

**ATTADALE AVENUE**  
BITUMEN

**SITE DEMOLITION PLAN**  
SCALE 1:100

NOTES : NO BOUNDARY CORNER MARKS FOUND, UNLESS OTHERWISE STATED.  
NO WATER CORPORATION SEWER INFORMATION CURRENTLY AVAILABLE.

**CONTOUR & FEATURE SURVEY OF LOT 189**  
**ATTADALE AVENUE, DARCH**

DEPOSITED PLAN : 421606  
C/T : NOT YET ISSUED  
AUTHORITY : CITY OF WANNEROO  
TOTAL LOT AREA : 500 m<sup>2</sup>  
SCALE : 1 : 150 @ A3  
SURVEY DATE : 04-05-2022  
JOB : 18319

HEIGHT DATUM A.H.D.

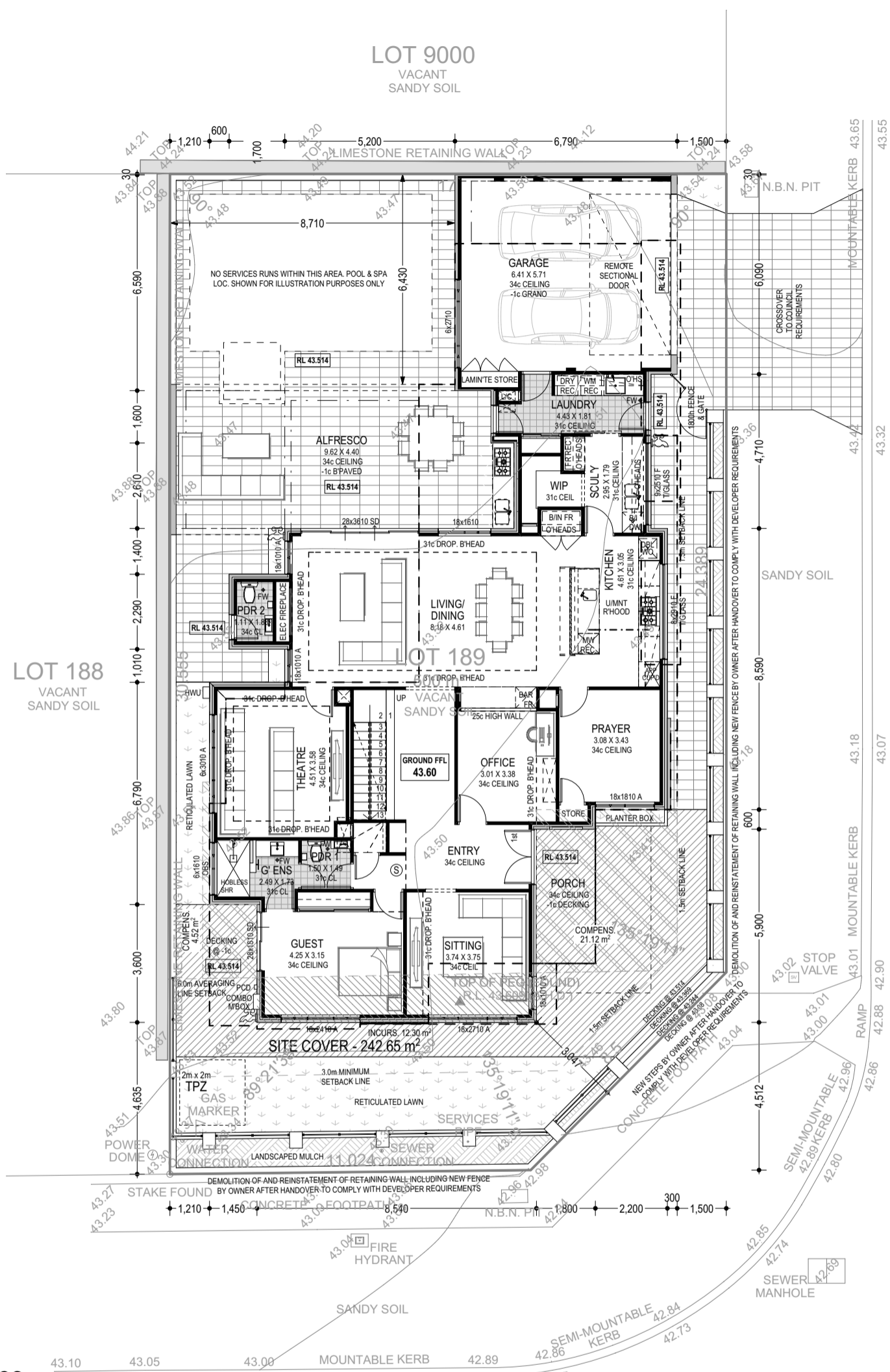
**SURVEYING SOLUTIONS WA**  
LICENSED LAND SURVEYORS  
9300 8137  
www.surveyingsolutionswa.com.au

