

NEW POWER DOME REQUIRED. CONNECT 3 X ELECTRIC METERS

1 x EXISTING WATER METER  
2 x NEW WATER METER

NOTE: ROOF SAFETY ANCHORS TO BE INSTALLED TO MANUFACTURERS DETAILS AND COMPLY WITH AUSTRALIAN STANDARDS

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NOTE: ALL INTERCONNECTING STORMWATER PIPES TO BE 1500 UPVC LAID AT 1% MINIMUM GRADE AND 450mm MINIMUM COVER

NOTE: ALL SOAKWELLS TO BE 1800x1800 UNLESS NOTED OTHERWISE

**BIN STORE NOTES**  
2 x 1.8m COLORBOND GATES. COLOUR TO MATCH ROLLER DOOR  
305 x 90 x 162mm BRICKWORK 180mm HIGH WITH SAND FINISH RENDER TO ALL FACES READY FOR GRAFFIATO FINISH TO MATCH BUILDING

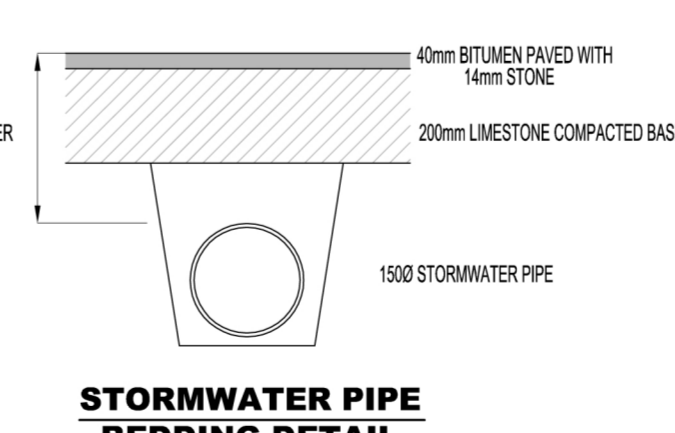
CROSSOVER TO COUNCIL REQUIREMENTS

DRIVE WAY, CARPARKING CONSTRUCTION  
40mm BITUMEN ON 200mm COMPACTED LIMESTONE BASE

SEWER CONNECTION POSITION APPROXIMATE ONLY  
SEWER INVERT LEVEL 32.20

SERVICES LEGEND	
	SUB MAINS CABLE (32AMPS)
	24 POLE SUB BOARD
	MAIN BOARD (POWER)
	M.D.F. BOARD (TELECOM)
	I.D.F. BOARD (TELECOM)
	36m FIRE HOSE REEL
	TEMPORARY WATER-PROOF DOUBLE GPO
	WATER TAP
	1 x 4.5kg DCP FIRE EXTINGUISHER TO BE INSTALLED IN OFFICE
	1 x 9.0kg DCP FIRE EXTINGUISHER TO BE INSTALLED IN WAREHOUSE

ALL CARPARK & DRAINAGE DESIGN WORK CARRIED OUT & CERTIFIED BY:  
**Stace Rogers** Assoc Dip Civ Eng (AMEI/Aust)  
**SJR** Civil Consulting Pty Ltd  
30 North Road  
BASSENDEAN WA 6054  
Email : sjrconsulting@iprimus.com.au  
Ph : (08) 9379 9481 or 0447 112 481

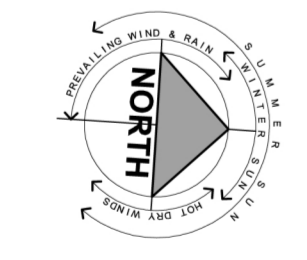


**DRAINAGE CALCULATIONS:**  
Drainage calculations:  
Roof & car park area = 1,345m²  
Storage volume required = 1,345 x 0.133 = 178.9m³  
1800dia x 1800d soakwell capacity = 17.3m³  
Storage volume provided = 17.3 x 10 (soakwells) = 173m³  
Carpark storage = 10m³ (min)  
Total storage provided = 183m³

