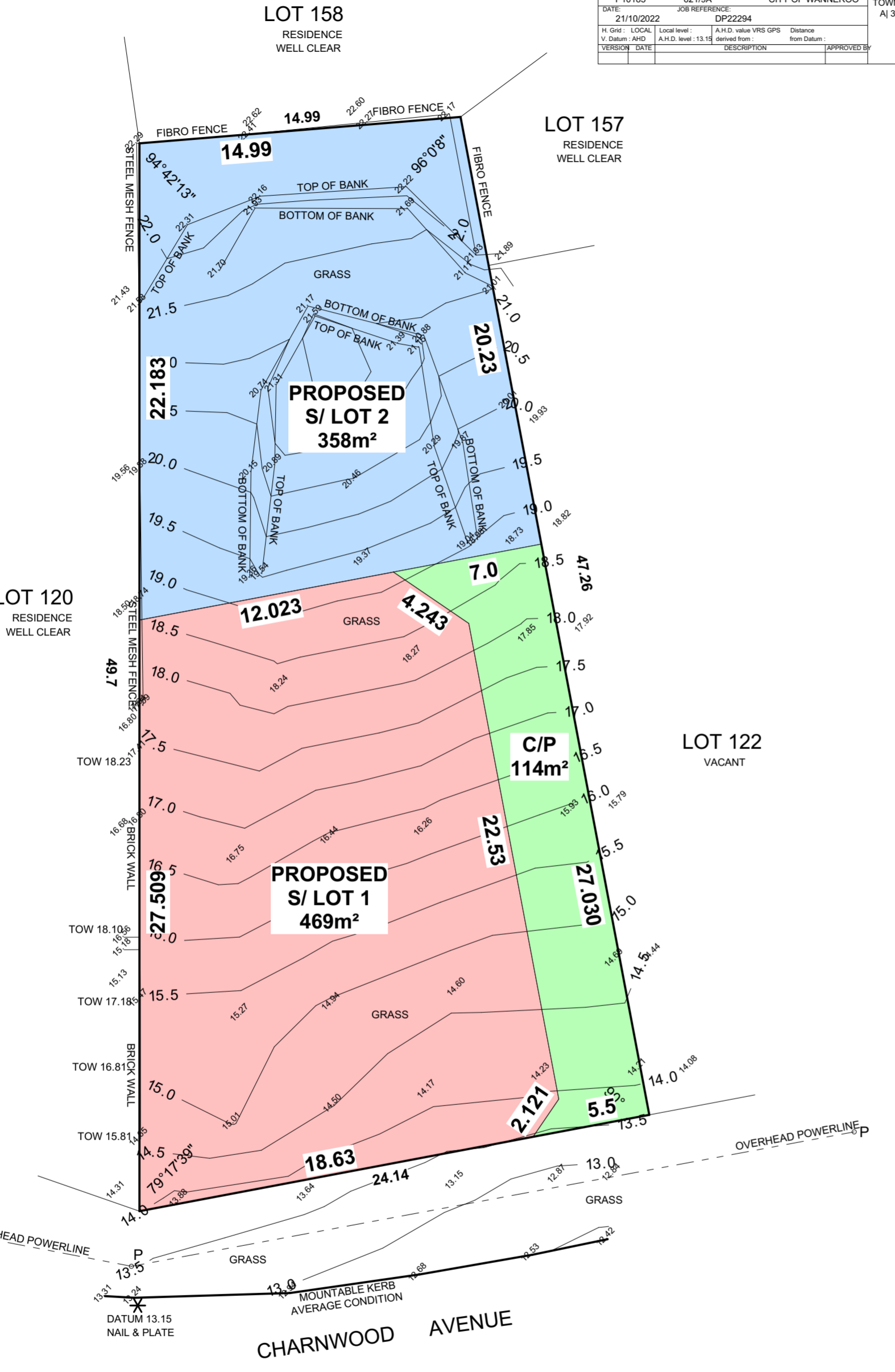
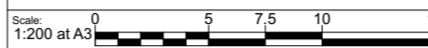
