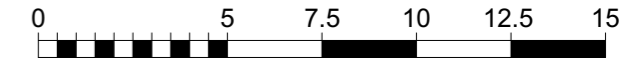
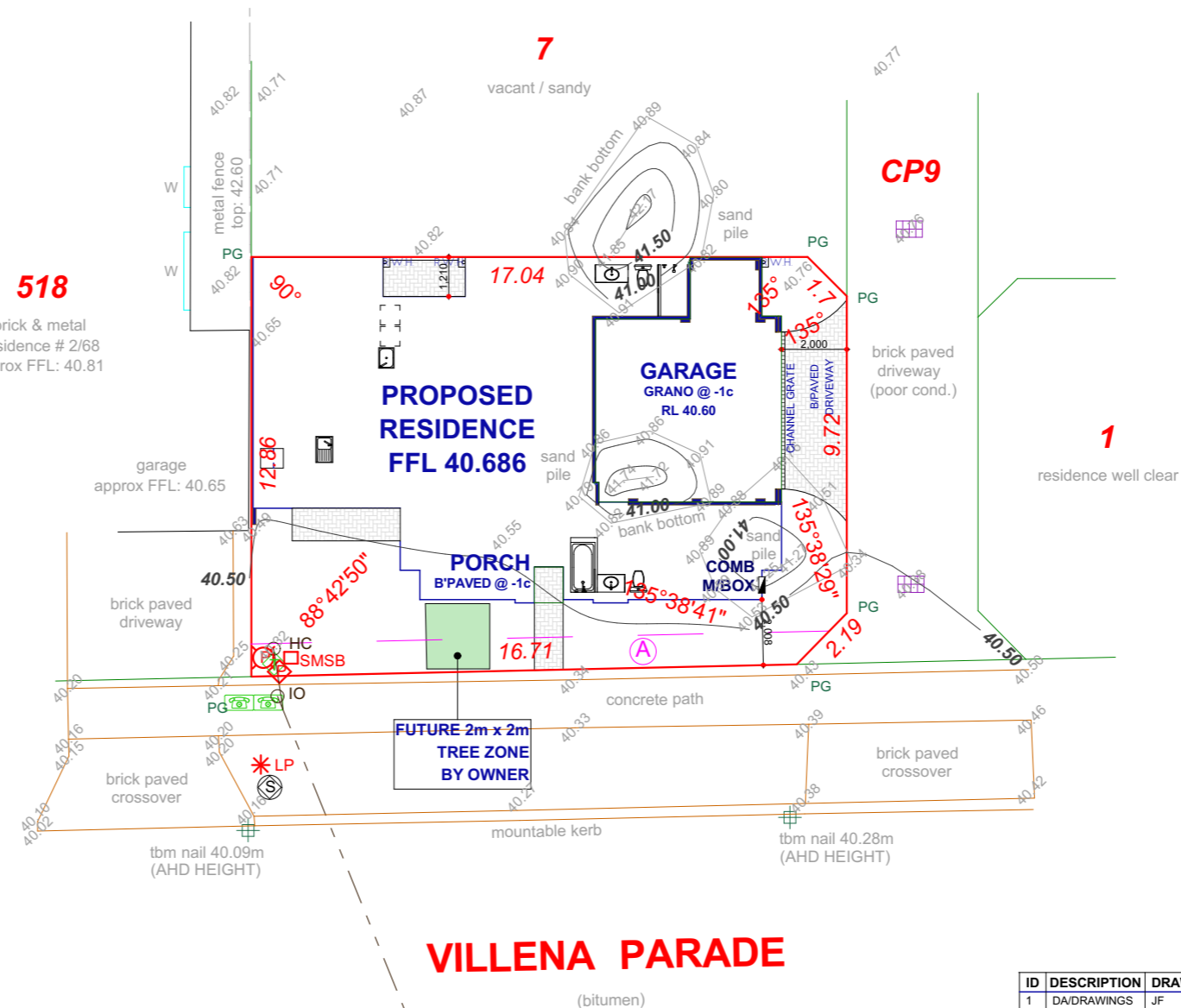
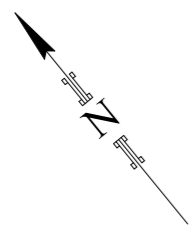


