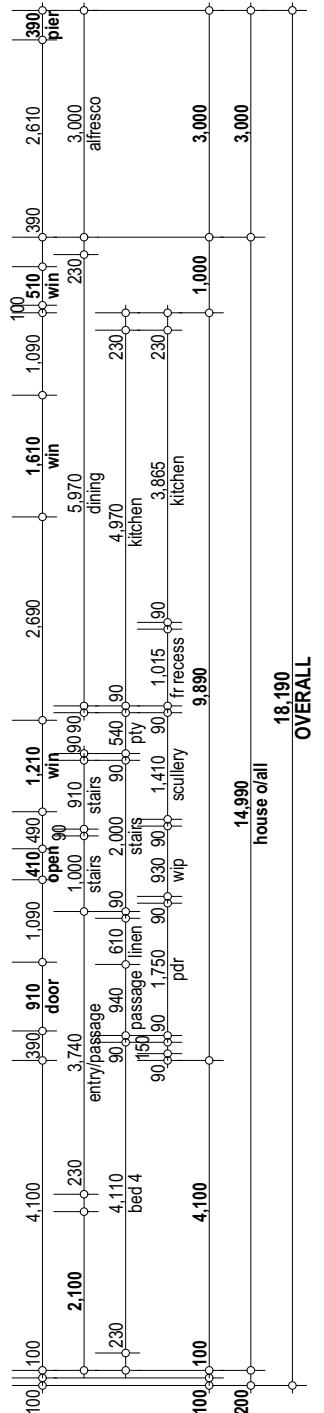
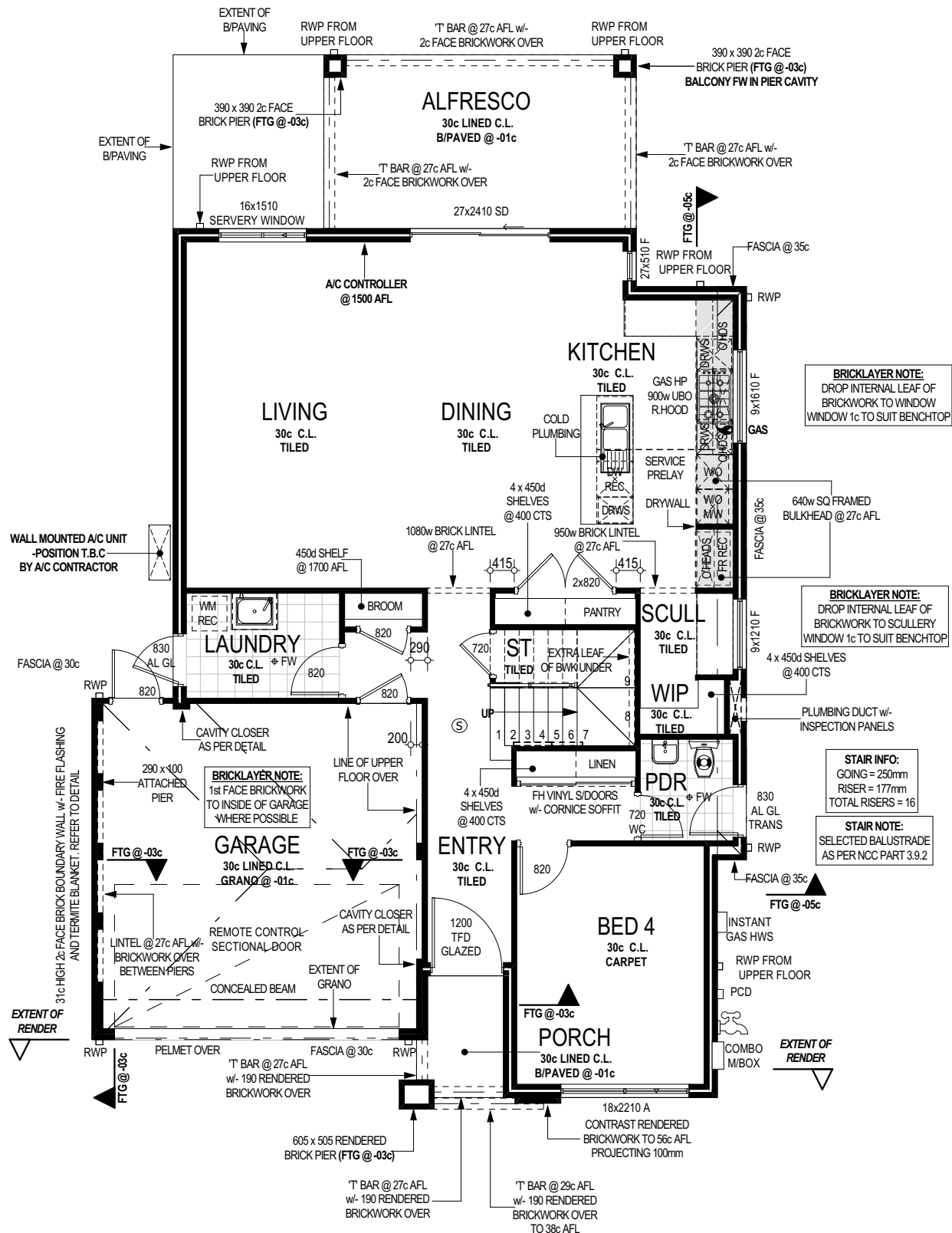
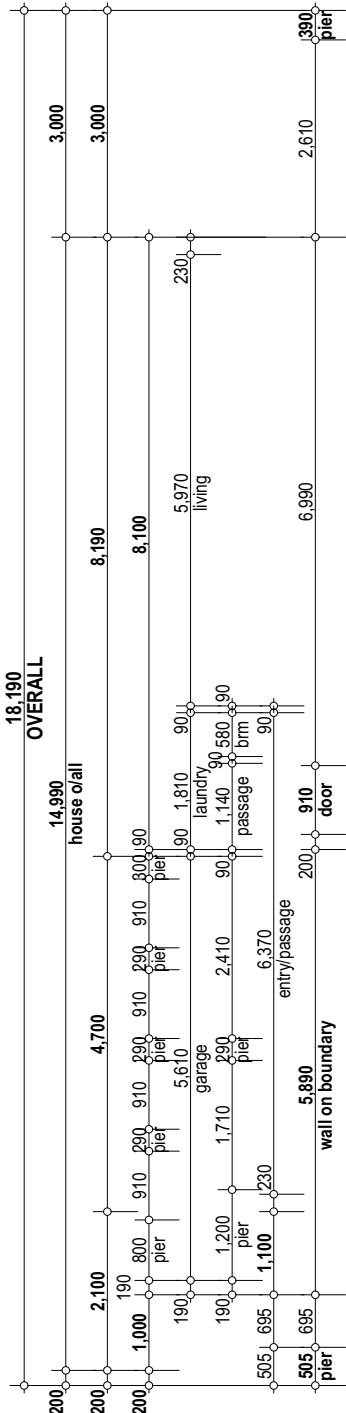
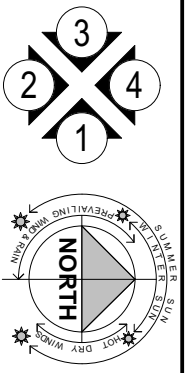
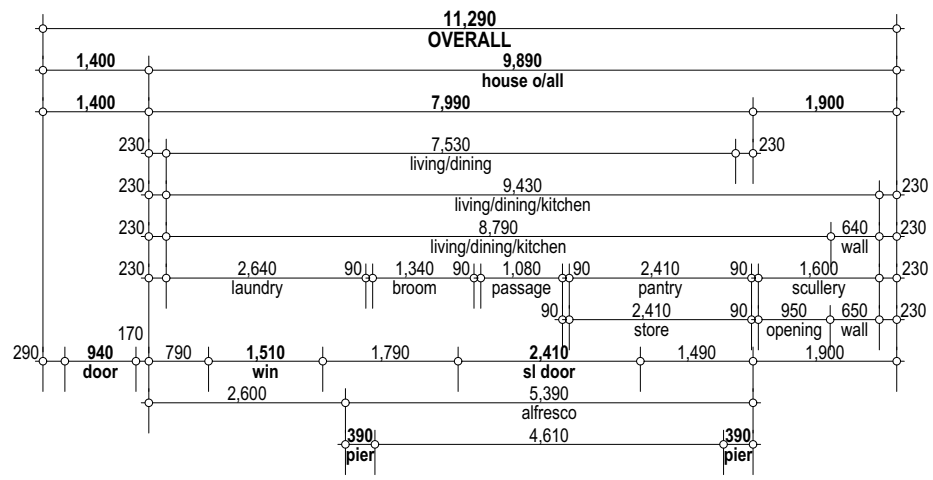
PO Box 1611  
Osborne Park BC  
WA 6917