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LEGEND:	
	EX. SEWER LINE
	FIRE SERVICE (25mm)
	WATER SERVICE (20mm)
	TELSTRA PIPE (50mm)
	POWER CONDUIT (80mm)
	STORMWATER (150mm)

- LEGEND**
- Boundary
  - Awning
  - Fence
  - Overhead Power
  - Sewer Line
  - Significant Tree
  - Telstra Pit
  - Water Meter
  - Power/Service Pole
  - Sewer Manhole
  - Drainage Gully
  - Reticulation Valve



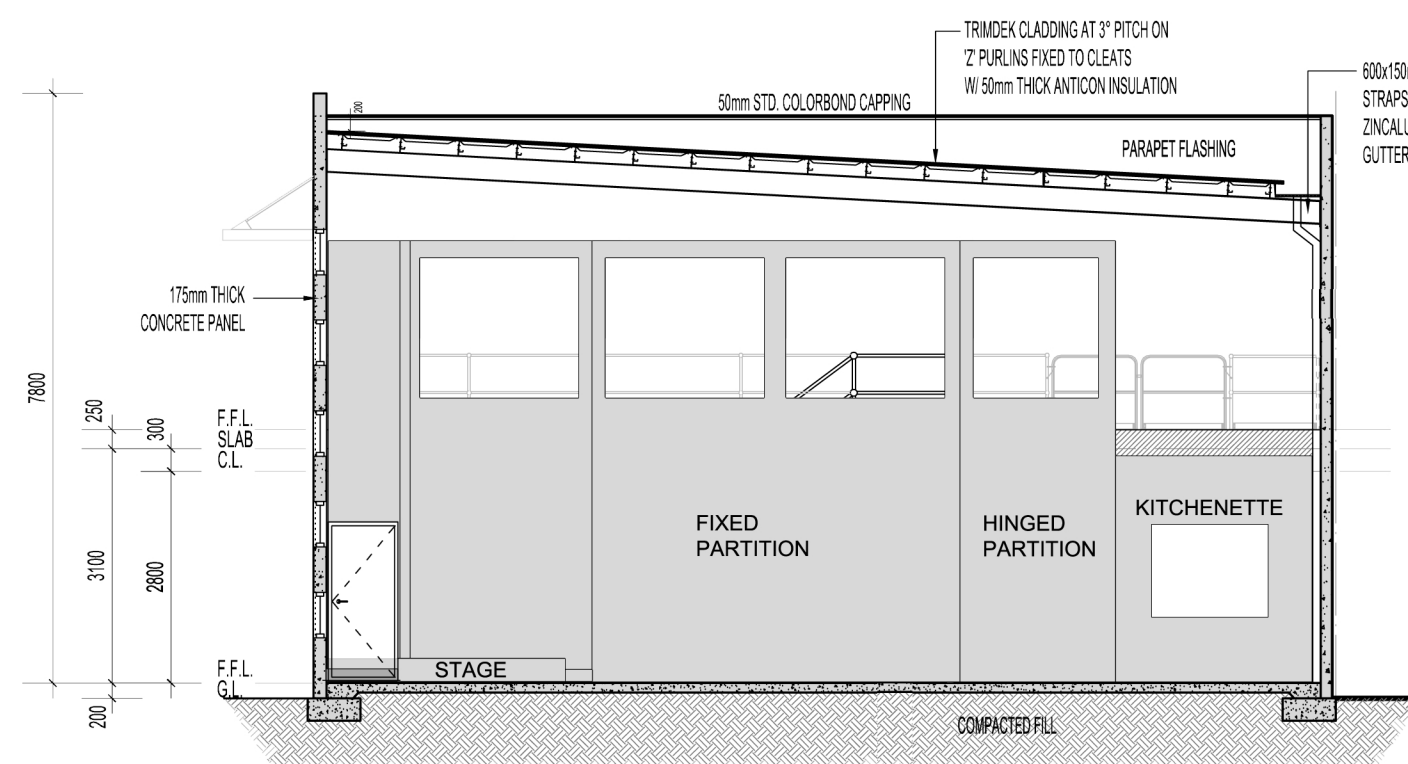
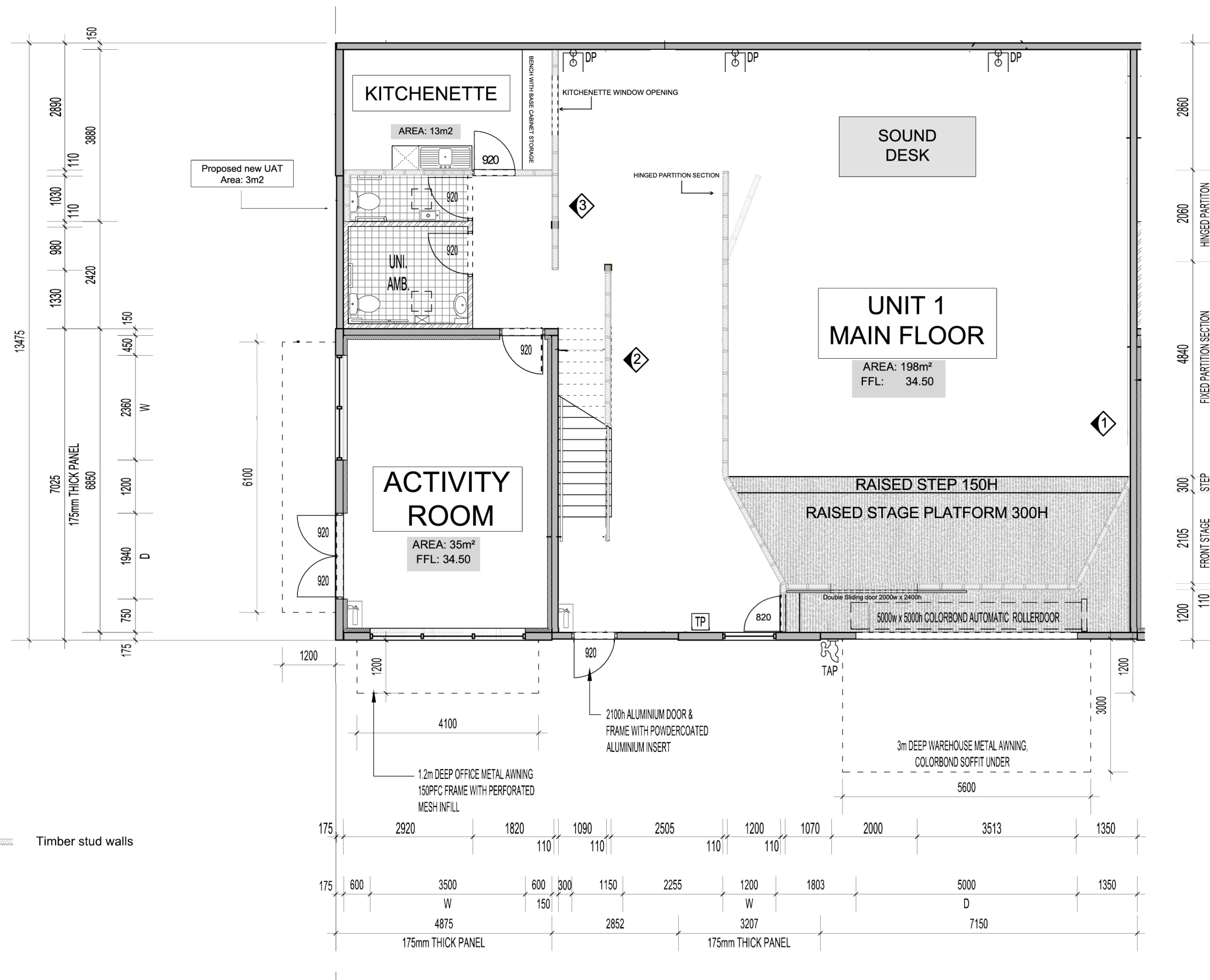
**PROPOSED SITE PLAN**  
SCALE 1:100