DRAFTED BY : GO  
DATE : 06-05-2022  
CHECKED BY : DKM

CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.  
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.  
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.  
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

	PROJECT NAME	DRAWING TITLE	STATUS		Drawn	Date	Description
	2 STOREY HOUSE	SITE DEMOLITION PLAN	PLANNING APPROVAL		GM	APR 28	DESIGN REVISIONS
	PROJECT ADDRESS	CLIENT	PROJECT NUMBER	DRAWING	DATE	GM	MAY 14
	#189, ATTADALE AVENUE DARCH WA 6065	PATEL	AM21007	DA01	23/05/2023	GM	MAY 18
					SR	MAY 23	SITE SURVEY UPDATED PRELIM DA RFI AMENDMENTS

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**R20 SITE CALCULATIONS**

**SITE AREA**  
500 m<sup>2</sup>

**SITE COVER CALCULATIONS**  
242.65 m<sup>2</sup>

**SITE COVER RATIOS**  
48.53%

**LANDSCAPE CALCS**  
HARDSCAPE / BUILDING - 12.3m<sup>2</sup> (17.09%)  
SOFTSCAPE / DECKING - 71.97m<sup>2</sup> (82.91%)

ROOF AREA[m<sup>2</sup> ON THE FLAT] 323.69

AREAS	PERIM. (m)	AREA (m <sup>2</sup> )
HOUSE (UPPER)	78.56	209.55
HOUSE (GROUND)	69.70	191.72
GARAGE	26.76	42.37
ALFRESCO	22.80	29.34
PORCH	17.30	17.62
BALCONY 1	11.52	7.23
BALCONY 3	14.32	7.15
BALCONY 2	12.38	5.99
PDR	7.26	3.07
		514.04 m <sup>2</sup>

- DIAL 1100 BEFORE YOU DIG
- POWER - UNDERGROUND
  - WATER - YES
  - SEWERAGE - YES
  - GAS - YES
  - TELSTRA - YES
  - HYDRANTS - LOCATED
  - DRAINAGE - GOOD
  - ROAD - BITUMEN
  - KERB - MOUNTABLE & SEMI-MOUNTABLE
  - FOOTPATH - LOCATED
  - VIEWS - NONE
  - OVERHANGING TREES - NONE
  - SIGNIFICANT ENCROACHMENTS - NONE
  - BUSH FIRE PRONE AREA - NO

**ATTADALE AVENUE**  
BITUMEN

**SITE PLAN**  
SCALE 1:100

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SCALE : 1 : 150 @ A3  
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0 5