P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

JOB: 533287  
DATE: 12 Sep 22  
DRAWN: J. Jee



**TYPICAL CAVITY CLOSER DETAIL**  
**(2c FACE BRICKWORK)**  
SCALE 1:20



**BRICKLAYER NOTE:**  
DROP INTERNAL LEAF OF BRICKWORK TO WINDOW WINDOW 1c TO SUIT BENCHTOP

**BRICKLAYER NOTE:**  
DROP INTERNAL LEAF OF BRICKWORK TO SCULLERY WINDOW 1c TO SUIT BENCHTOP

**STAIR INFO:**  
GOING = 250mm  
RISER = 177mm  
TOTAL RISERS = 16

**STAIR NOTE:**  
SELECTED BALUSTRADE AS PER NCC PART 3.9.2

**NOTES:**

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS.

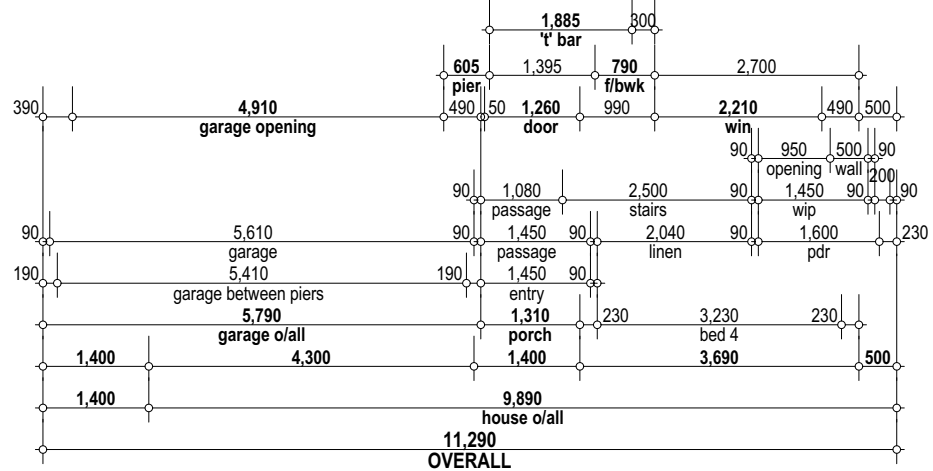
ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS.