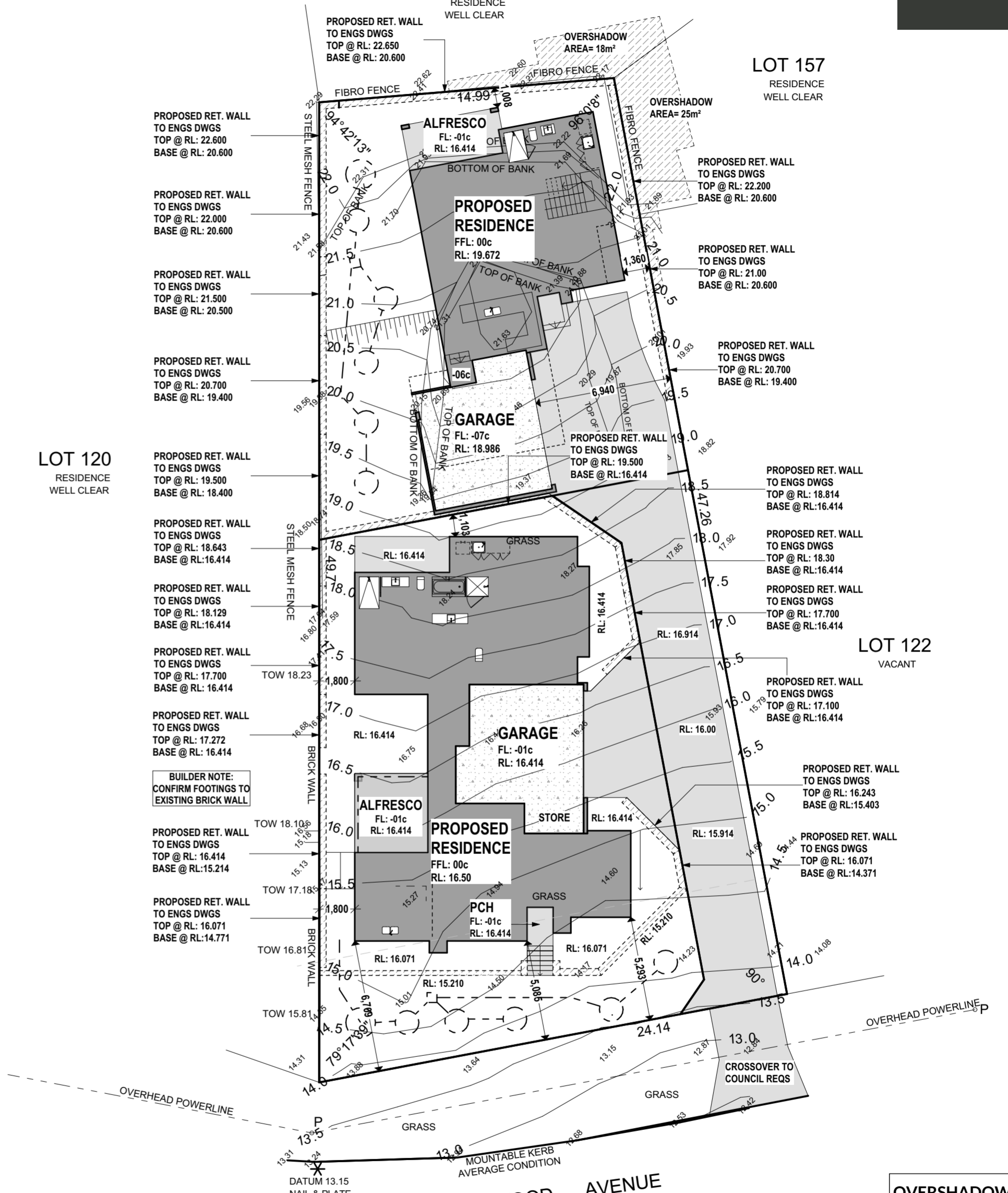