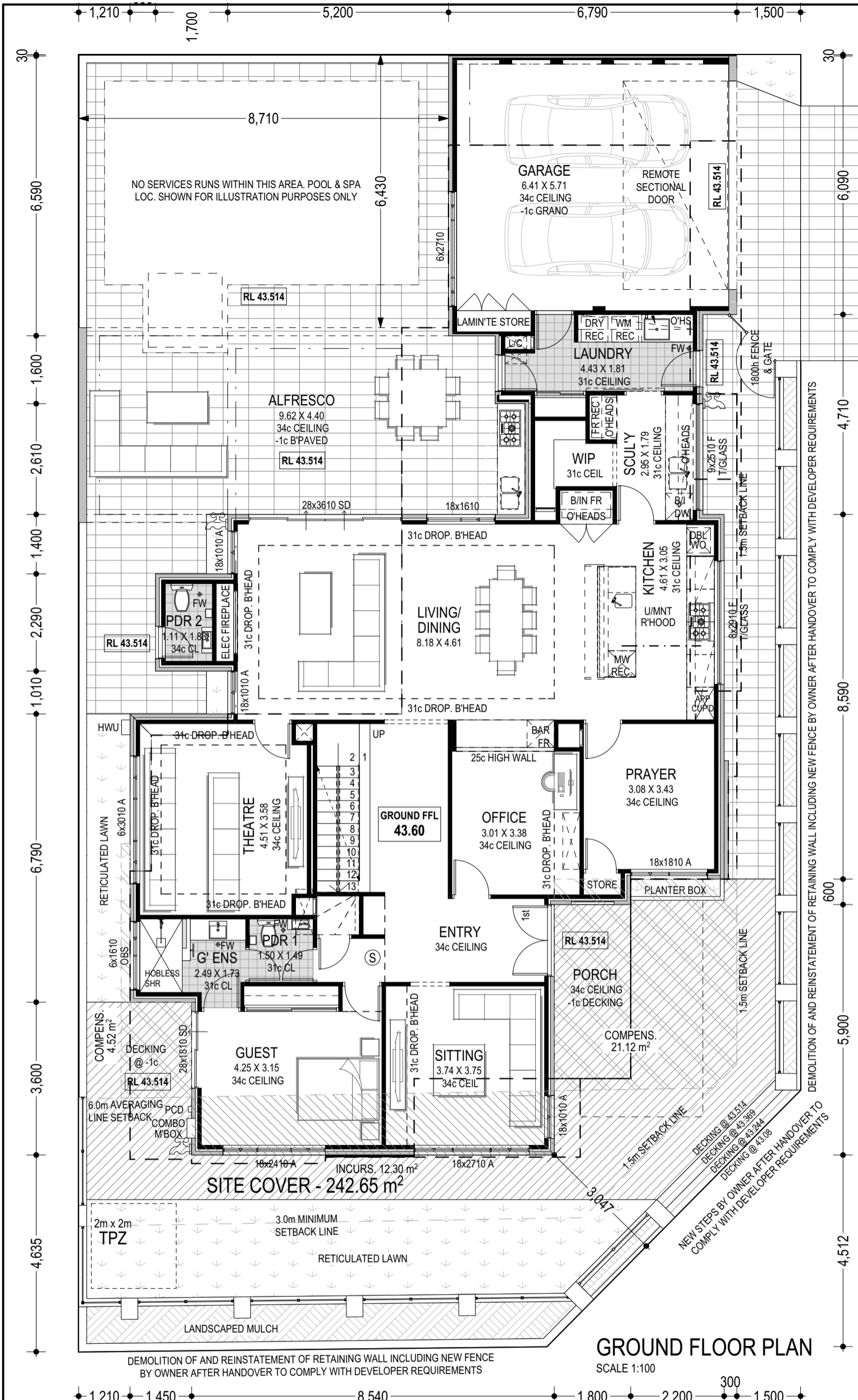
DRAFTED BY : GO  
DATE : 06-05-2022  
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HEIGHT DATUM A.H.D.

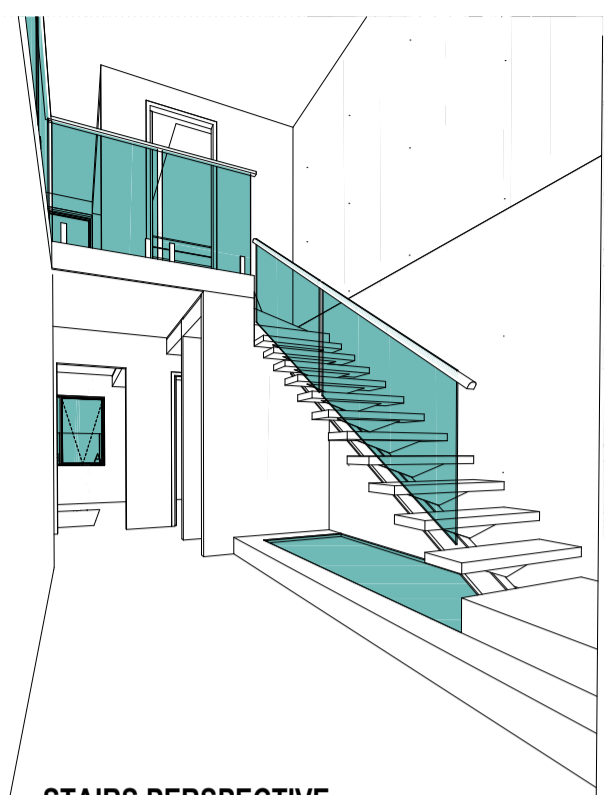
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	PROJECT NAME <b>2 STOREY HOUSE</b>	DRAWING TITLE <b>SITE PLAN</b>	STATUS <b>PLANNING APPROVAL</b>		Drawn <b>GM</b>	Date <b>APR 28</b>	Description <b>DESIGN REVISIONS</b>
	PROJECT ADDRESS <b>#189, ATTADALE AVENUE DARCH WA 6065</b>	CLIENT <b>PATEL</b>	PROJECT NUMBER <b>AM21007</b>	DRAWING <b>DA02</b>	DATE <b>23/05/2023</b>	<b>GM</b>	<b>MAY 14</b>
					<b>GM</b>	<b>MAY 18</b>	<b>PRELIM DA RFI</b>
					<b>SR</b>	<b>MAY 23</b>	<b>AMENDMENTS</b>



