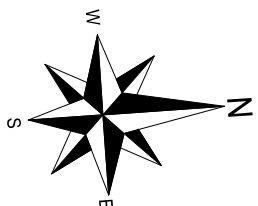


[Symbol]	SEC Dome
[Symbol]	Power Pole
[Symbol]	Phone Pits
[Symbol]	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



STORMWATER DRAINAGE TO COUNCIL REQUIREMENTS

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CLIENT NOTE:
ANY RETAINING INDICATED 'BY OWNER' MAY REQUIRE A SEPARATE BUILDING LICENCE PRIOR TO THE SHIRE APPROVAL OF THE PROPOSED DWELLING. (OWNER TO SUBMIT APPLICATION TO SHIRE ASAP IF APPLICABLE)

CONCRETOR NOTE:
RECESS SHOWER SLAB 30mm, PROVIDE REFLUX VALVE TO HOBLESS SHR

BAL 12.5 APPLIES

DRAWING NAME: **SITE PLAN** REVISION: **B**

JOB No: **13963H** SHEET No: **1C OF 8**

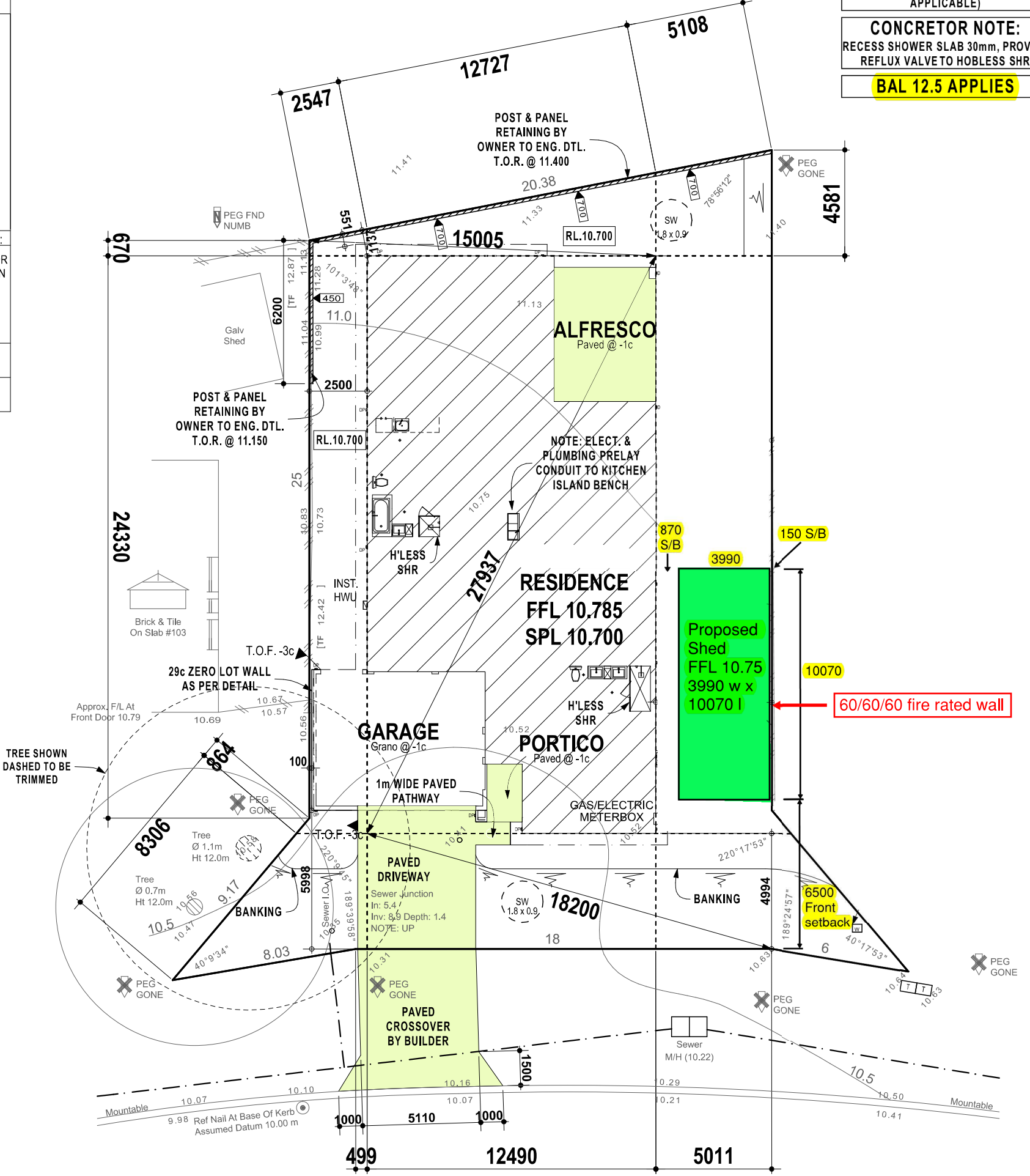
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