CLIENT New Home Building Brokers		DEVELOPED	TOWN PLANNING SURVEYING PROPERTY A 315 ROKEBY ROAD, SUBIACO WA 6008 P (08) 6119 9175 E projects@dhvdp.com.au W www.developedproperty.com.au
ADDRESS LOT 121 (48) CHARNWOOD AVENUE, TWO ROCKS			
PLAN P10185	CITY 621/9A	AUTHORITY CITY OF WANNEROO	
DATE 21/10/2022	JOB REFERENCE DP22294		
H. Grid: LOCAL	Local level: A.H.D. value	VRS	GPS
V. Datum: AHD	A.H.D. level: 13.15	derived from:	from Datum:
VERSION	DATE	DESCRIPTION	APPROVED BY



EXISTING SURVEY & STRATA PLAN
1:200



SITE PLAN
1:200

LOT 121
942m²

SERVICE INFORMATION

AREA ESTABLISHED
SEWERAGE NO DEPTH
WATER YES S/BELAND
ELECTRICAL YES O/H
TELECOM YES
GAS TBC
DRAFTER DP SURVEYORS

SERVICE LEGEND

SURVEY
* DATUM
+PF PEG FOUND
+PG PEG GONE

SEWERAGE
○ SEW SEWER MANHOLE
○ IO INSPECTION OPENING
○ IS INSPECTION SHAFT

WATER
+M WATER METER
+H HYDRANT
+F FLUSH POINT
+V STOP VALVE

ELECTRICAL
+D POWER DOME/PILLAR
+P POWER POLE
+L LAMP POST
+C CONSUMER POLE
+A STAY WIRE ANCHOR

STORMWATER
+S STORMWATER MANHOLE
+G GRATE
+P SIDE ENTRY PIT

GAS
+G GAS METER
+S SERVICE VALVE

TELECOM
+T COMMUNICATION PIT

SEWER CONNECTION POSITION

SEWER INFORMATION NOT AVAILABLE AT TIME OF SURVEY

BUILDER NOTE:
CONFIRM FOOTINGS TO
EXISTING BRICK WALL

OVERSHADOW CALCS

SHADOW AREA	: 18m ²
NEIGHBOURS LOT AREA	: 1203m ²
% OVERSHADOWING	: 1%

OPEN SPACE CALCS (LOT 1)

HOUSE AREA	: 211.76m ²
LOT AREA	: 469m ²
C/P AREA /2:	: 57m ²
OPEN SPACE ACHIVED	: 40%

OPEN SPACE CALCS (LOT 2)

HOUSE AREA	: 139.21m ²
LOT AREA	: 358m ²
C/P AREA /2:	: 57m ²
OPEN SPACE ACHIVED	: 34%

OVERSHADOW CALCS

SHADOW AREA	: 25m ²
NEIGHBOURS LOT AREA	: 942m ²
% OVERSHADOWING	: 3%



client name:
Serena
site address:
48 Charnwood Avenue | TWO ROCKS

REVISION DESCRIPTION	REV	REV. DATE	reference:	sheet no:	scale:
###	###	###	SURVEY / SITE PLAN	A-05	1:200 @ A2
					job no: 22063



THE
Serena
RESIDENCE

48 Charnwood Avenue
TWO ROCKS



FLOOR PLAN
1:100

Paving Areas	
Alfresco	55.92
C/P	100.23
Crossover	20.71
Driveway	27.42
Dry Court	75.56
Porch	106.40
Steps	106.40
	396.77 m ²

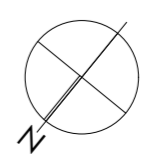
Perimeters	
Location	Perimeter
Porch	6.029
Alfresco	15.400
Garage / Store	28.620
House	93.988
	144.037 mm

Floor Areas - Rear House	
ALFRESCO:	11.39
GARAGE / STORE:	42.54
GROUND FLOOR:	93.25
PORCH:	3.42
UPPER FLOOR:	124.65
	275.25 m ²

Floor Areas - Front House	
ALFRESCO:	14.93
GARAGE / STORE:	42.96
GROUND FLOOR:	166.47
PORCH:	2.33
	226.69 m ²

