

SITE CLASSIFICATION - CLASS 'A'
 (REFER TO SITE REPORT FOR
 DETAILS) WIND LOAD - N1
 CORROSION CLASSIFICATION - R3

BRICK NOTE
 2- FACE BRICK TO BE LAY IN THREE BOND UNTO
**STEEL ROOF IN ACCORDANCE TO
 NASH STANDARDS**

ROOF NOTE
 COLORBOND ROOF, PITCH AT 25° W/ 50W EAVES UNO
 STEEL ROOF IN ACCORDANCE TO NASH STANDARD
 CEILING AT 230 - PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
 - PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
 - FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
 - RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER
 SYSTEM AND KICK

ROOF INSULATION NOTE
 R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL
 PLASTERBOARD OR VERSILUX CEILING IF APPL.

ELECTRICAL NOTE
 - INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS
 INDICATED ON PLAN

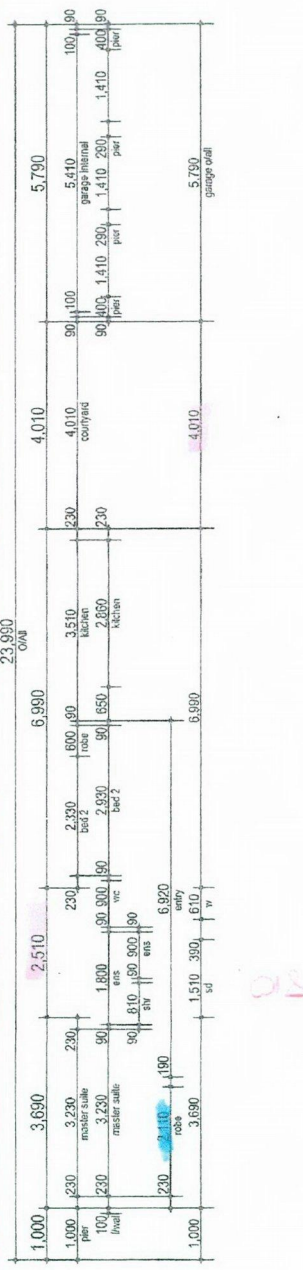
FIXING CARPENTER NOTE
 - 4 No. 4500 SHELVES TO PANTRY AND LINEN UNO
 - 450D SHELF & RAIL TO ALL WR, ROBE & ROBE REC. UNO
 - 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

ADDRESS
**LOT 360 LIMARI PLACE,
 SINAGRA**

VARIATIONS:
 SHEET 1 OF 7
MOSCOW 7.51

LAST OPENED:
 Thu 28 Nov 2017
 TIME:
 09:55:33

DATE: 27.11.17
 DRN: P.M.
 CHD: GER
 SCALE: 1:100
 © COPYRIGHT 2017
 JOB NO: 154002



R-CODES NOTE:

ZONING: R40

SITE COVERAGE

SITE: 225.8m²
 ALLOWED COVER: 55% (124.19m²)
 ACTUAL COVER: 53.1% (119.8m²)

PLANNING / R-CODES VARIATION REQUIRED: YES

- NORTHERN BOUNDARY WALL GREATER THAN 2/3
 - 2 BOUNDARY WALLS TO GARAGE
 - LOT LESS THAN 260m²

BAL ASSESSMENT REQUIRED: NO

AVERAGING

5.58m² BEHIND
 0.26m² IN FRONT

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY, FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
 - NO HOB'S TO SHOWERS UNLESS SHOWN OTHERWISE
 - PLUMBER TO INSTALL REFLUX VALVE.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX, DUAL CONDUITS & DRAW WIRES REQUIRED IF TWO COMMUNICATION PITS AVAILABLE

STORMWATER:

