

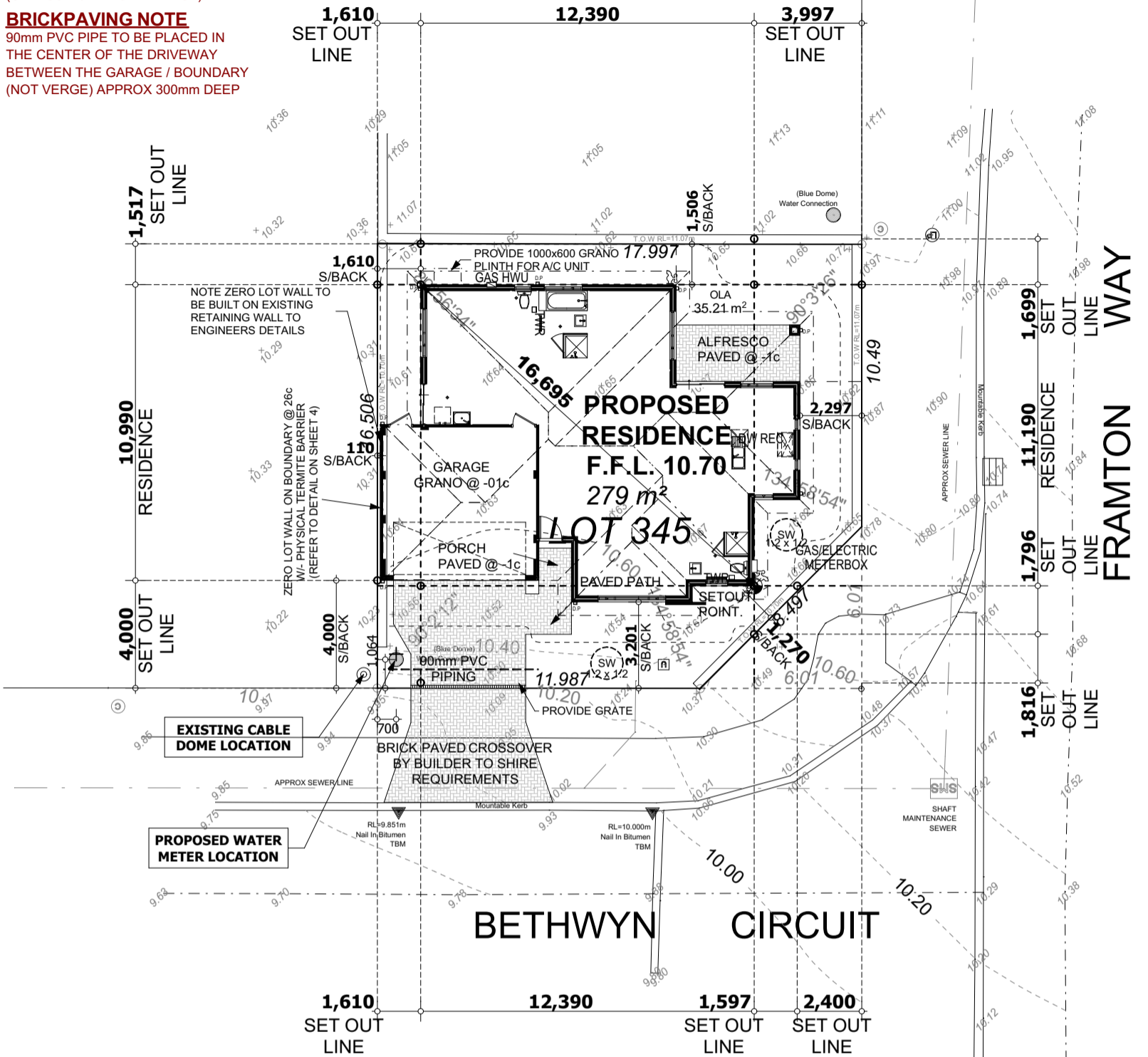
SERVICE LEGEND

DRAINAGE				
STORM WATER MANHOLE	(D)			
DRAINAGE PIPE	(D)			
ELECTRICITY				
POWER DOME	(P)			
POWER PIT	(PP)			
POWER POLE	(LP)			
LIGHT POLE	(SWA)			
STEEL WIRE ANCHOR	(SP)			
STAY POLE	(SP)			
POWER LINE	(P)			
GAS				
GAS MANHOLE	(G)			
GAS MARKER	(G)			
GAS METER	(G)			
GAS VALVE	(G)			
GAS LINE	(G)			
SEWER				
SEWER MANHOLE	(S)			
SEWER INSPECTION OPENING	(S)			
SEWER LINE	(S)			
COMMUNICATIONS				
COMMUNICATIONS PIT	(C)			
COMMUNICATIONS MARKER	(C)			
COMMUNICATIONS LINE	(C)			
WATER				
FIRE HYDRANT	(FH)			
STOP VALVE	(S)			
WATER TAP	(W)			
WATER MARKER	(W)			
WATER METER	(W)			
WATER PIPE	(W)			
UNDEFINED				
UNDEFINED SERVICE MARKER	(U)			
UNDEFINED MANHOLE	(U)			
UNDEFINED SERVICE	(U)			
SURVEY				
DATUM	(D)			
PEG FOUND	(P)			
STRUCTURES				
BUILDING	(B)			
RETAINING WALL	(R)			
ROAD CENTRE LINE	(R)			
SERVICE RECORDS				
STATUS	LOCATED	ONLY SIGHTED	OBSTRUCTION	NOT AVAILABLE
WATER	✓			
SEWER	✓			
GAS				✓
TEL/COMM	✓			
POWER U/G	✓			
O/H				✓

EARTHWORKS NOTE
REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION

CONCRETOR NOTE
ALL EXTERNAL WALLS TO BE 230mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)

BRICKPAVING NOTE
90mm PVC PIPE TO BE PLACED IN THE CENTER OF THE DRIVEWAY BETWEEN THE GARAGE / BOUNDARY (NOT VERGE) APPROX 300mm DEEP



SITE PLAN - PROPOSED
1:200

STORMWATER DISPOSAL TO SOAKWELLS BY BUILDER (EXCLUDING DRIVEWAY)
Location and number of soakwells to be at Plumbers discretion

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