CLIENT:	PLAN: SP 67092	LOT AREA: 229m ²	SURVEY DATE: 15/03/23
BUILDER: STATUS RESIDENTIAL	C/T Vol: 2965 Fol: 509		MAP REFERENCE:
BUILDER JOB # SR22139	HEIGHT DATUM: AHD		COASTAL ZONE: >1KM
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO		SEWER INFORMATION: YES



FEATURE SYMBOL LEGEND	
POWER	
CABLE DOME	POWER POLE
SITE MAIN SWITCHBOARD	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	STAYWIRE ANCHOR
WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER
SEWERAGE	
INSPECTION SHAFT (SQUARE LID)	INSPECTION OPENING (ROUND LID)
HOUSE CONNECTION	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER	GAS VALVE
GAS MARKER	
SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT
UNKNOWN SERVICE MARKER	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

NOTES
 (1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED
 (2) DEVELOPMENT AREA: NEW
 (3) (A) EASEMENT - UNDERGROUND ELECTRICITY



SERVICE DETAILS

WATER: A, TBC
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: A, TBC
 SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 37.73
 UP DISTANCE: 1.7
 DEPTH TO CONNECTION: 0.89

IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

STATUS. RESIDENTIAL

ADDRESS | UNIT 2/7 LEEWAY COURT, OSBORNE PARK WA 6017
 PHONE | 08 6555 7772

PROJECT NO: SR22139	NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN
DESIGN BY: KD	DATE: 10/07/2023
	SHEET NO: 3 of 3
NO STRUCTURAL CHANGES (PRINTED DATE:10/07/2023)	
FLL TOLERANCE +/- 40MM	

ID	DESCRIPTION	DRAWN	DATE	CHK'D	SIGNATURES
1	DA/DRAWINGS	JF	20.03.23	JF	
2	AMENDMENT	JF	09.06.23	JF	
3	AMENDMENT	KD	23.06.23	KD	
4	AMENDMENT	KD	10.07.23	KD	

CLIENT 1:
 CLIENT 2:
 BUILDERS: DATE:

NO STRUCTURAL CHANGES (PRINTED DATE:10/07/2023)

SITE AREA = 229 m
 SHARE OF COMMON = 4187 m
 TOTAL SITE AREA = 270.875 m
 BUILDING AREA = 152.3 m
 SITE COVERAGE = 56.22 %
 ZONING = R40
 CITY OF WANNEROO