REVISION DESCRIPTION	REV	REV. DATE
CONCEPT FLOOR PLAN	SK00	27-10-22
CONCEPT FLOOR PLAN CHANGES	SK01	14-11-22
CONCEPT PLANS FOR COSTING	SK02	24-11-22
SEPTICS LOCATION	SK03	09-01-23
DA SET	DA00	02-03-23

reference: **GROUND FLOOR PLAN A-01**
sheet no: **A-01**
scale: **1:100 @ A3**
job no: **22063**



M | 0413 152 645 W | infinitydesigned.com.au E | gianzon@infinitydesigned.com.au



client name: *Serena*
site address: **48 Charnwood Avenue | TWO ROCKS**

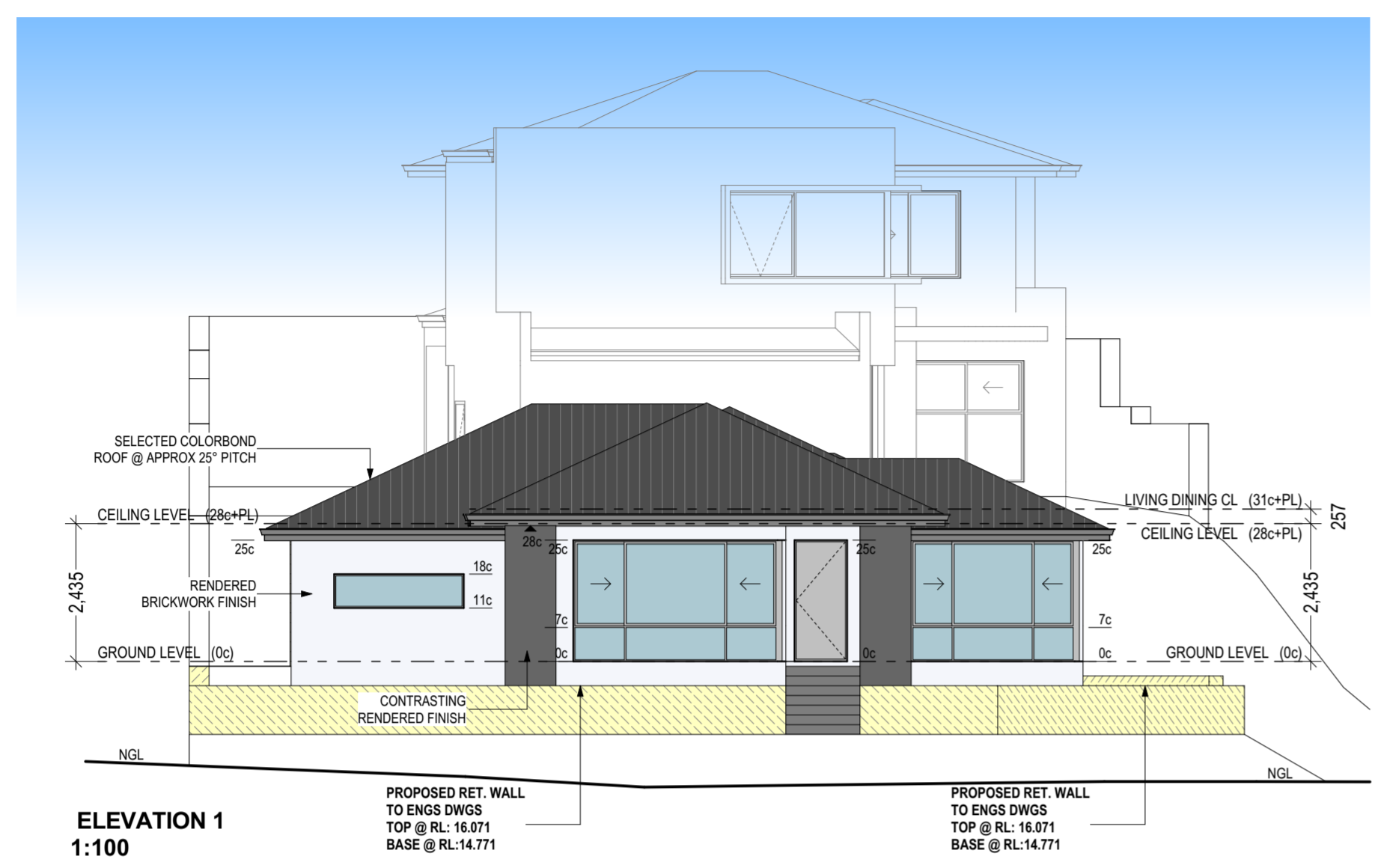


THE *Serena* RESIDENCE

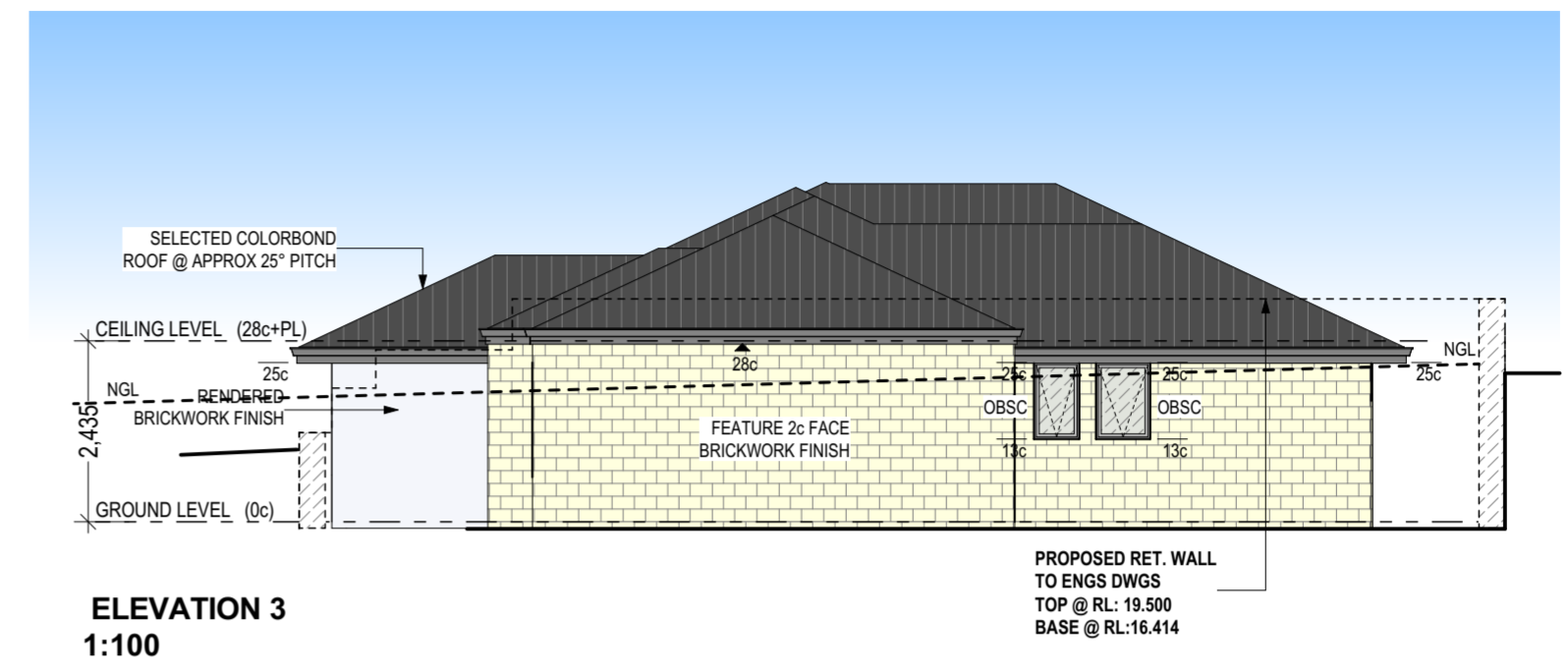
48 Charnwood Avenue | TWO ROCKS

#Project Description





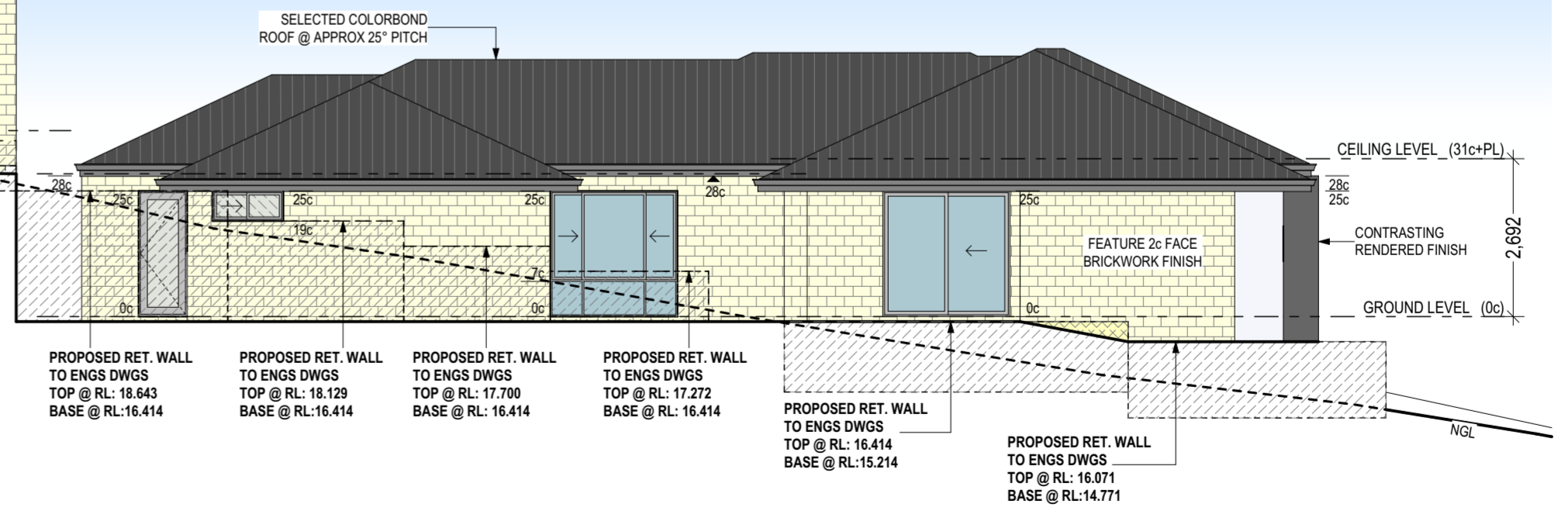