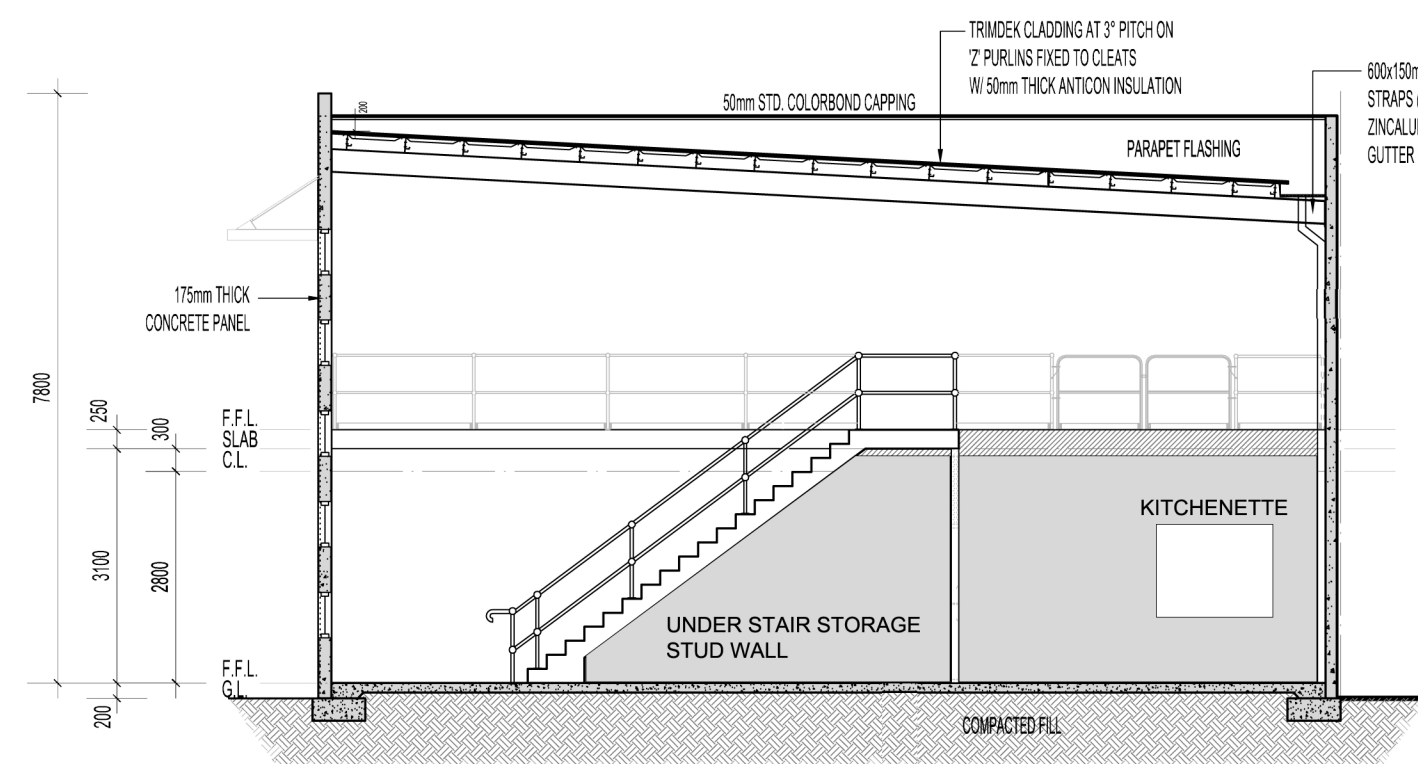
# PROPOSED FLOOR PLAN

1/6 STEVENAGE STREET YANCHEP