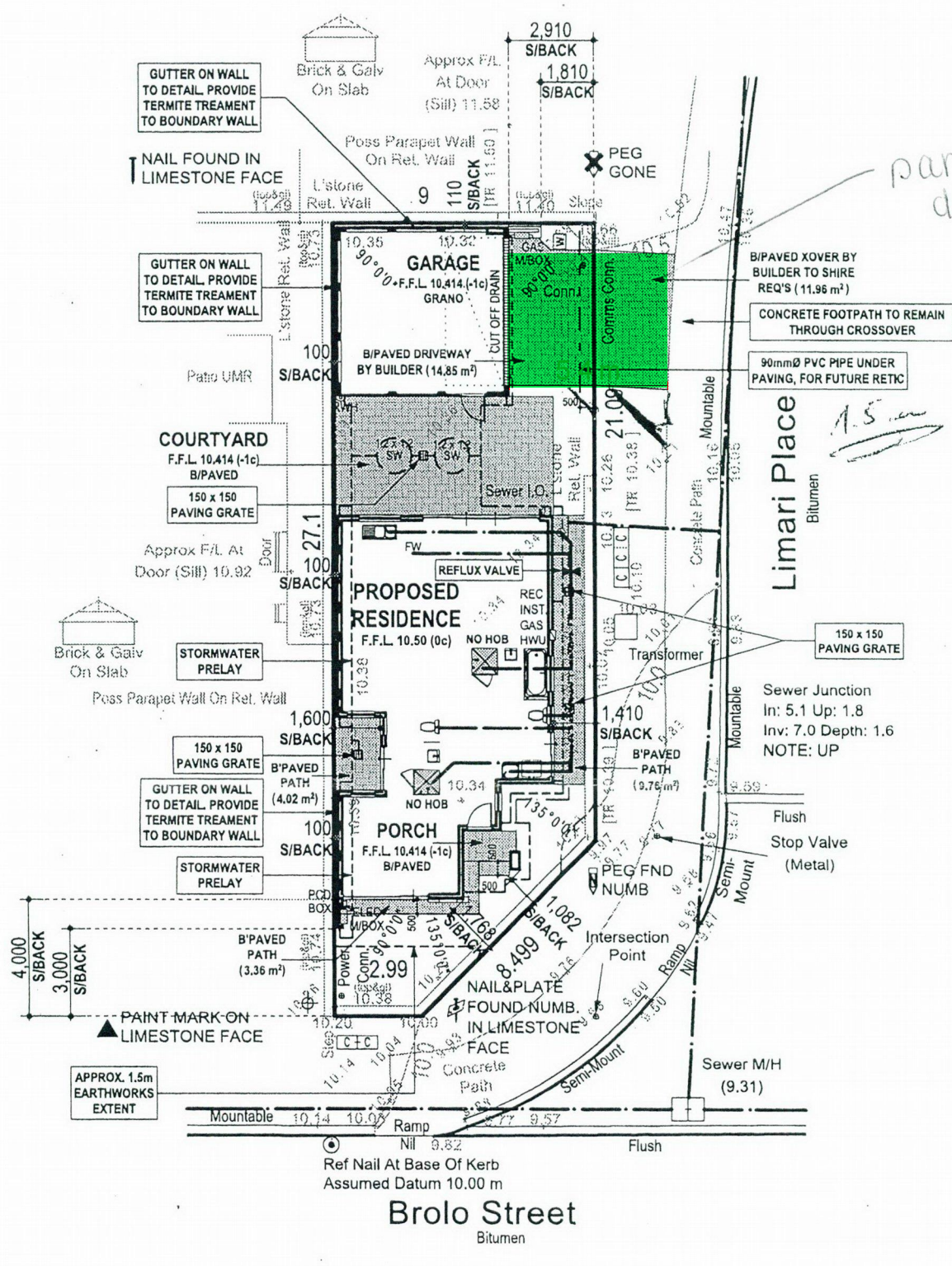
- INTERCONNECTED SOAKWELLS BY BUILDER, ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQ.