Soak Well Type	No.	Capacity
SW 1200x1200	2	2.7 m3
Total Capacity		2.7 m3
Roof Area GF		177.4 m2
Paved Area		22.0 m2
Total Area		199.4 m2
Capacity Required (Area x 0.0125)		2.5 m3
Extra Capacity Provided		0.2 m3

Site Coverage (R30)
55% Site coverage
Site Area : 279m²
Building Area : 145.93m²
Total Site Coverage : 52.30%

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS

NOTE:
LOT GREATER THAN 1km TO THE COAST.

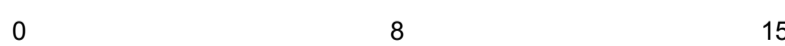
SITE SURVEY ONLY. The information shown on this drawing is current at the date of survey. Boundary information, Easements ETC. to be verified from the Certificate of Title, Plan/Diagram or a boundary Repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer, drainage may vary from the Schematic representation, clearances to be checked on site. Service information to be confirmed with the relevant authorities. For underground services ring "DIAL BEFORE YOU DIG" for confirmation.

REV	DATE	BY	DESCRIPTION
A	04/11/2016	SMG	ISSUE FOR REVIEW
0	07/11/2016	KPR	ISSUE FOR USE

PSS GROUP
PRECISION SURVEYING SOLUTIONS

PO BOX 1972 MALAGA WA 6944
PHONE: (08)9303 2407
FAX: (08)9303 2408
WEB: WWW.PSSGROUP.COM.AU
EMAIL: ADMIN@PSSGROUP.COM.AU

SCALE @ A3: 1:200



BUILDER REF:	130627
VERT. DATUM	ASSUMED
LOT NUMBER	345
PLAN/DIA	DP 406122
CERT/TITLE	

ADDRESS: **Feature Survey**
Lot 345 Bethwyn Circuit,
Madeley

BUILDER: **CHOICE LIVING**

DOCUMENT NUMBER	SURVEYED	DATE	DRAFTED	DATE	REVIEWED	DATE
16110416CL0046SMG-FS	SMG	04/11/2016	SMG	04/11/2016	KPR	07/11/2016