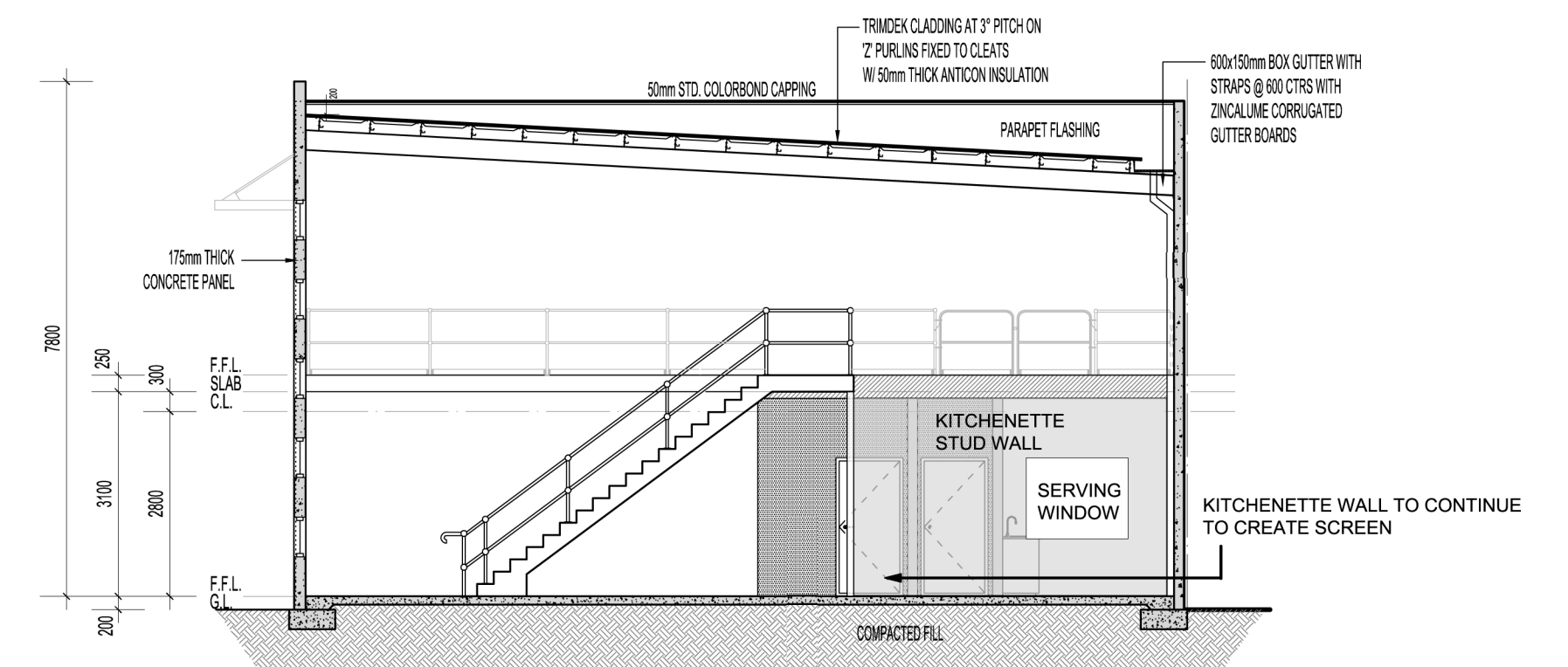
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**SECTION B-B 1**  
SCALE 1:100