**SITE CLASS A**  
**WIND CLASS N1**  
**CORROSION CLASS R3**

ALL DIMENSIONS ARE NOMINAL ONLY.

**ALL TRADES NOTE:**  
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.  
REFER TO ENGINEERS PLANS FOR STRUCTURAL SPECIFICATIONS & ROOF BEAMS LAYOUT.

**NOTE**  
PLEASE REFER TO THE GENERAL NOTES PAGE FOR ALL NOTES REFERRING TO CONSTRUCTION & CERTIFICATION



⊙ H.WIRED SMOKE DETECTOR  
⊙ EXHAUST FAN FLUMED  
⊙ GAS BAYONET  
⊙ GAS CONNECTION POINT  
⊙ FLOOR WASTE

**RENDER NOTE:**  
PROVIDE RENDER TO FRONT ELEVATION ONLY. REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK, EXTENTS SHOWN ON ELEVATIONS.

**AIRCONDITIONING NOTE:**  
DUCTED REVERSE CYCLE AIR-CONDITIONING FROM BUILDERS STANDARD RANGE INCLUDED IN CONTRACT, TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

**New Choice HOMES**  
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
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CLIENT:  
**NEWBY**

SITE ADDRESS:  
**LOT 937 (#12) DOLPHIN DRIVE  
ALKIMOS  
CITY OF WANNEROO**

NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....

OWNER 1.....

OWNER 2.....

BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

Zone	AREAS	
	Area	Perimeter
GROUND FLOOR	112.12	49.76
UPPER FLOOR	110.80	48.76
GARAGE	33.29	23.36
ALFRESCO	16.17	16.78
BALCONY	13.99	15.64
PORCH	2.85	7.20
<b>289.22 m<sup>2</sup></b>		
ROOF AREAS		
FLOOR	PITCH	AREA
GROUND FLOOR	24° 25' 48"	37.04
FIRST FLOOR	24° 25' 48"	155.36
<b>192.40 m<sup>2</sup></b>		

MODEL NAME:  
**MONTCLAIR**

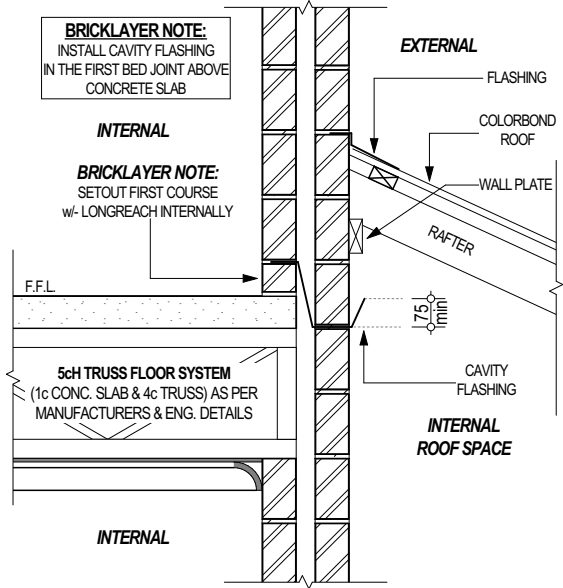
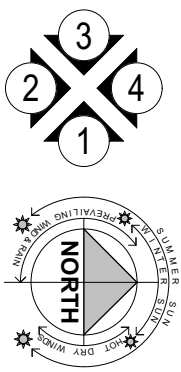
DWG:  
**GROUND FLOOR PLAN**

SCALE:  
**1:100, 1:20**

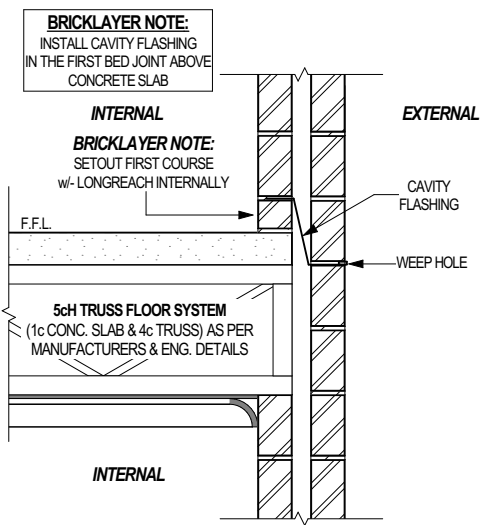
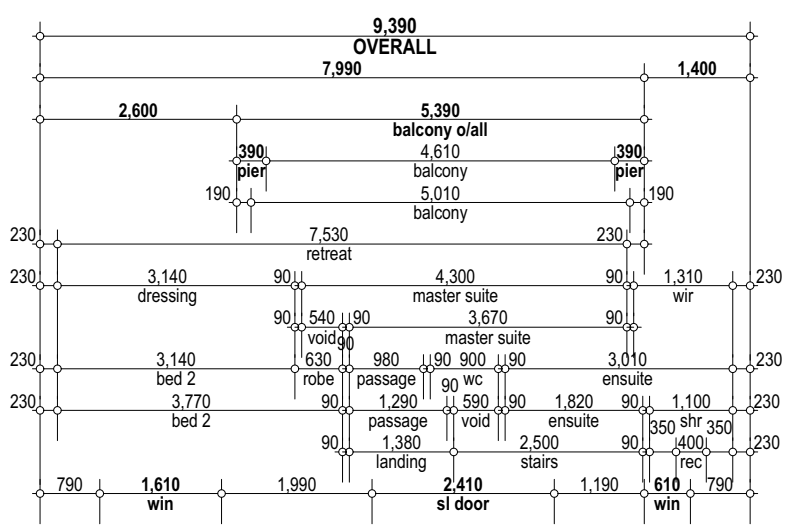
JOB No:  
**22121**