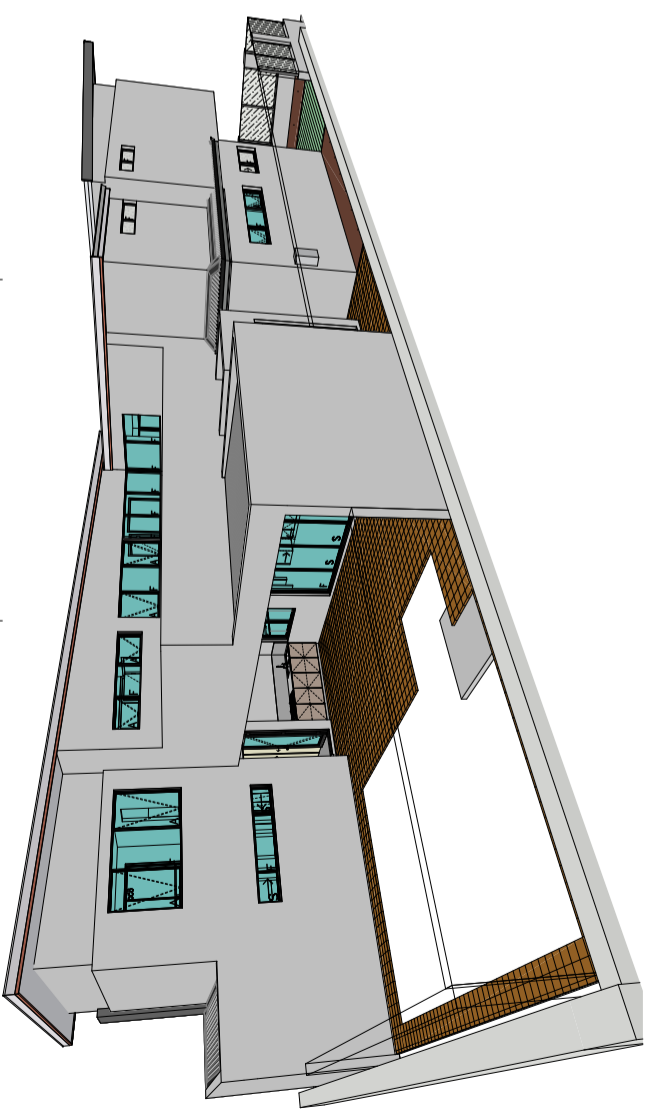
**DOOR NOTE:**  
- 28c INTERNAL AND EXTERNAL DOORS