**SECTION B-B 2**  
SCALE 1:100



**SECTION B-B 3**  
SCALE 1:100





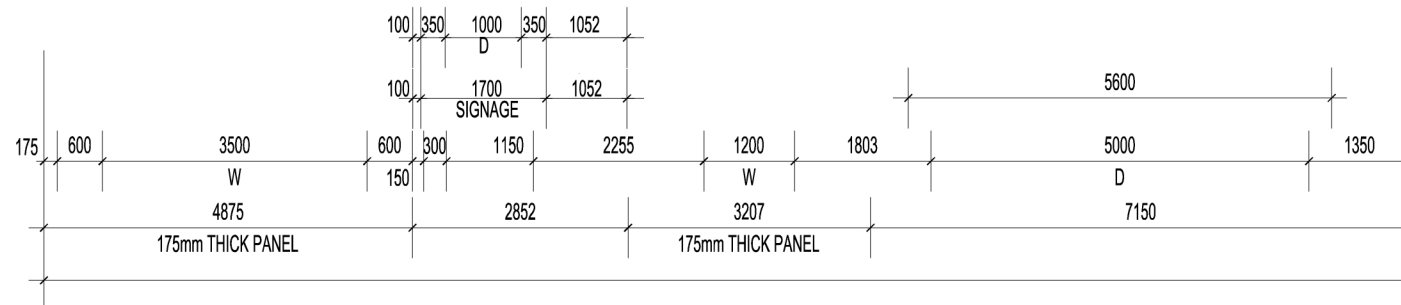