SHEET No:  
**1 of 7**

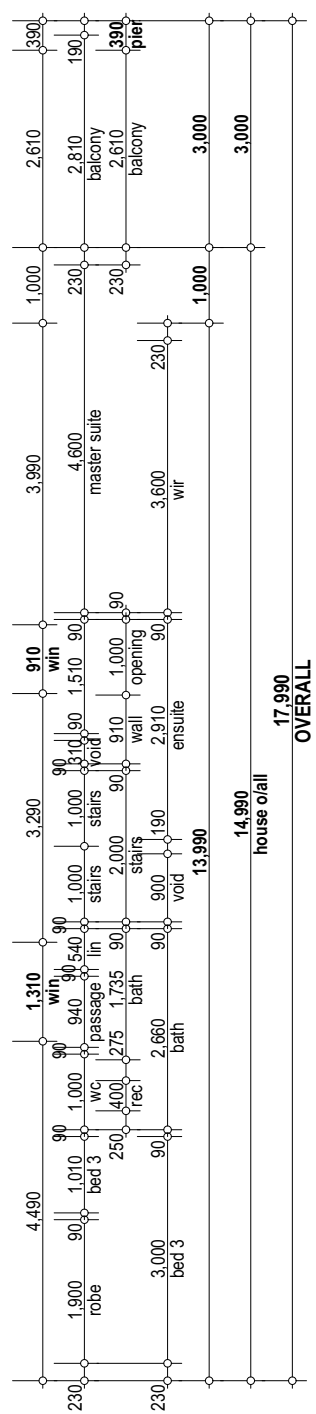
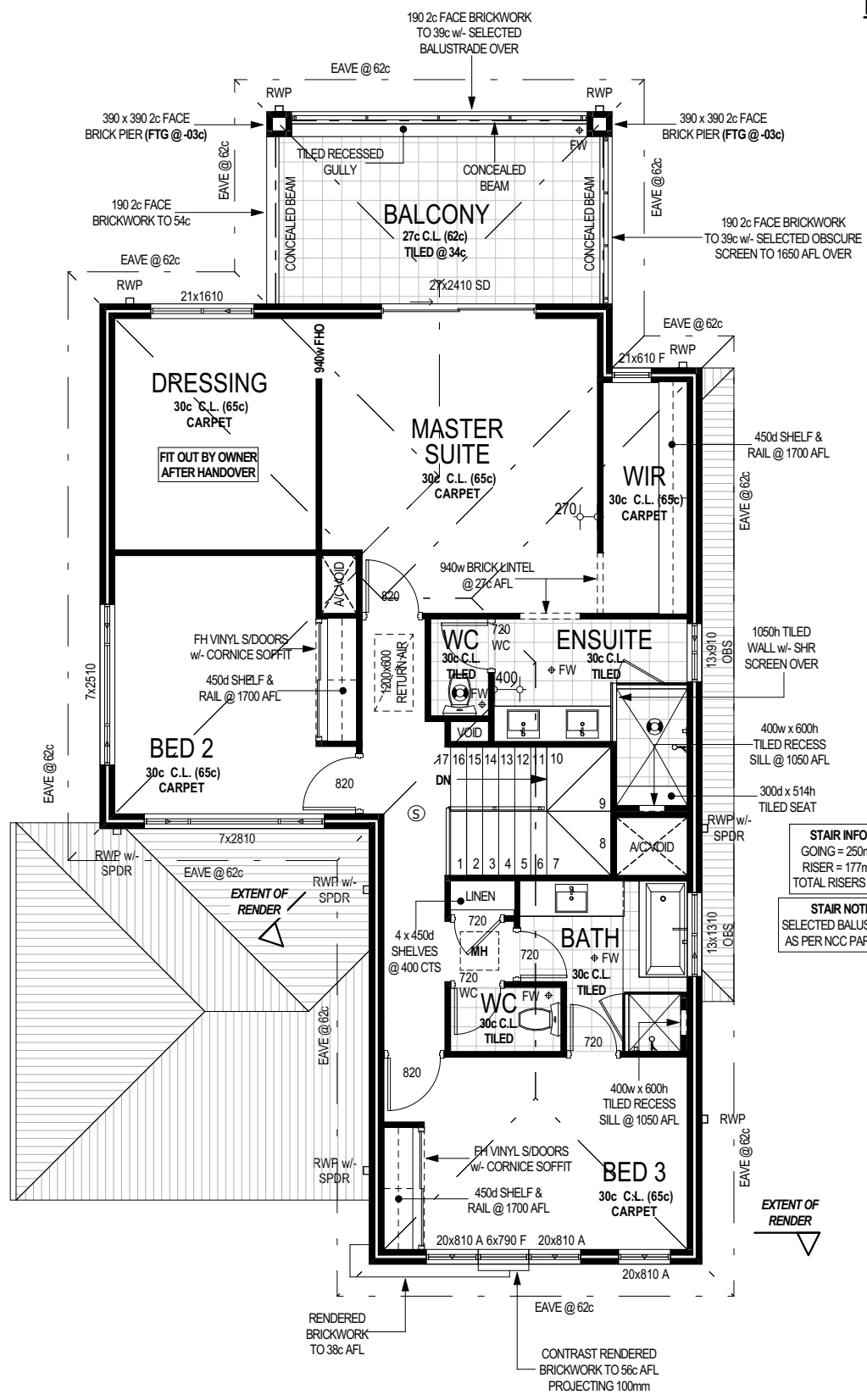
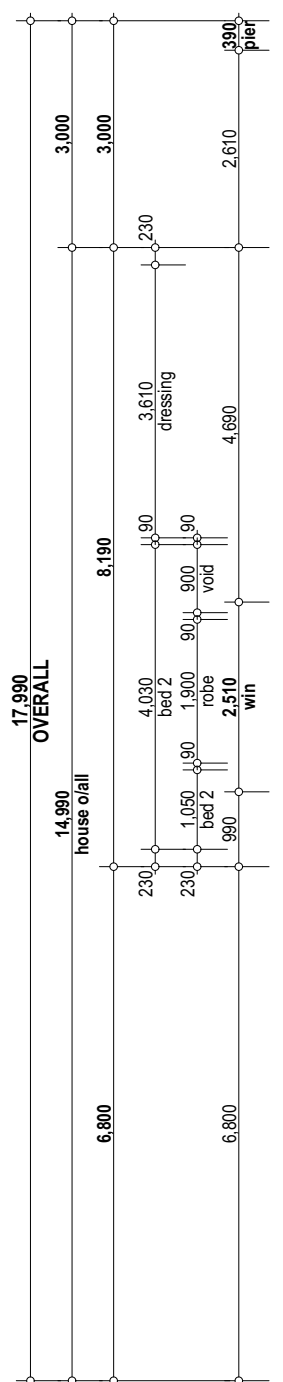