ELEVATION 1
1:100



ELEVATION 3
1:100



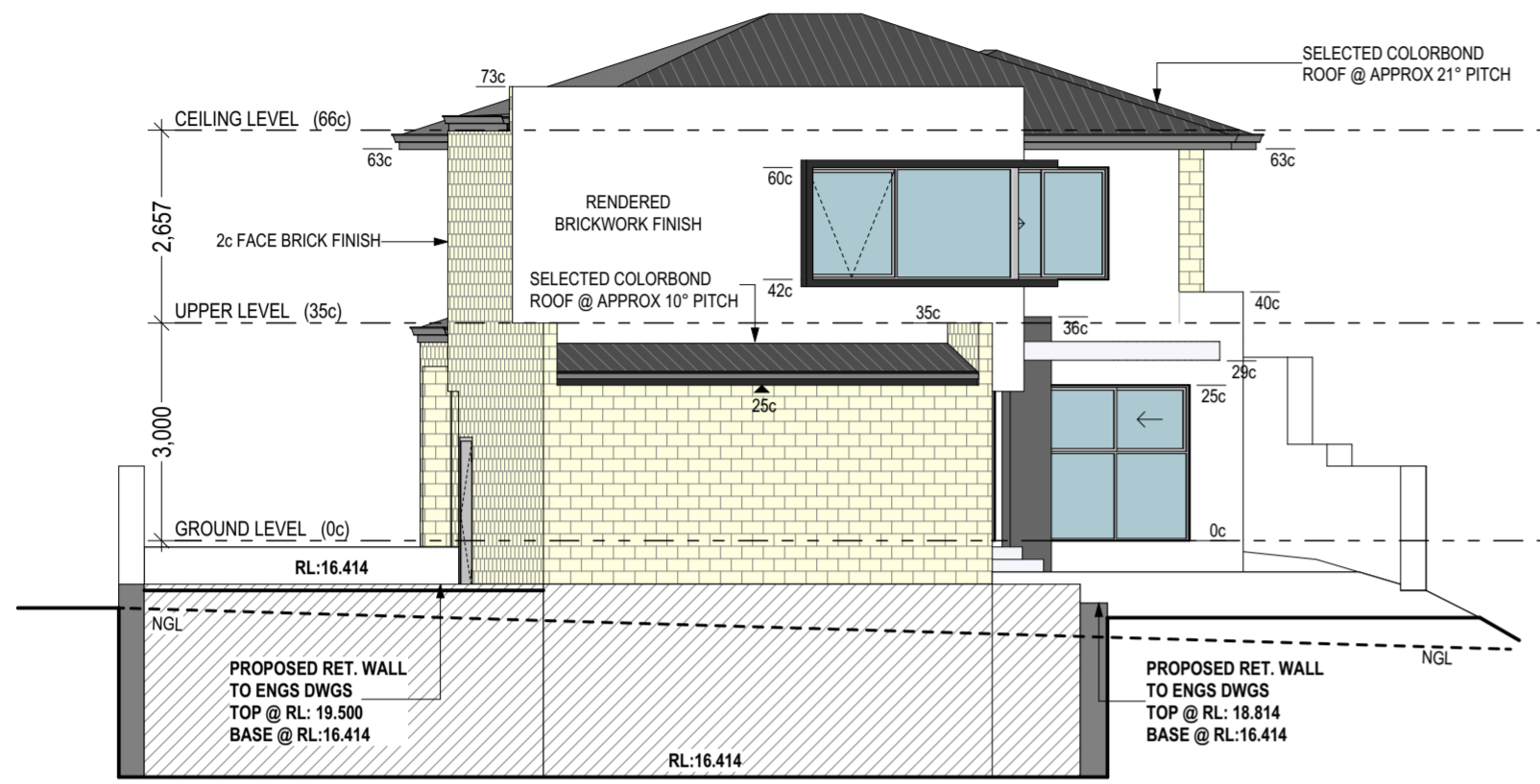
ELEVATION 2
1:100



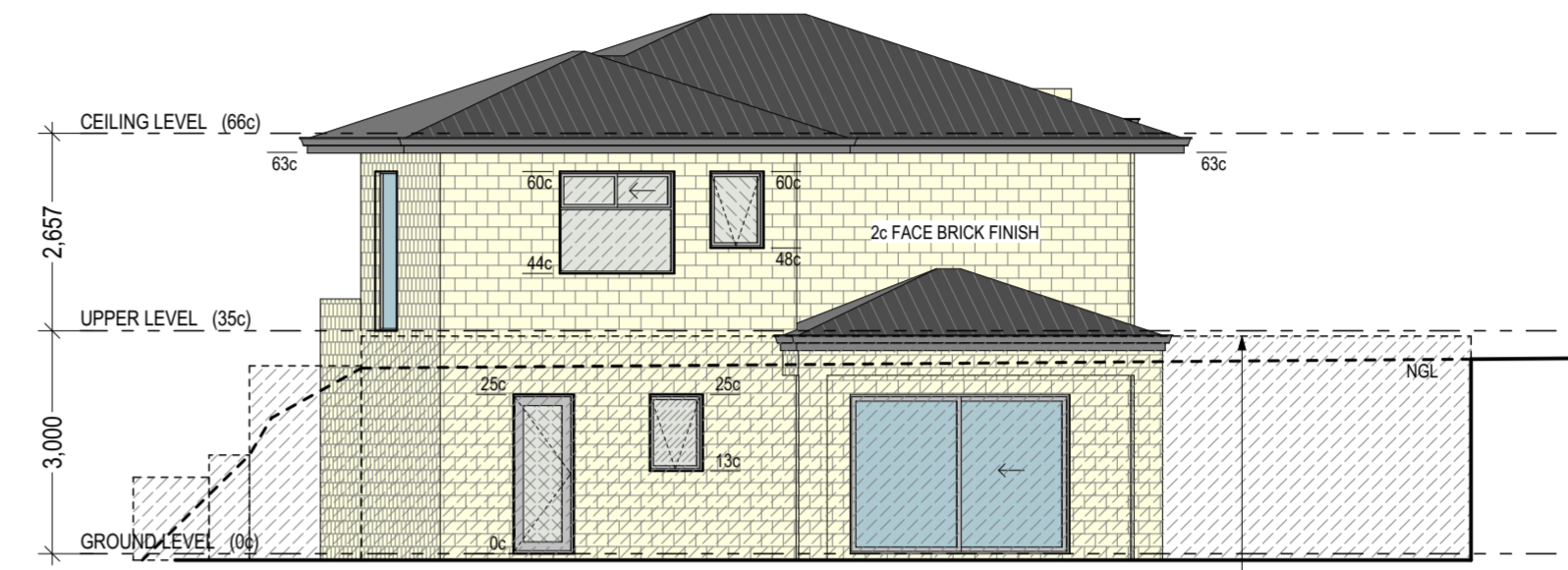
client name:
Serena
site address:
48 Charnwood Avenue | TWO ROCKS