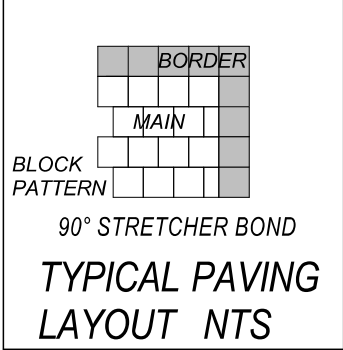
OWNER: WITNESS:
OWNER: WITNESS:
BUILDER: WITNESS:

Rev No.	Variation:	Date Dm:	By:
A	13963H SITE	19/11/18	DR JN
B	13963H VO1 - VO3	27/11/18	JN

Drawn By: JN Date Drawn: 30/11/18
Scale: 1:200 Checked By:



TERMITE MANAGEMENT NOTE
ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1-2014 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BUILDING CODE OF AUSTRALIA - VOLUME 2, 2016



SOIL DESCRIPTION
Sand / L/Stone(Poss)
Thick Grass Cover

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

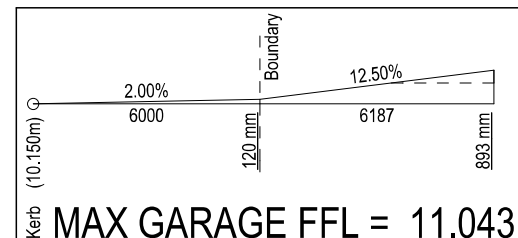
DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Scale 1:200

Soak Well Type	No.	Capacity
SW 1800x900	2	4.6 m3
Total Capacity		4.6 m3
Roof Area GF		349.6 m2
Total Area		349.6 m2
Capacity Required (Area x 0.0125)		4.4 m3
Extra Capacity Provided		0.2 m3



SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	688.16m ²
SITE COV. AREA	293.32m ²
SITE COV. = 42.6%	

BUILDING SITE INSPECTION REPORT SERVICE AND CONTOUR SKETCH

Client: **RAFANIELLO**
Date: **17 Oct 18** House No. **105**
Lot No. **2** Area **688m²** Street **MOORPARK AVENUE**
Suburb **YANCHEP** Shire **CITY OF WANNEROO**
D.Plan **406241** C/T Vol. **2891** Fol **283**

CONTRACT / JOB NO. **13963H**
MSD REF **97 80/60**
OLD AREA

Road Descr.	Bitumen
Kerbing	Mountable
Condition	GOOD
Footpath	Nil
Condition	GOOD
Soil	Sand / L/Stone(Poss)
Drainage	Good
Vegetation	Light Grass Cover