**UPPER FLOOR CAVITY FLASHING  
DETAIL (INTO ROOF SPACE)**  
SCALE 1:20



**UPPER FLOOR CAVITY FLASHING  
DETAIL (TO OUTSIDE AIR)**  
SCALE 1:20



**NOTES:**  
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS.  
ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS.  
**SITE CLASS A  
WIND CLASS N1  
CORROSION CLASS R3**  
ALL DIMENSIONS ARE NOMINAL ONLY.  
**ALL TRADES NOTE:**  
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.  
REFER TO ENGINEERS PLANS FOR STRUCTURAL SPECIFICATIONS & ROOF BEAMS LAYOUT.  
**NOTE**  
PLEASE REFER TO THE GENERAL NOTES PAGE FOR ALL NOTES REFERRING TO CONSTRUCTION & CERTIFICATION

**New Choice HOMES**  
24 SANGIORGIO COURT  
OSBORNE PARK WA 6017  
PO BOX 1407 OSBORNE PARK  
BUSINESS CENTRE WA 6916  
PHONE: 9201 7800  
FAX: 9444 5111  
EMAIL: Reception@newchoicehomes.com.au  
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CLIENT:  
**NEWBY**  
SITE ADDRESS:  
**LOT 937 (#12) DOLPHIN DRIVE  
ALKIMOS  
CITY OF WANNEROO**  
NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:  
DATE.....  
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BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