**STAIRS PERSPECTIVE**

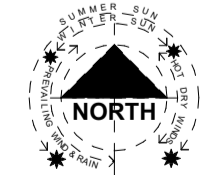


**KITCHEN PERSPECTIVE**



**GROUND FLOOR PLAN**  
SCALE 1:100

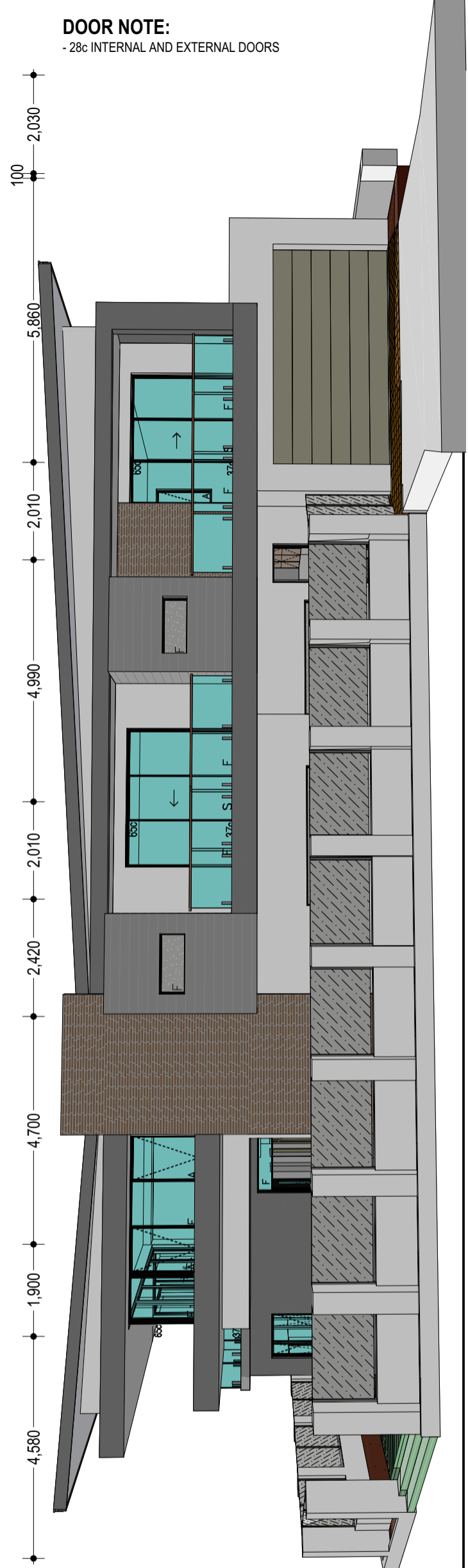
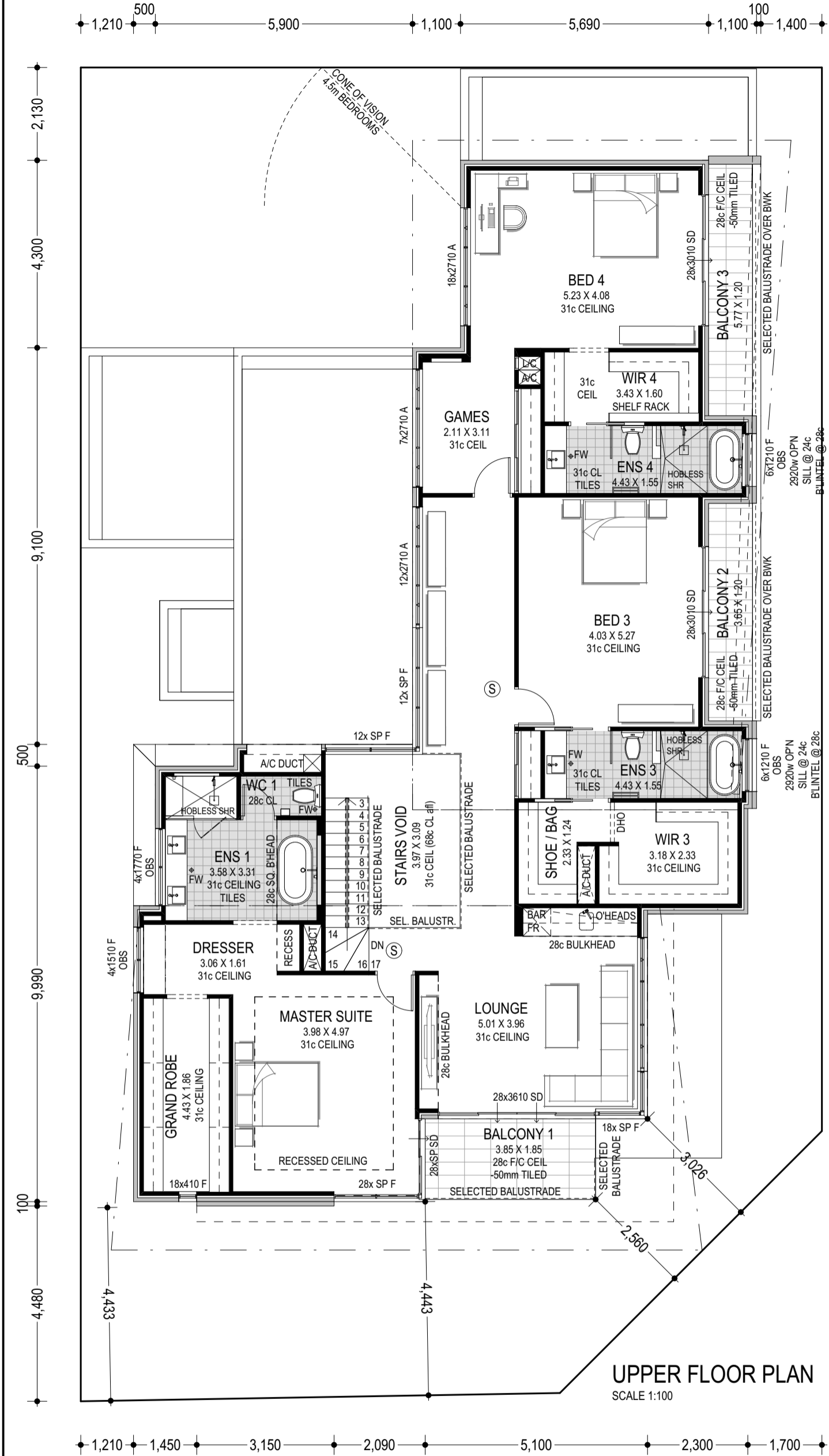
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PDR	7.26	3.07
		514.04 m <sup>2</sup>
ROOF AREA[m2 ON THE FLAT]	323.69	