CHOICE LIVING HOMES WA
CHOICE LIVING (WA) PTY LTD
428 Scarborough Bead Road, Osborne Park 6017
Tel: 08 6160 8000
Fax: 08 6160 8060
www.choicelivinghomeswa.com.au
© Choice Living Homes WA 2015

CLIENT: **MACHAKA**
SITE ADDRESS: **LOT 345 BETHWYN CIRCUIT, MADELEY**
MODEL NAME: THE UNIQUE
DRAWING: **SITE PLAN - PROPOSED**
SCALE: 1:200

REV	DATE	DWN	CHK	DESCRIPTION
-	16.11.16	EC	KW	CONTRACT PLANS
A	01.12.16	EC	KW	ENGINEERING
B	27.02.17	KW	EC	VO1 & VO2 PRESTART V...
C	14.03.17	KW	MN	OK TO START

FINAL PLANS

DATE:

OWNER:

OWNER:

BUILDER:

JOB No.: 130627
SHEET No.: 2 of 7

WIND CLASS : N1

SITE CLASS : A

METAL ROOF - 25°38' PITCH

NOTES:

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

ARCH DRAWINGS TO BE READ IN CONJUNCTION WITH ENG'S DETAILS, ADDENDA AND WORK ORDER. NOTIFY BUILDER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK

CONCRETOR NOTE
ALL EXTERNAL WALLS TO BE 230mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)

CONCRETE FOOTINGS TO PIER & POST TO BE 2c BELOW FINISHED PAVING LEVEL

BRICK LAYER NOTE
METAL DECK ROOF TO BE ANCHORED DOWN WITH 30 x 1.0mm PGI STRAPS. STRAPS LOCATED WITHIN 100mm OF CORNERS AND @ 1200mm MAXIMUM CENTRES. LUGS TO LINTELS @ 1200mm CENTRES OVER OPENINGS. 32 x 0.8mm FULL HEIGHT STRAPS TO EACH SIDE OF OPENINGS >2400mm

REFER TO ENGINEERS DETAILS FOR WIND POST LOCATIONS

PAINTED CEMENT RENDER TO FRONT ELEVATION ONLY. EXTENT SHOWN ON PLAN

ROOF PLUMBER NOTE
DOWNPIPES MUST BE FIXED WITHIN 1.2M OF VALLEY AS PER THE BCA. FINAL LOCATION TO BE DETERMINED ON SITE BY ROOF PLUMBER.

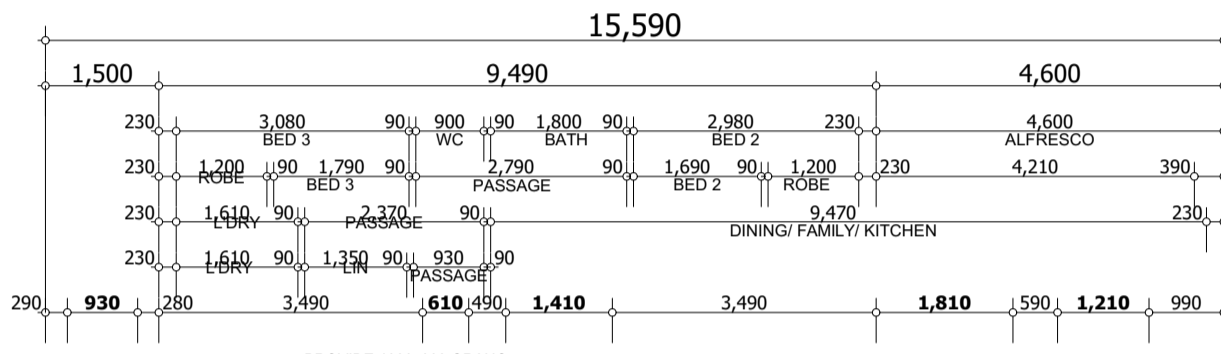
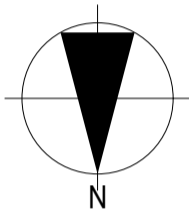
ROOF CARPENTER NOTE
MANHOLE TO BE TRIMMED OUT TO 560mm x 560mm