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<b>289.22 m<sup>2</sup></b>		
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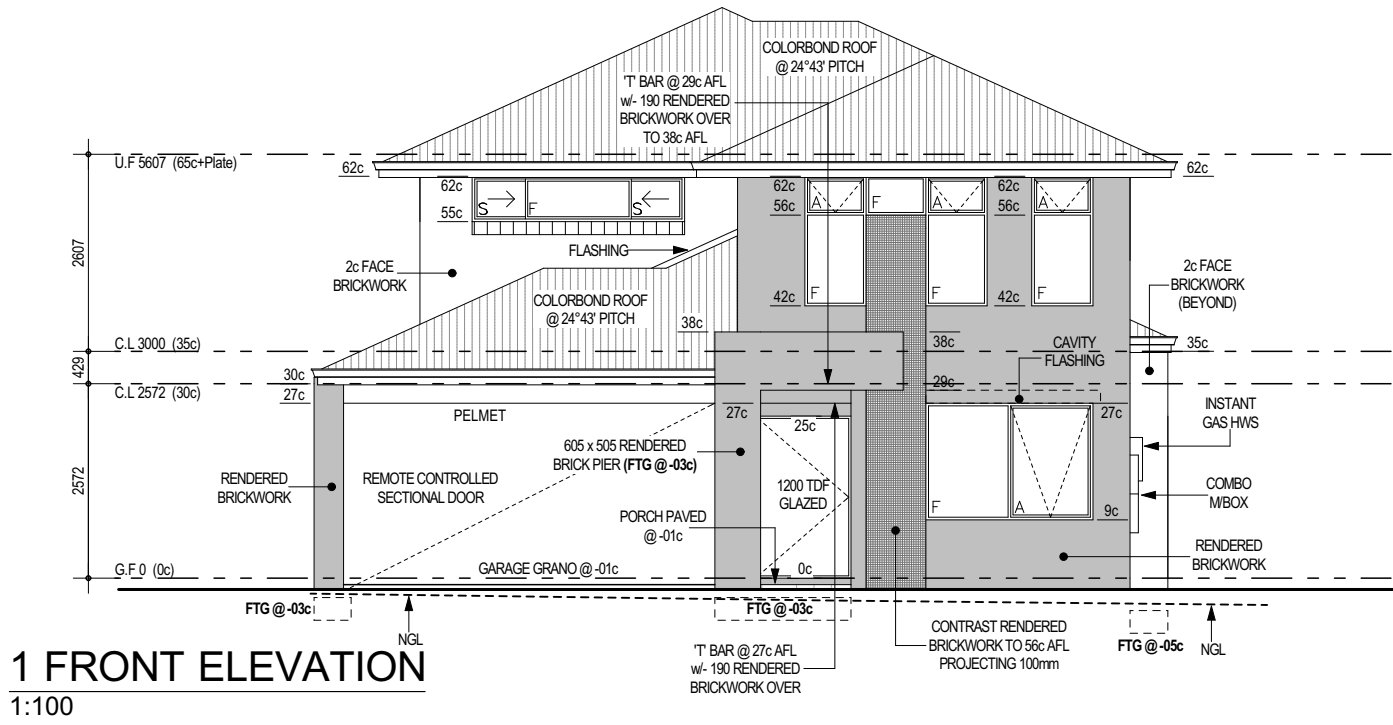
MODEL NAME:  
**MONTCLAIR**  
DWG:  
**FIRST FLOOR PLAN**  
SCALE:  
**1:100, 1:20**  
JOB No:  
**22121**  
SHEET No:  
**2 of 7**

- ⊙ H.WIRED SMOKE DETECTOR
- ⊙ EXHAUST FAN FLUMED
- ⊙ GAS BAYONET
- ⊙ GAS CONNECTION POINT
- ⊙ FLOOR WASTE

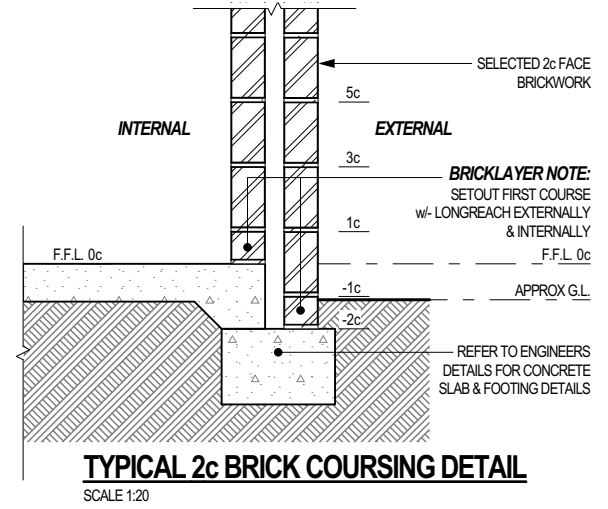
**RENDER NOTE:**  
PROVIDE RENDER TO FRONT ELEVATION ONLY. REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK, EXTENTS SHOWN ON ELEVATIONS.  
**AIRCONDITIONING NOTE:**  
DUCTED REVERSE CYCLE AIR-CONDITIONING FROM BUILDERS STANDARD RANGE INCLUDED IN CONTRACT, TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

**NOTE:**  
 - ROOF PITCH 24°43'  
 - ROOF COVER: COLORBOND  
 - CONVENTIONAL TIMBER ROOF FRAMING IN ACCORDANCE WITH N.C.C. PART 3.4.3, A.S. 1684 & ENGINEERING ADVICE.  
 - ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH THE N.C.C.