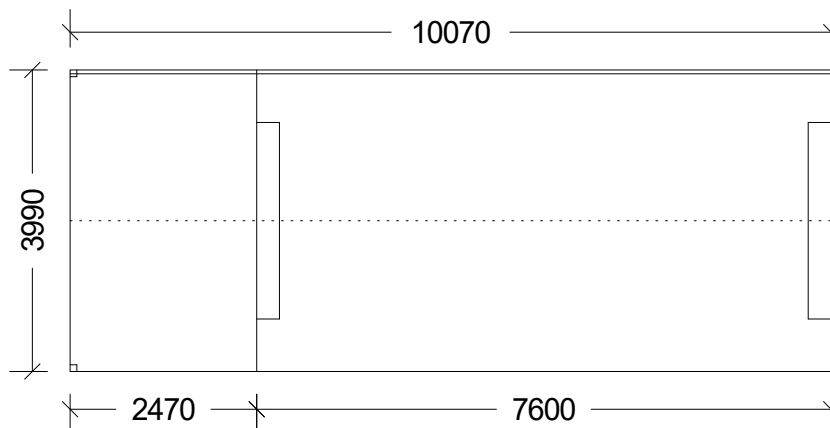
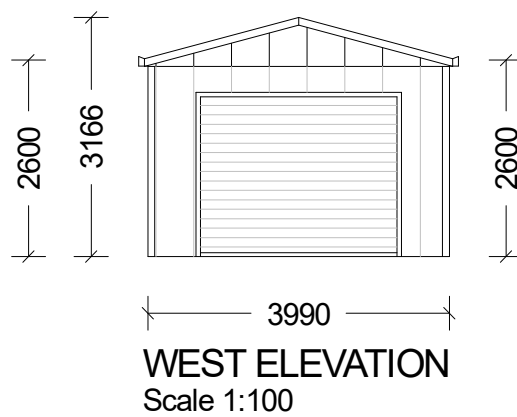
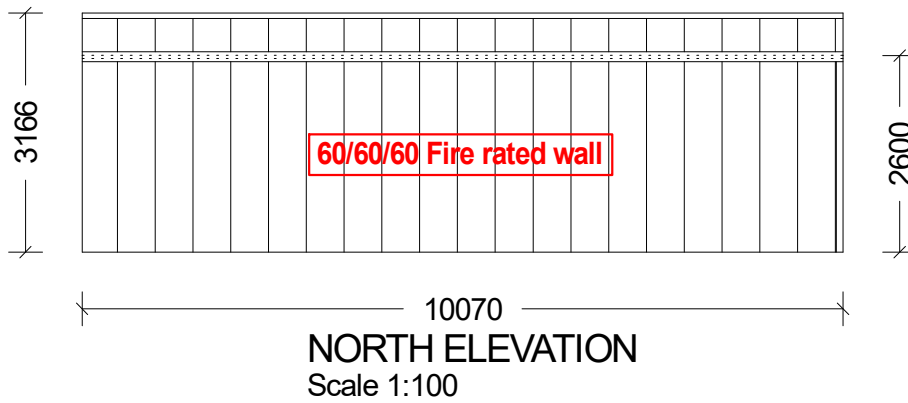
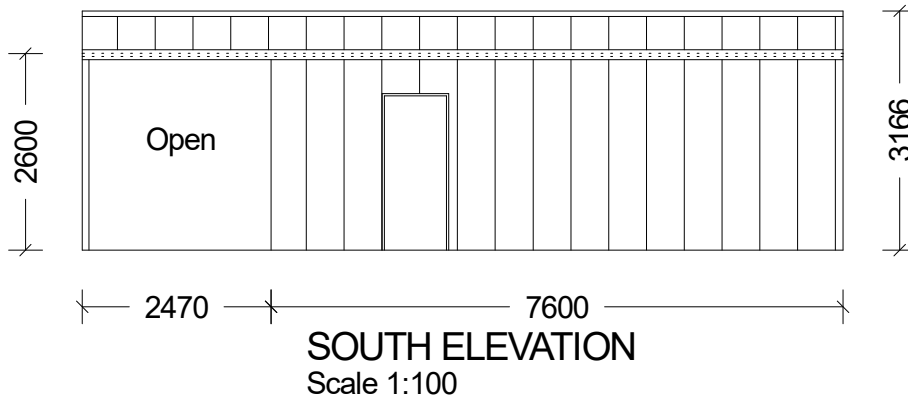
Services: Gas	No Assets (Hood & Reg)	Phone Comms.	Yes
Water	Yes	Sewer	Yes
Electricity	U/Ground		
Fencing and other improvements	AS SHOWN		
Special Features	AS SHOWN		

CORROSION PROTECTION_R3
(APPROX. 2.40km)
(Scaled from Digital Mapping Source)

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au

J/N:	DATE:	SCALE:	DRAWN:
444195	17 Oct 18	1:200	J. Jee



Drawn by	Roger Hurkens
Date	22/06/2023
Eave height	2600 mm
Ridge height	3166 mm
FFL	10.00
Scale	1:100
Roof Colour	Dune
Wall colour	Classic Cream



Job name	RAFANIELLO
Job number	DD092P
Job address	105 Moorepark Avenue
Job suburb	Yanchep WA 6035

2/22 Supreme Loop, Gngarara WA 6077