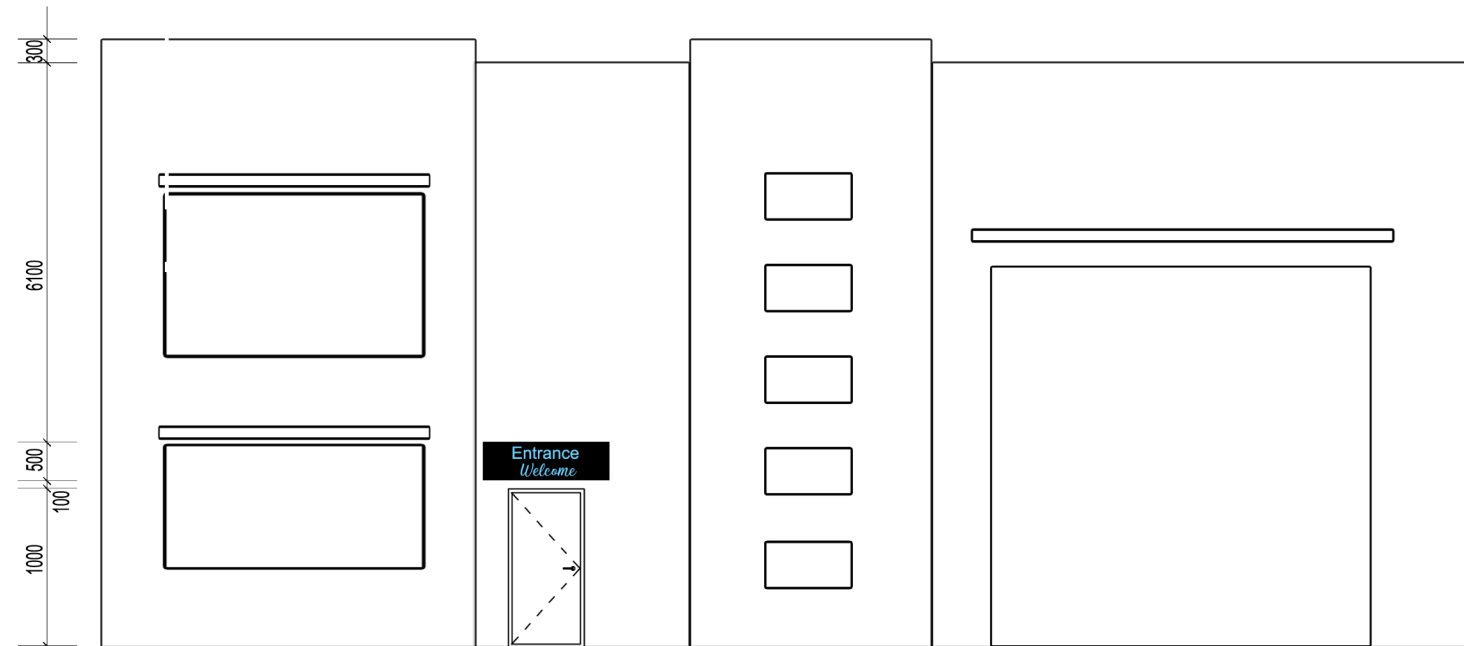
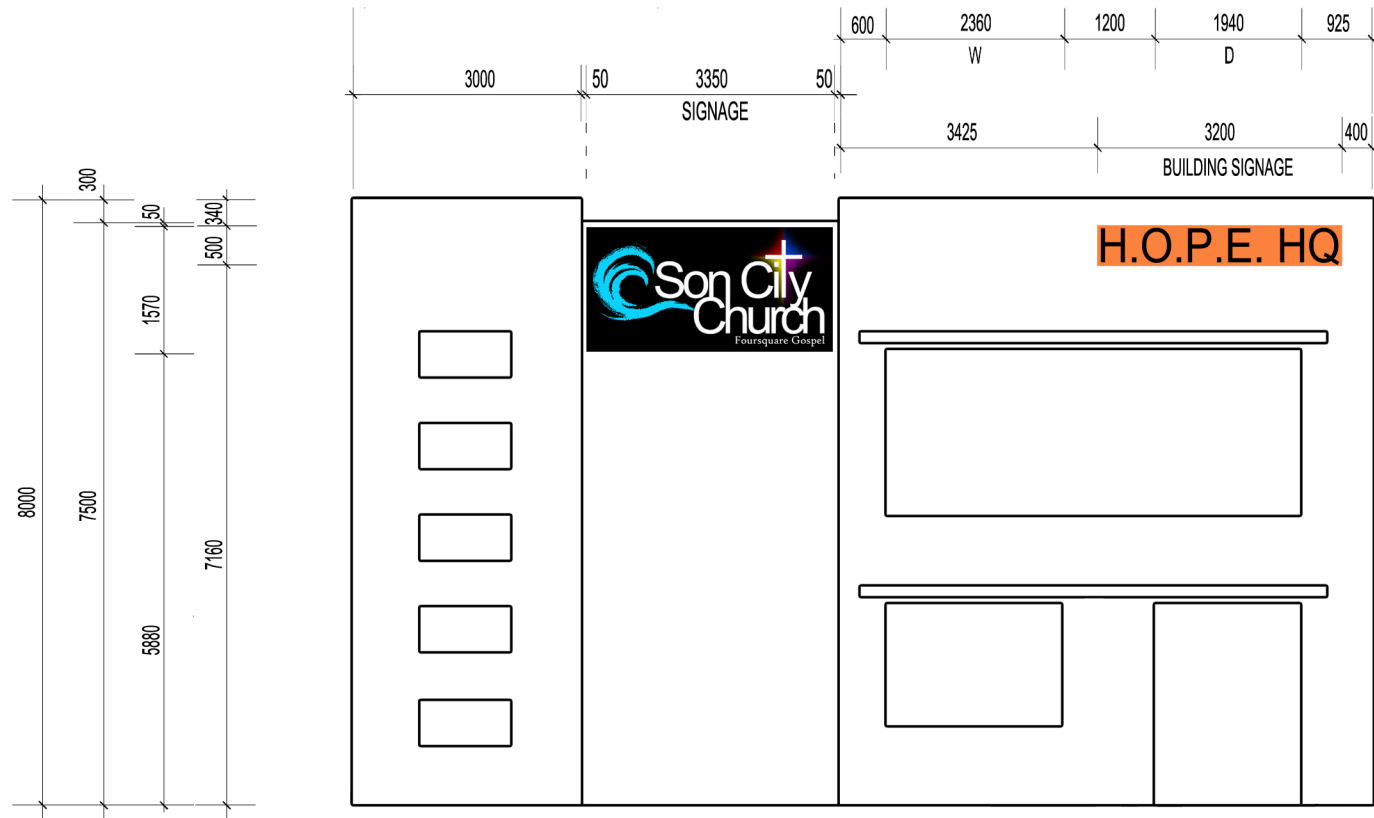
H.O.P.E. HQ