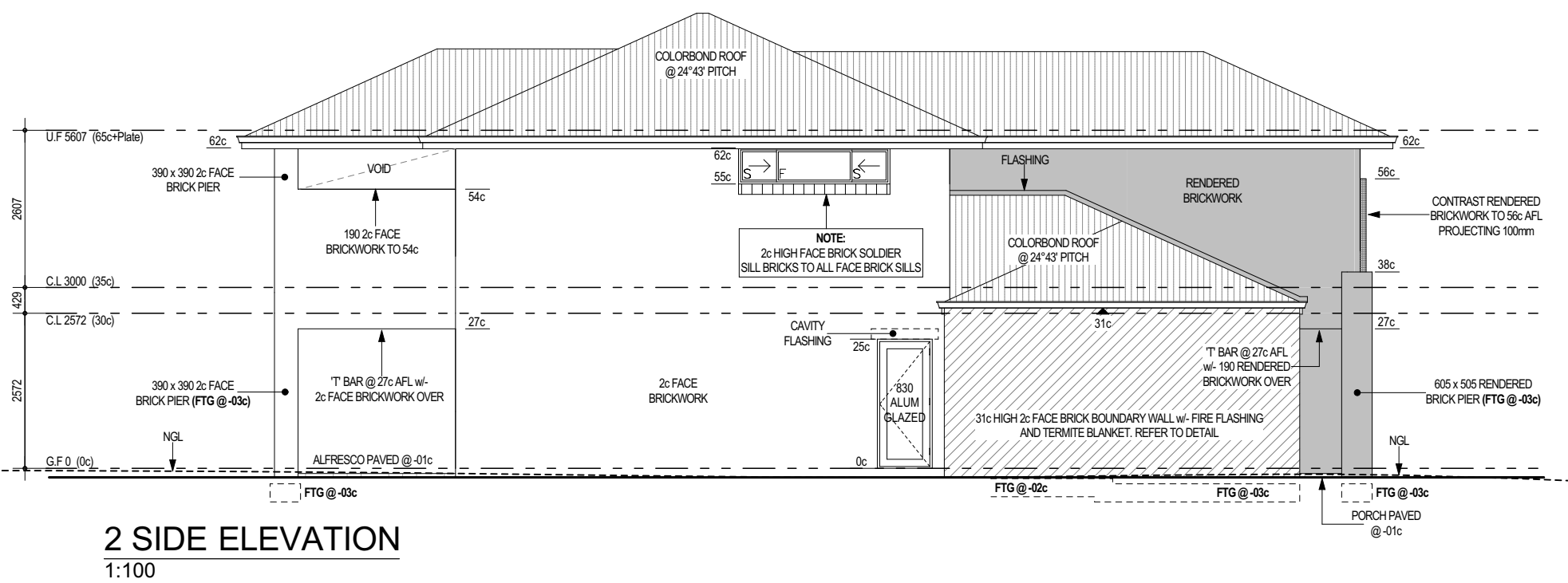
**SHADING INDICATES EXTENT OF RENDER TO FRONT ELEVATION (INCLUDING RETURNS). REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK**



**1 FRONT ELEVATION**  
 1:100



**TYPICAL 2c BRICK COURSING DETAIL**  
 SCALE 1:20



**2 SIDE ELEVATION**  
 1:100

**New Choice**  
 HOMES  
 24 SANGIORGIO COURT  
 OSBORNE PARK WA 6017  
 PO BOX 1407 OSBORNE PARK  
 BUSINESS CENTRE WA 6916  
 PHONE: 9201 7800  
 FAX: 9444 5111  
 EMAIL: Reception@newchoicehomes.com.au  
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CLIENT:  
**NEWBY**  
 SITE ADDRESS:  
**LOT 937 (#12) DOLPHIN DRIVE  
 ALKIMOS  
 CITY OF WANNEROO**  
 NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:  
 DATE.....  
 OWNER 1.....  
 OWNER 2.....  
 BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
AM	15/11/22	JK	PLANNING DWGS REV-1&2

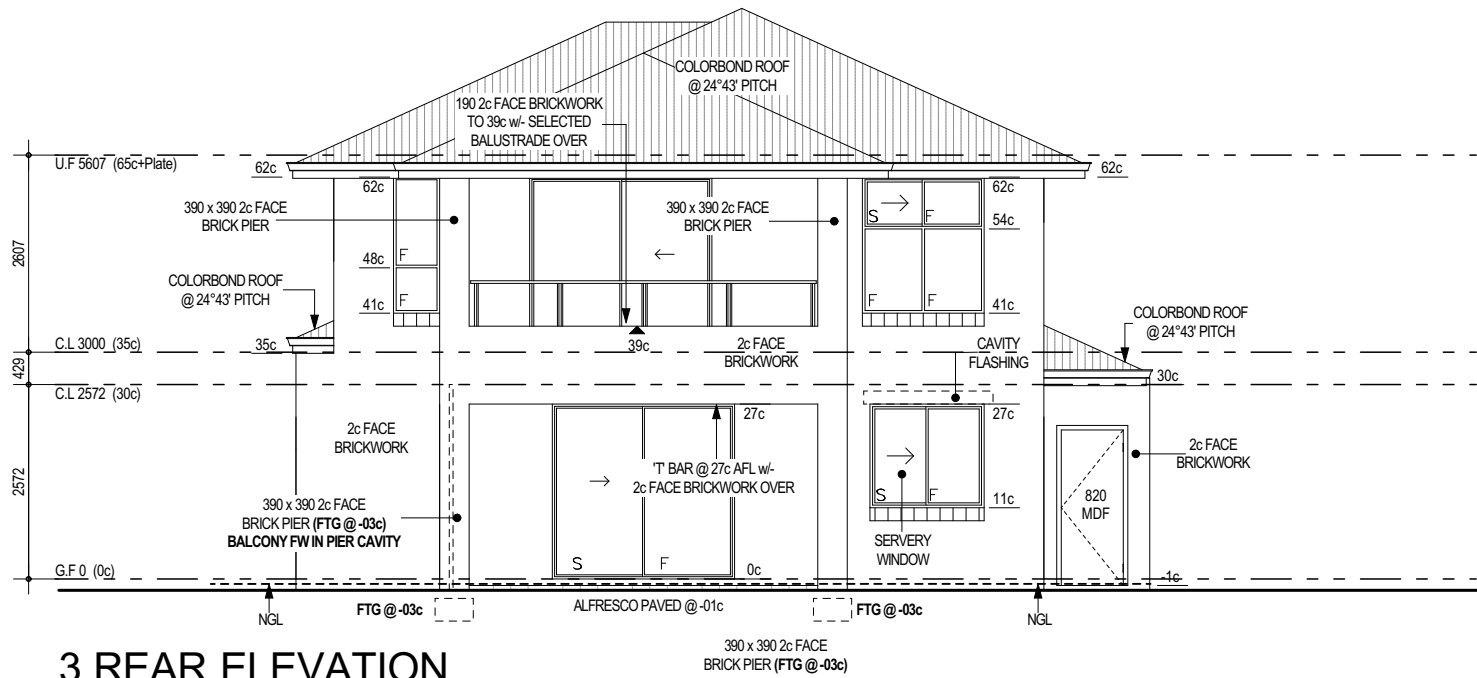
Zone	AREAS	
	Area	Perimeter
GROUND FLOOR	112.12	49.76
UPPER FLOOR	110.80	48.76
GARAGE	33.29	23.36
ALFRESCO	16.17	16.78
BALCONY	13.99	15.64
PORCH	2.85	7.20
	<b>289.22 m²</b>	
ROOF AREAS		
FLOOR	PITCH	AREA
GROUND FLOOR	24° 25' 48"	37.04
FIRST FLOOR	24° 25' 48"	155.36
		<b>192.40 m²</b>