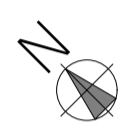
NOTE
 PLAN IS SUBJECT TO FURTHER
 ADJUSTMENT UPON RECEIPT OF
 SURVEY

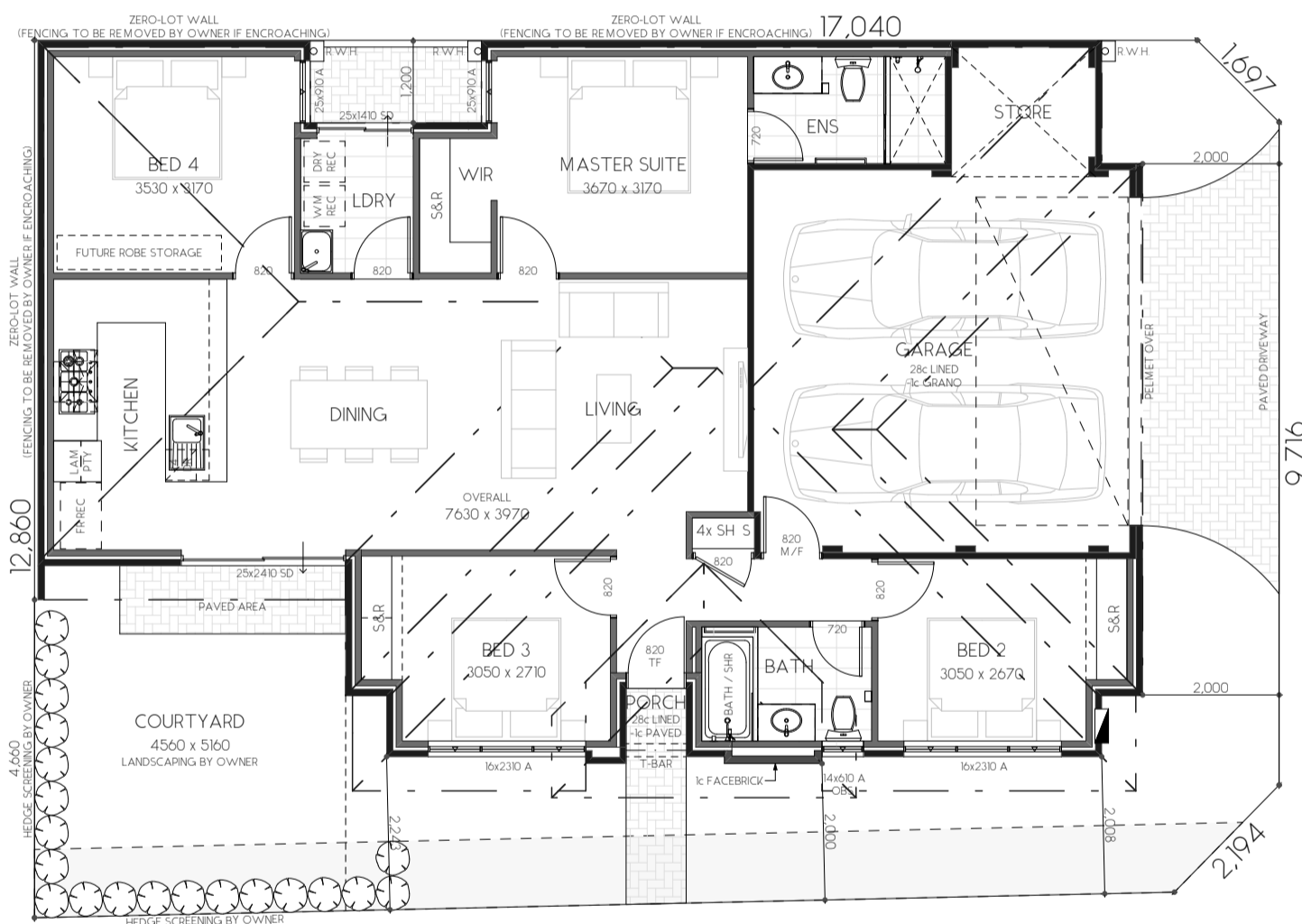
NOTE BCA REGULATION IN REGARDS
 TO ENERGY EFFICIENCY REQUIREMENTS
 TO NEW DWELLINGS MAY ALTER THIS
 DESIGN

BUILDING AREA	
HOUSE	115.190
GARAGE	36.129
PORCH	0.968
TOTAL	152.287 m
ROOF AREA	161.374

PERIMETER	
HOUSE	63.960

NOTES	
CORE SPEC	
CONCEPT SKETCH ONLY DESIGN SUBJECT TO LOCAL COUNCIL & DEVELOPER APPROVAL	
CORE SPEC PROMO 1	
NOISE NOT REQUIRED	
COASTAL REQUIRED	
BAL REPORT REQUIRED	

	
PLANNING REQUIRED	
SITE COVER JUSTIFICATION	
STORM WATER REQUIREMENTS	
SOAKWELLS	APPLICABLE



FLOOR PLAN
 1:100

HOUSE TYPE:
INDIVIDUAL DESIGN

CLIENTS NAME:
COOK
 SITE ADDRESS:
**STRATA LOT 8
 VILLENA PARADE, ALKIMOS**

ID	DESCRIPTION	DRAWN	DATE	CHK'D	SIGNATURES
1	DA/DRAWINGS	JF	20.03.23	JF	
2	AMENDMENT	JF	09.06.23	JF	
3	AMENDMENT	KD	23.06.23	KD	
4	AMENDMENT	KD	10.07.23	KD	