INSULATION NOTE
R 3.5 FIBREGLASS BATT CEILING INSULATION TO ENTIRE HOME INCLUDING GARAGE

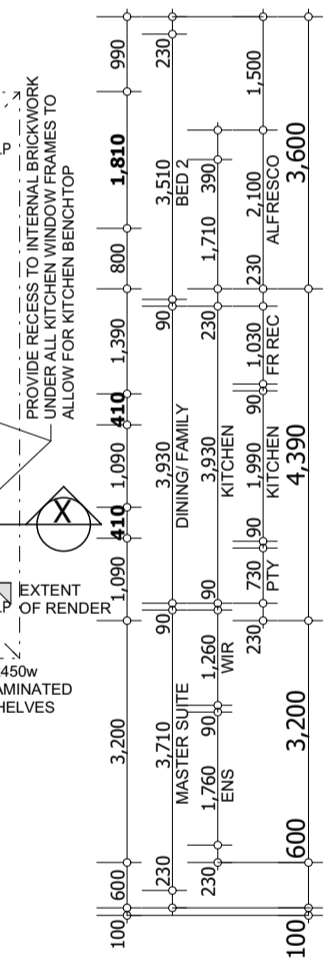
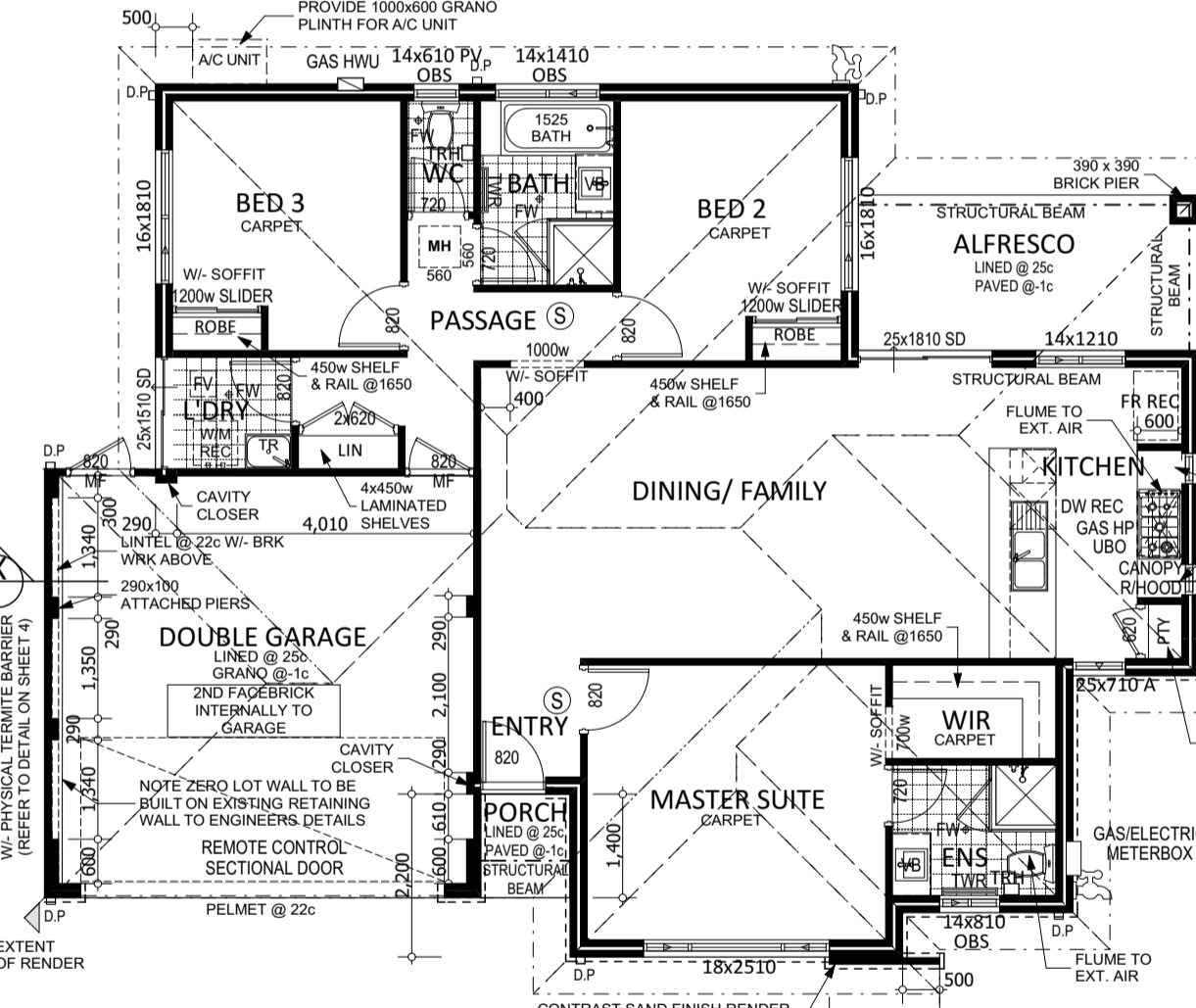
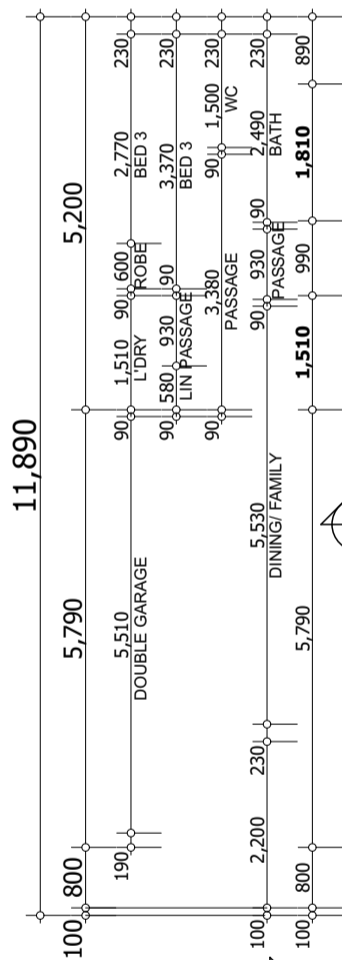
SMOKE DETECTOR : (S)