MODEL NAME:  
**MONTCLAIR**  
 DWG:  
**ELEVATIONS**  
 SCALE:  
**1:100, 1:20**  
 JOB No:  
**22121**  
 SHEET No:  
**3 of 7**

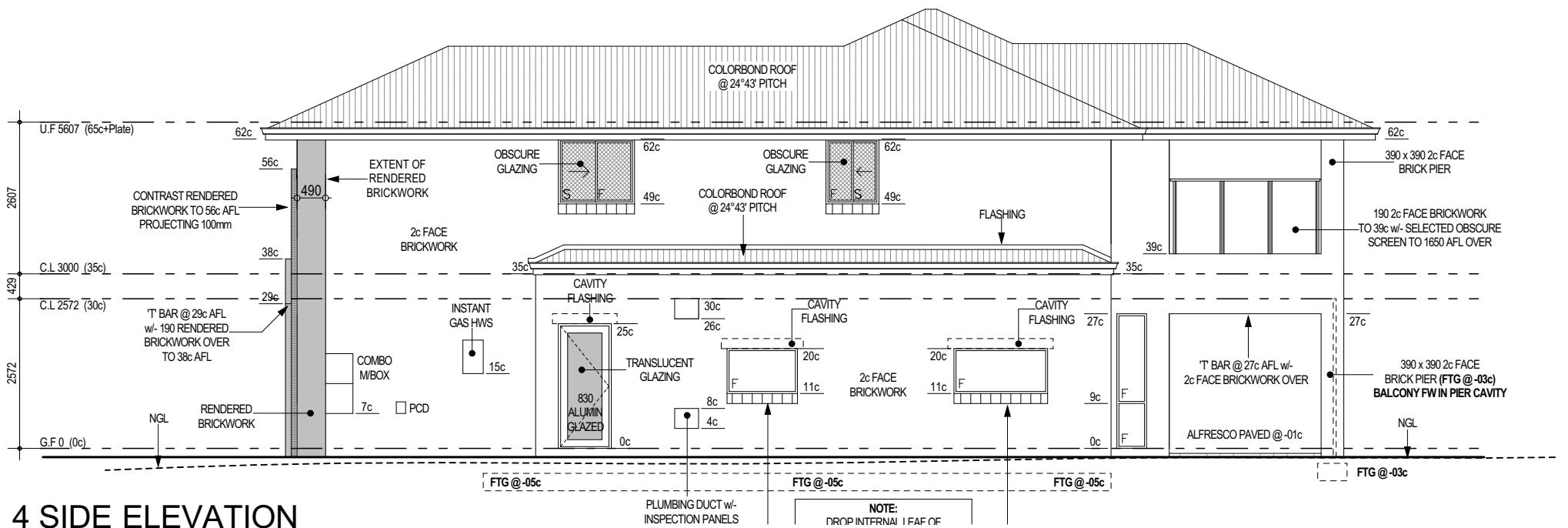
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- ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH THE N.C.C.

**SHADING INDICATES EXTENT OF RENDER TO FRONT ELEVATION (INCLUDING RETURNS). REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK**



**3 REAR ELEVATION**  
1:100



**4 SIDE ELEVATION**  
1:100



CLIENT:  
**NEWBY**

SITE ADDRESS:  
**LOT 937 (#12) DOLPHIN DRIVE  
ALKIMOS  
CITY OF WANNEROO**

NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

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DATE.....

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MODEL NAME:  
**MONTCLAIR**

DWG:  
**ELEVATIONS**

SCALE:  
**1:100**

JOB No:  
**22121**

SHEET No:  
**4 of 7**