CLIENT 1:

CLIENT 2:

BUILDERS: DATE:

NO STRUCTURAL CHANGES (PRINTED DATE: 10/07/2023)

NOTE: BCA REGULATION IN
 REGARDS TO ENERGY EFFICIENCY
 REQUIREMENTS TO NEW
 DWELLINGS MAY ALTER THIS
 DESIGN

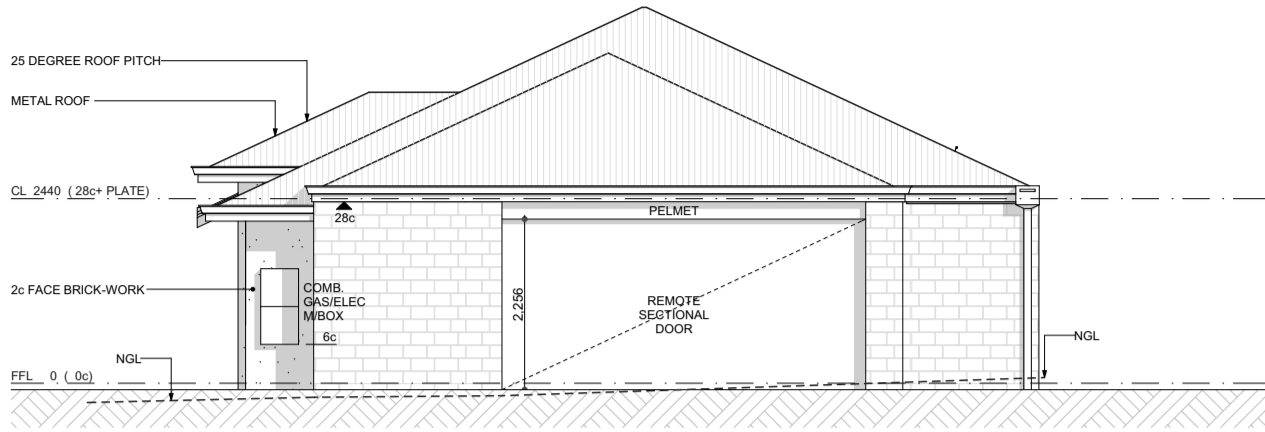
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PROJECT NO: SR22139
DESIGN BY: KD
SHEET NO: 1 of 3

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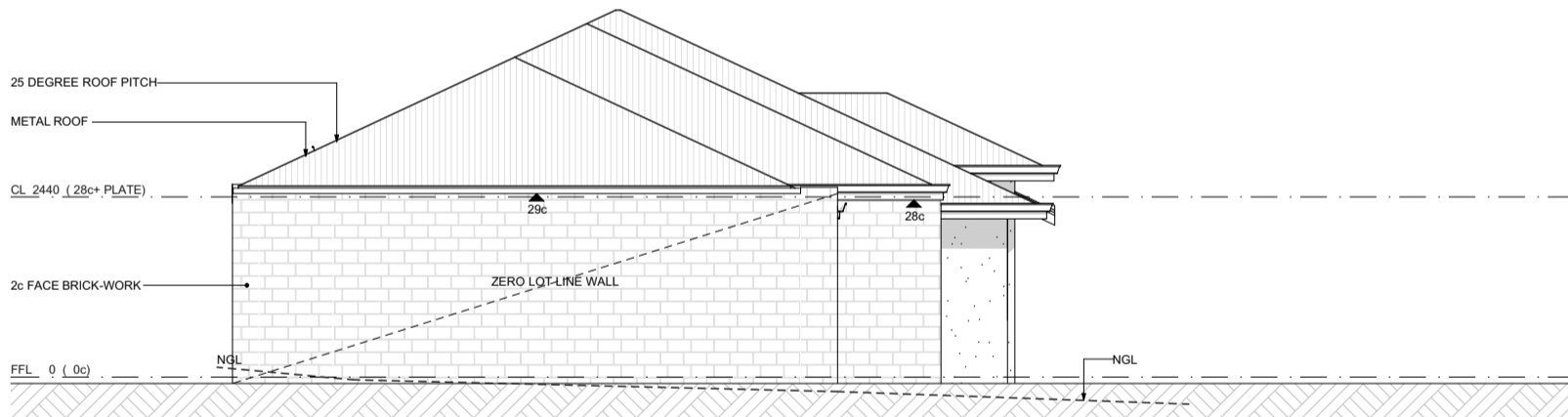
SILL DETAIL: TYPICAL 1c RECESSED SOLID SILL BRICK