**R20 SITE CALCULATIONS**  
**SITE AREA**  
500 m<sup>2</sup>  
**SITE COVER CALCULATIONS**  
242.65 m<sup>2</sup>  
**SITE COVER RATIOS**  
48.53%

**NOTE: 34c CEILING THROUGHOUT UNLESS NOTED OTHERWISE**

	PROJECT NAME <b>2 STOREY HOUSE</b>	DRAWING TITLE <b>FLOOR PLAN</b>	STATUS <b>PLANNING APPROVAL</b>			Drawn <b>GM</b>	Date <b>APR 28</b>	Description <b>DESIGN REVISIONS</b>
	PROJECT ADDRESS <b>#189, ATTADALE AVENUE DARCH WA 6065</b>	CLIENT <b>PATEL</b>	PROJECT NUMBER <b>AM21007</b>	DRAWING <b>DA03</b>	DATE <b>23/05/2023</b>	GM	MAY 14	SITE SURVEY UPDATED
						GM	MAY 18	PRELIM DA RFI
						SR	MAY 23	AMENDMENTS



AREAS	PERIM. (m)	AREA (m <sup>2</sup> )
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PDR	7.26	3.07
	514.04 m <sup>2</sup>	
ROOF AREA[m2 ON THE FLAT]	323.69	

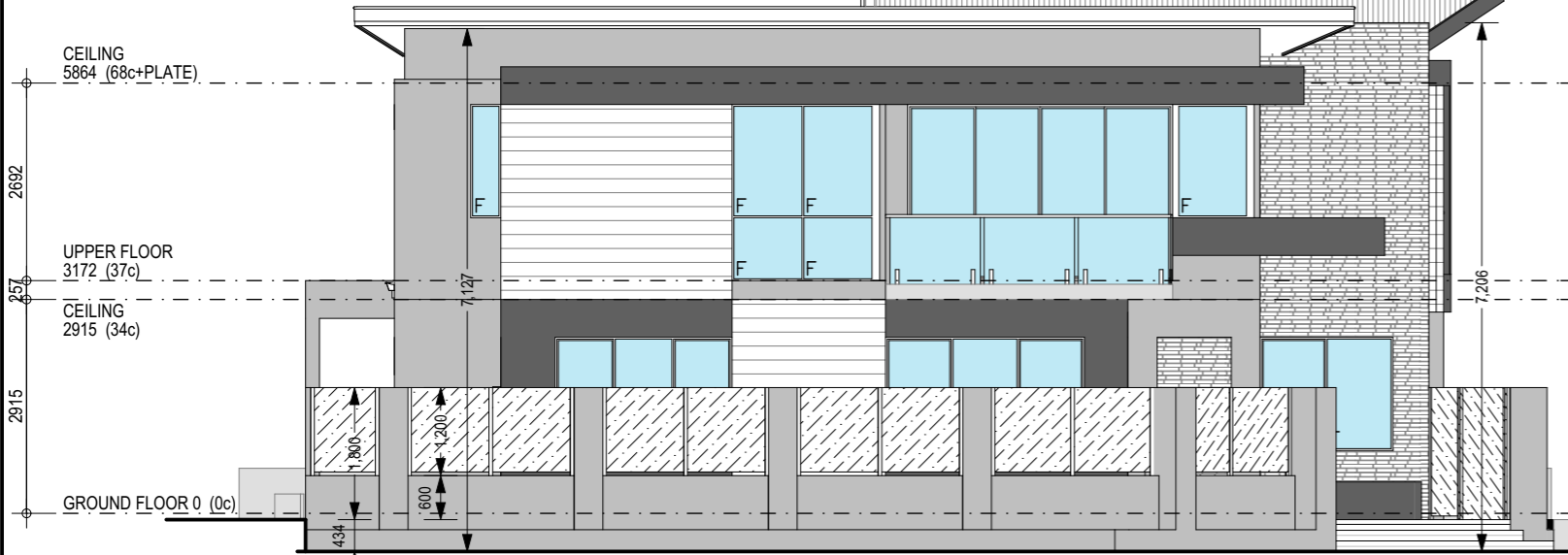


**R20 SITE CALCULATIONS**  
**SITE AREA**  
 500 m<sup>2</sup>  
**SITE COVER CALCULATIONS**  
 242.65 m<sup>2</sup>  
**SITE COVER RATIOS**  
 48.53%