Soak Well Type	No.	Capacity
Sw 1200x1200	2	2.7 m ³
Total Capacity		2.7 m ³
Roof Area GF		128.7 m ²
Paved Area		55.8 m ²
Total Area		184.5 m ²
Capacity Required (Area x 0.0130)		2.4 m ³
Extra Capacity Provided		0.3 m ³

LEGEND

⊕	SEC Dome
⊖	Power Pole
⊗	Phone Pits
⊙	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DA 2018/1117



SOIL DESCRIPTION:
 Sand
 Refer to Survey

DUG TO LEVEL
 9.87 ON LOT
 (SAND ONLY)

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from Inform, supplied by Water Corp.

DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

Latitude: 31°44'12"1S Longitude 115°48'17"8E

Scale 1:200
 0 1 2 3 4 5 6 7 8 9 10

COTTAGE & ENGINEERING SURVEYS Licensed Surveyors 87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2988. Email: perth@cottage.com.au Website: www.cottage.com.au	AREA: 225.8m ² SHIRE: WANNEROO D.PLAN: 409344 C/T VOLUMN: 2915 FOLIO: 748 MSD REF: 221 19/16	ROAD DESCR: BITUMEN KERBING: RTS FOOTPATH: CONC. SOIL: RTS DRAINAGE: GOOD VEGETATION: RTS	GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES COASTAL: NO	SSA/OLD AREAS: SSA C/JOB#: 428125 DATE: 27.11.17 SCALE: 1:200 DRAWN: T. CURREY	UNLOGGED SURVEY STRATA PLAN: N/A ORIGINAL LOT: N/A LOT MISCLOSE: 0.000m SSL 1 MISCLOSE: N/A SSL 2 MISCLOSE: N/A	
	Tangent Nominees Pty Ltd (A.C.N. 008 865 585) Trustee For Summit Homes Group Trust	ADDRESS LOT 360 LIMARI PLACE, SINAGRA	VARIATIONS: V001 28.06.18 PMI V003 16.07.18 DCO	LAST OPENED: Mon 30 Oct 2017	DATE: 27.11.17 DRN: PMI CHD: GER SCALE: 1:200 © COPYRIGHT 2017	
SHEET 7 OF 7		MOSCOW 7.51		JOB NO: 154002		



83 McCoy Street Myaree, W.A. 6154
 Telephone (08) 9317 0100 Fax (08) 9330 4507

Home Business – Dog Sitting Management Plan

1 Limari Place, Sinagra

June 2023

Proposal

The business will be for the sitting and caring of dogs within 1 Limari Place, Sinagra. A maximum of two dogs will be looked after at any given time, with drop off and pick up between the hours of 8am and 6pm, Monday to Sunday.

Drop-off and pick-ups will be no more than 5 minutes in length, given that the customer will simply provide/take the dog, and will not be entering the premises. In addition, unless the two dogs are arriving together from one customer (i.e the dogs live in the same dwelling), then dog drop-off and pick-up will be staggered to ensure dogs are not meeting outside of the premises.

The home business will cater for small dogs only, with each dog a maximum of 14 kilos in weight.

Noise Management

Customers will be required to have an over the phone meeting with the staff prior to the dogs being taken as customers. At this stage, the customers will be required to indicate size of dog, whether the dog is good with other dogs and whether the dog is known for barking. Should the dog not meet the requirements of being below 14 kilos, social with other dogs and a non-baker then the customer will not be accepted as a client of the business.

In addition, the dogs will primarily be located inside the dwelling, will be provided with toys for stimulation and will not be left alone at any time. The dogs will also be walked around the surrounding area and to the park to provide them with exercise and limit the noise implications of them requiring exercise within the outdoor living area of the property. However, noting that the dogs will have access to the garden when required, under supervision.

The business contact details, including the owners mobile number, will be provided to neighbouring properties, who can contact immediately should they believe there is a noise concern so this can be addressed.

Waste Management

Waste management will be managed through dog faeces and urine being removed immediately. This will be disposed of with a dog disposal bag which will be put straight into the City provided bins. In addition, the area will be hosed down, with cleaning solutions used when required.

Noting that within the City of Wanneroo, households in residential areas are permitted to house two dogs. As such, it can be considered that the waste will be similar to that of a standard residential home and as such, the waste management will reflect this.