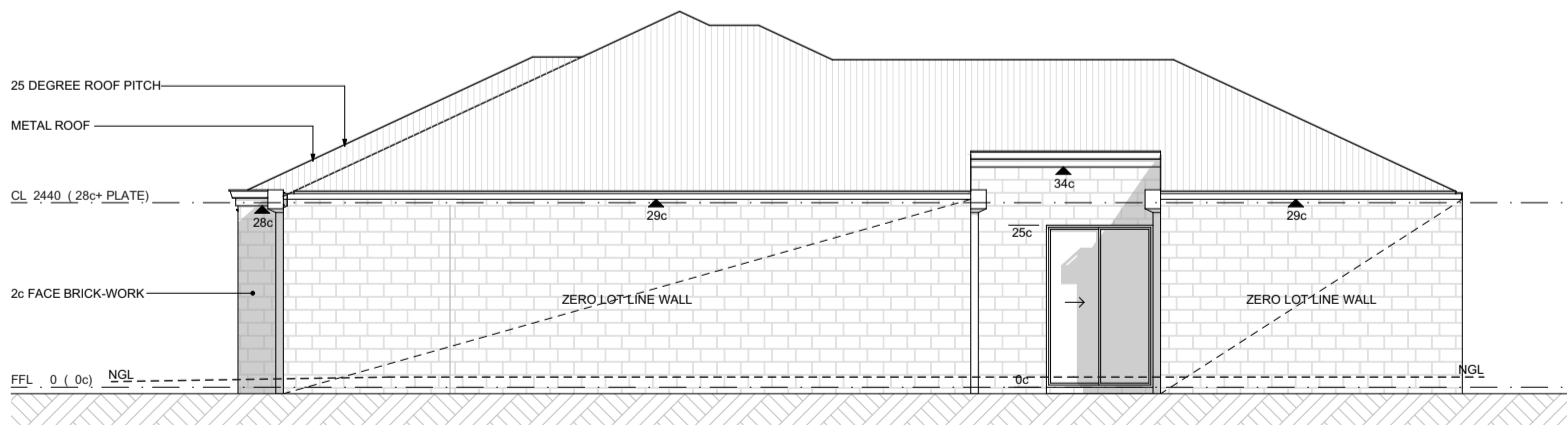
ELEVATION 1
1:100



ELEVATION 2
1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

HOUSE TYPE:
INDIVIDUAL DESIGN

CLIENTS NAME:
COOK
SITE ADDRESS:
**STRATA LOT 8
VILLENA PARADE, ALKIMOS**

ID	DESCRIPTION	DRAWN	DATE	CHK'D
1	DA/DRAWINGS	JF	20.03.23	JF
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3	AMENDMENT	KD	23.06.23	KD
4	AMENDMENT	KD	10.07.23	KD

SIGNATURES

CLIENT 1:

CLIENT 2:

BUILDERS: DATE:

NO STRUCTURAL CHANGES (PRINTED DATE:10/07/2023)

NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN

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PROJECT NO:
SR22139
DESIGN BY:
KD
SHEET NO:
2 of 3

STATUS.
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