**NOTE: 31c CEILING THROUGHOUT UNLESS NOTED OTHERWISE**

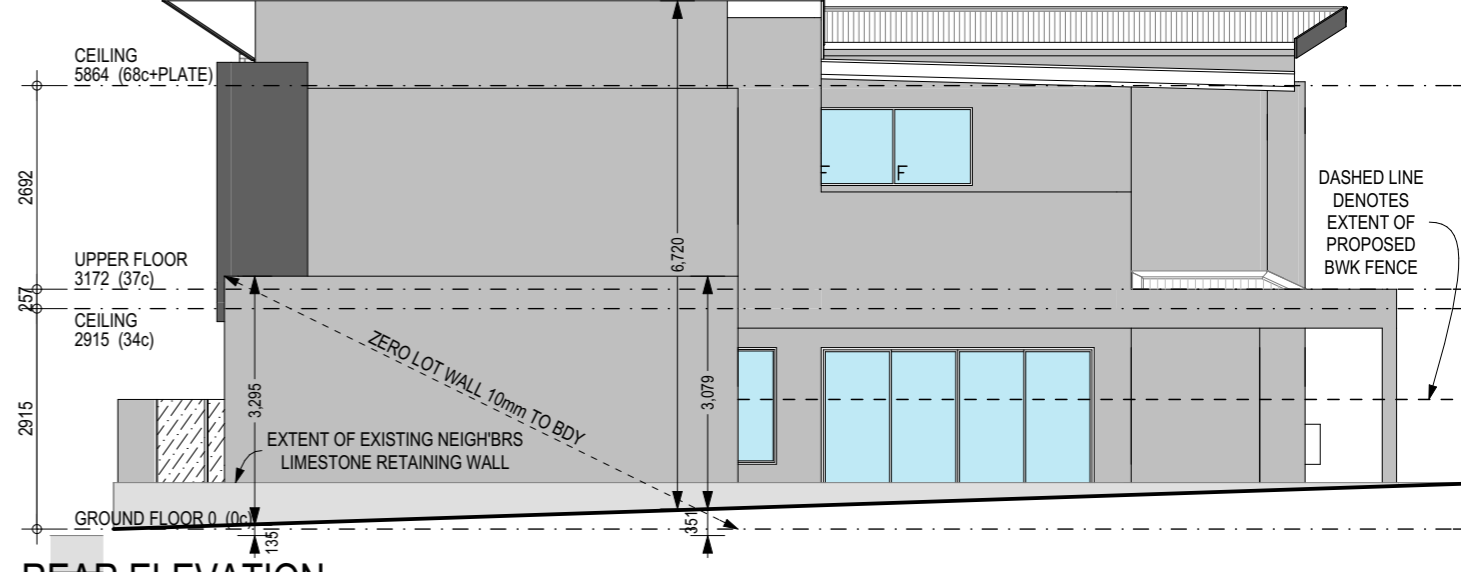
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	PROJECT ADDRESS <b>#189, ATTADALE AVENUE DARCH WA 6065</b>	CLIENT <b>PATEL</b>	PROJECT NUMBER <b>AM21007</b>	DRAWING <b>DA04</b>	DATE <b>23/05/2023</b>	<b>GM</b>	<b>APR 28</b>	<b>DESIGN REVISIONS</b>
						<b>GM</b>	<b>MAY 14</b>	<b>SITE SURVEY UPDATED</b>
						<b>GM</b>	<b>MAY 18</b>	<b>PRELIM DA RFI</b>
						<b>SR</b>	<b>MAY 23</b>	<b>AMENDMENTS</b>