REVISION DESCRIPTION	REV	REV. DATE	reference:	sheet no:	scale:
###	###	###	ELEVATIONS	A-03	1:100 @ A2
					job no: 22063

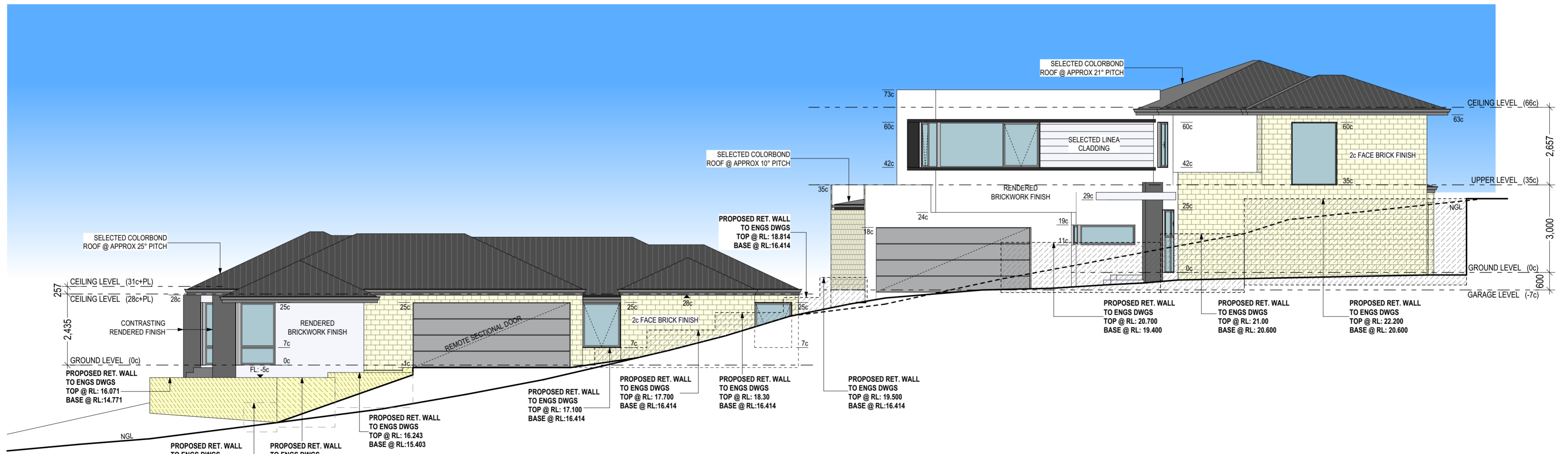




ELEVATION 5
1:100



ELEVATION 6
1:100



ELEVATION 4
1:100

REVISION DESCRIPTION	REV	REV. DATE	reference:	sheet no:	scale:
###	###	###	ELEVATIONS	A-04	1:100 @ A2
					job no: 22063