ALL TRADES

NOTE:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURE PROJECT #C230033



PROVIDE REVERSE CYCLE DUCTED AIR CONDITIONING
BUILDER TO PROVIDE CONCRETE BASE SLAB FOR UNIT



FLOOR PLAN
1:100

INDICATES EXTEND OF PRIMARY RENDER TO FRONT ELEVATION



CHOICE LIVING (WA) PTY LTD
428 Scarborough Bead Road, Osborne Park 6017
Tel: 08 6160 8000
Fax: 08 6160 8060
www.choicelivinghomeswa.com.au
© Choice Living Homes WA 2015

CLIENT: MACHAKA
SITE ADDRESS: LOT 345 BETHWYN CIRCUIT, MADELEY
MODEL NAME: THE UNIQUE
DRAWING: FLOOR PLAN
SCALE: 1:100

REV	DATE	DWN	CHK	DESCRIPTION
-	16.11.16	EC	KW	CONTRACT PLANS
A	01.12.16	EC	KW	ENGINEERING
B	27.02.17	KW	EC	VO1 & VO2 PRESTART V...
C	14.03.17	KW	MN	OK TO START

FINAL PLANS
DATE
OWNER
OWNER
BUILDER

AREA CALC	
HOUSE	110.91
DOUBLE GAR...	33.33
ALFRESCO	9.51
PORCH	1.69
Total	155.44 m²
PERIMETER	
HOUSE	51,759.1
ROOF AREA	176.19
JOB No.:	130627
SHEET No.:	3 of 7