NOTE: 25° CUSTOM ORB ROOF TO GROUND FLOOR, 2° TRIMDECK ROOF TO UPPER FLOOR UNLESS NOTED OTHERWISE



FRONT ELEVATION

SCALE 1:100



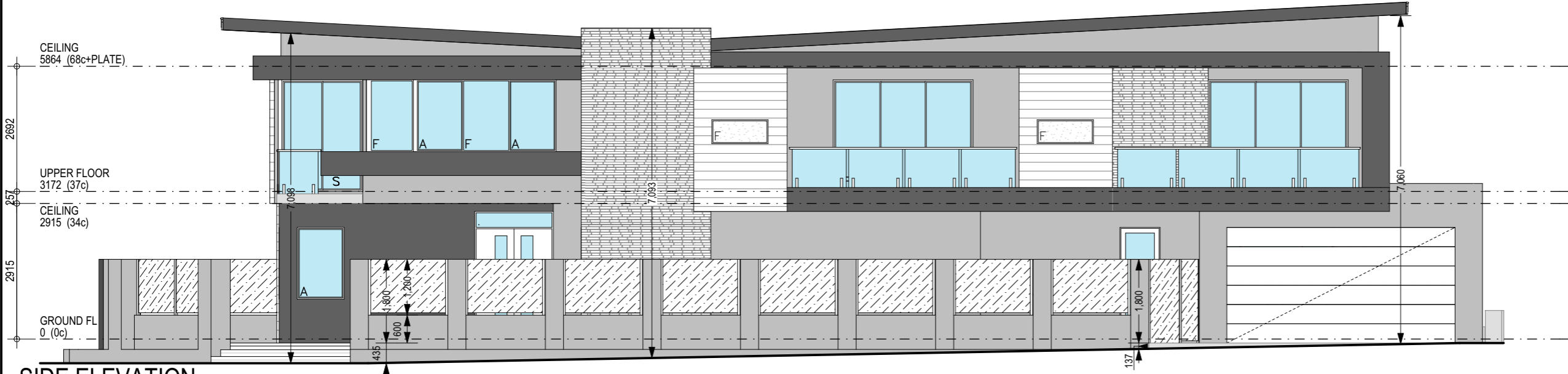
REAR ELEVATION

SCALE 1:100



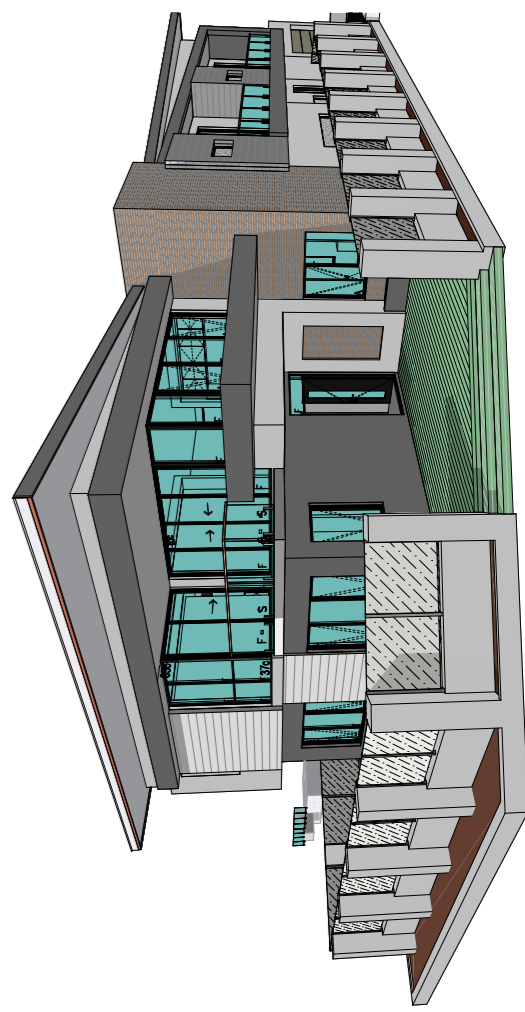
SIDE ELEVATION

SCALE 1:100



SIDE ELEVATION

SCALE 1:100



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PROJECT NAME  
**2 STOREY HOUSE**  
PROJECT ADDRESS  
**#189, ATTADALE AVENUE  
DARCH WA 6065**

DRAWING TITLE  
**ELEVATIONS**  
CLIENT  
**PATEL**

STATUS  
**PLANNING APPROVAL**  
PROJECT NUMBER  
**AM21007**  
DRAWING  
**DA05**  
DATE  
**23/05/2023**

Drawn	Date	Description
GM	APR 28	DESIGN REVISIONS
GM	MAY 14	SITE SURVEY UPDATED
GM	MAY 18	PRELIM DA RFI
SR	MAY 23	AMENDMENTS