# PROPOSED SIGNANGE PLAN

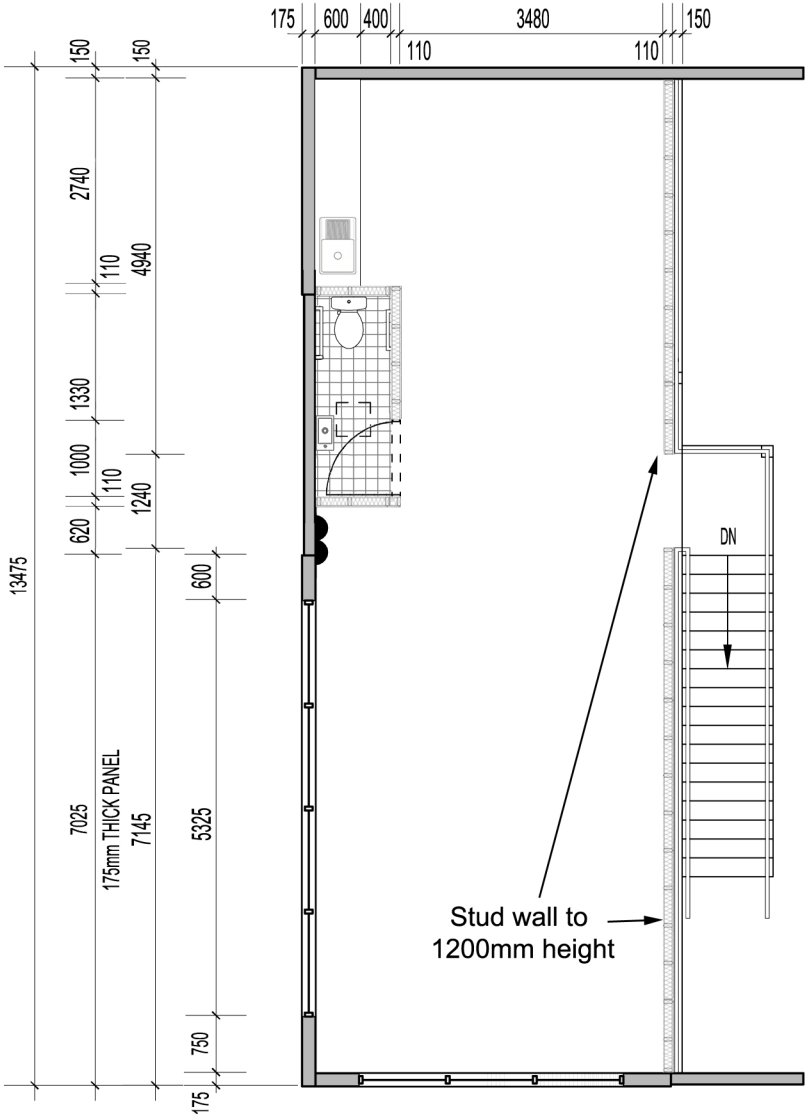
1/6 STEVENAGE STREET YANCHEP

SCALE 1:100



# MEZZANINE

PROPOSED OFFICE & MEETING AREA  
SCALE 1:100



15<sup>th</sup> May, 2023

To whom it may concern,

**Re: Development Application - Change of use to 'Place of Worship',  
Lot 3 Unit 1/6 Stevenage Street, Yanchep, 6035**

We are applying for a change of use DA for the above-mentioned property and would like to cater for the maximum capacity allowed upon approval from Department of Health and City of Wanneroo.

- The main hours of operation would be on Sunday between 0800hrs – 1400hrs.
- Currently 40 attendees with a potential maximum of 120 attendees will be on the premises during this time.
- Occasional extra functions on a Sunday between 1400hrs – 2000hrs proposing numbers same as above.

The other proposed hours of operation for church administration, community programs and social activities are:

- Saturday between 0800hrs - 2200hrs with a potential maximum of 60 attendees.
- Monday to Friday between 0800hrs – 1600hrs with a potential maximum of 20 attendees.
- Monday – Thursday between 1600hrs – 2200hrs with a potential maximum of 60 attendees.
- Friday between 1600hrs – 2200hrs with a potential maximum of 100 attendees.

Other secondary community activities would include:

- Small Bible study groups of all ages and other church social activities.
- Fundraisers.
- Community activities and groups
- Seniors' social support group
- Parent social support group
- Men's social Support group
- 'Life Skill' and budget planning support group.
- Wellbeing & Self-care support group.

On site parking caters for 19 parking bays including 1 ACROD bay. There are an additional 36 street parking bays along Stevenage and Bracknell Street as noted in the Traffic Statement.

As the main usage is for a "Place of Worship" the church logo signage will be displayed on the façade of the building.

To indicate community support activities the name "H.O.P.E. HQ", (Helping Other People Every day), will be positioned to the top right of the building façade. This is shown in the "Signage" section of the DA.

Kind Regards,