

SITE ZONING	R20
TOTAL AREA OF SITE	636.00m²
AREA OF BUILDING	338.42m²
SITE COVERAGE	53.21%
ALLOWABLE COVERAGE	50.00%

Prelay

All plumbing, electrical, stormwater and irrigation conduits to be installed prior to pouring concrete or laying paving

Paving

Extent of paving shown indicative only; Paving to be confirmed prior to commencement of works

Termite treatment

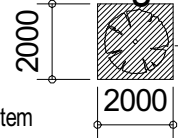
Supply and install Termite management system as per BCA clause 3.14 and to comply with AS 3660.1-2014 & manufacturers specification

Letterbox

☒ - denotes letterbox position
maximum height of letterbox 750mm
rendered brick finish to match house elevation

Significant Tree

indicates proposed position of new advanced tree (Citrus)



Stormwater

Soakwell location shown as a guide only & to be confirmed by contractor prior to commencement. Refer to floor plans for downpipe locations and ensure all downpipes are connected to soakwells

- 1500Ø x 1200 deep conc. soakwell with trafficable lid grate to be exposed
- 1500Ø x 1200 deep conc. soakwell

Stormwater Calculation

Impervious area 485.31m²
Rate 0.0125
Volume 485.31m² x 0.0125 = 6.066m³
1500Ø x 1200 deep conc. soakwell = 2.10m³
Total soakwell capacity 3 x 2.10m³ = 6.30m³

SMOKE ALARM

SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONISATION TO BE HARDWIRED & INTERCONNECTED AS PER AS 3786:2014

BOUNDARY WALL

PHYSICAL TERMITE BARRIER TO BE PROVIDED TO GARAGE WALL

WC DOORS

WC & P'DER DOORS TO HAVE LIFT OF HINGES AND TO COMPLY WITH BCA PART 3.8.3.3

GLAZING

GLAZING TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS2047

GENERAL NOTES:

- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS
- NOTIFY DESIGNER IF ANY DISCREPANCIES OCCUR
- HEAD CONTRACTOR TO ENSURE THAT ALL WORK COMPLIES WITH CURRENT AUSTRALIAN BUILDING CODES AND RELEVANT AUSTRALIAN STANDARDS
- NUMBER AND POSITION OF DOWNPIPES APPROX ONLY AND TO BUILDERS DISCRETION

CONSTRUCTION NOTES:

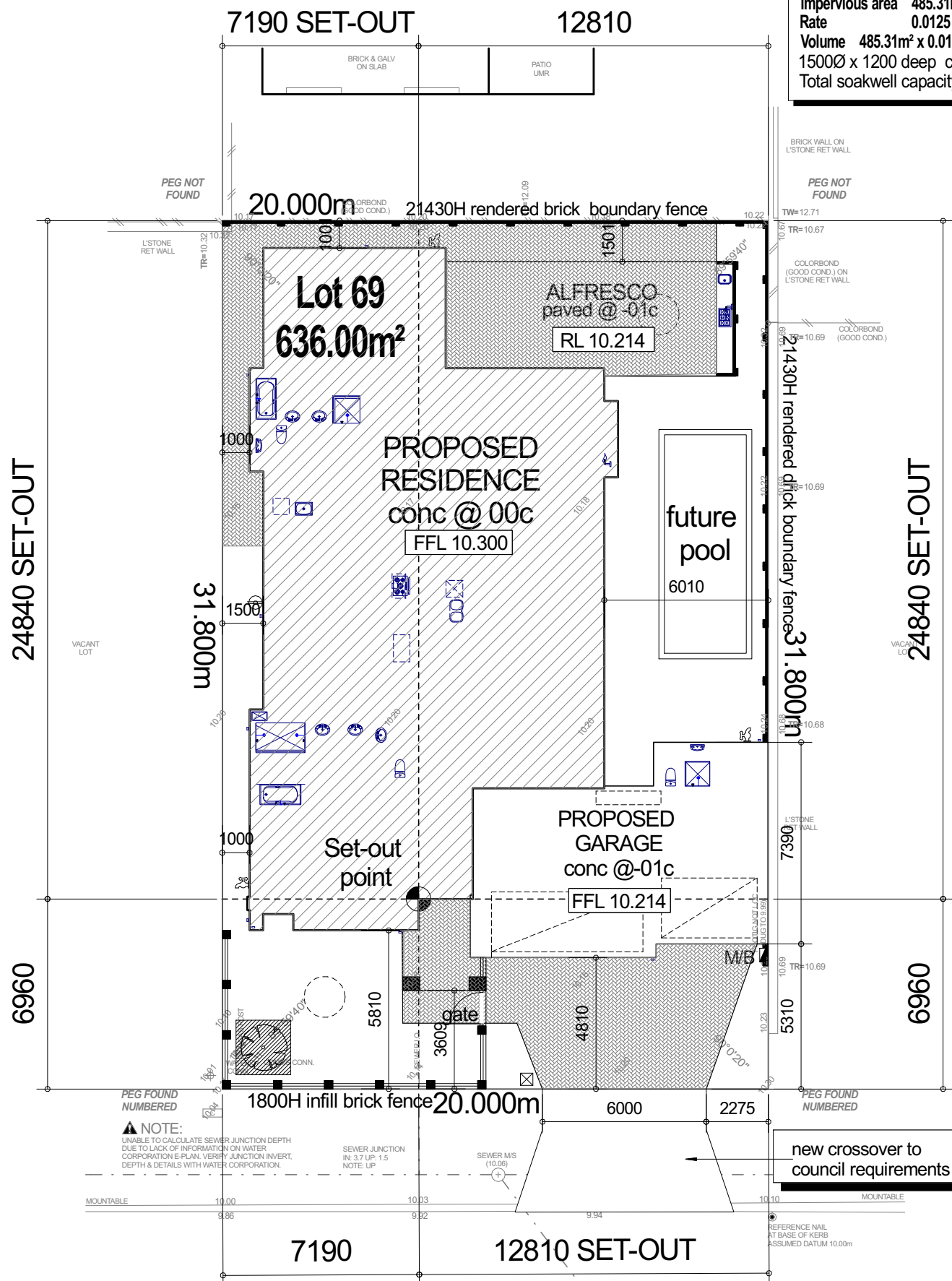
- SUPPLY AND INSTALL TERMITE MANAGEMENT SYSTEM TO COMPLY BCA CLAUSE 3.1.4 AND WITH AS 3660.1-2014 AND MANUFACTURER'S SPECIFICATIONS
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684.
- UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
- ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
- ELECTRICIAN TO SUPPLY AND INSTALL MECHANICAL VENTILATION TO REQUIRED WET AREAS IN ACCORDANCE WITH AS1668.2.
- ALL VENTS TO BE DUCTED TO OUTSIDE.
- ALL GAS FITTINGS AND OUTLETS TO BE IN ACCORDANCE WITH GAS STANDARD (GAS FITTINGS & CONSUMER GAS INSTALLATIONS) REGULATIONS 1999.

NOTES:

- MDF NOSING DENOTED ON WINDOWS 'N' ADJACENT.
- LONGREACH BRICKS OVER INTERNAL DOUBLE DOOR AND WINDOWS LONGER THAN 1.6M AND/OR LESS THAN 3c BRICKWORK.
- HARDWALL PLASTER INTERNALLY.
- PLASTERBEADS TO ALL EXTERNAL CORNERS.
- SHELF & RAIL TO ROBES @1800 AFL
- FINAL POSITION OF CEILING EXHAUST FANS AND RAINWATER PIPES (rwp) TO BE DETERMINED ON SITE TO SUIT ROOF FRAME MEMBERS.
- FLOOR WASTES AND PLUMBING OUTLETS ARE SHOWN DIAGRAMMATICALLY AND MAY BE POSITIONED AT THE PLUMBERS AND/OR CONCRETORS DISCRETION.

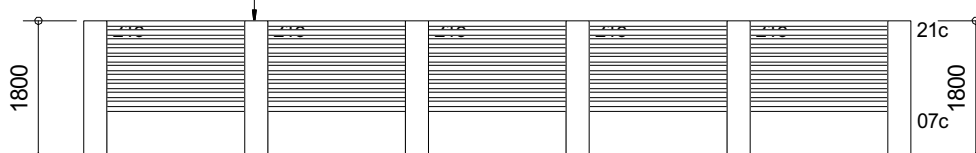
NOTE:

- wet areas and appliance details provided by owner (confirm fixtures with owner prior to pouring concrete slab).
- brick build up around building. refer to engineers drawings for details.
- verify all plumbing duct and a/c penetrations before pouring concrete suspended slab
- provide minimum of R3.5 ceiling insulation to all ceilings including garage & store
- provide 2 whirly bird roof ventilators in matching colour to roof material
- mitre and weld t-bars at corner.
- Tap wear, shower heads & cisterns to comply with NCC Appendix A WA Additions WA2.3 Acceptable Construction Practice.
- Gas HWS to comply with NCC Part 3.12.5.6 Water Heater in a hot water supply system.
- Kitchen rangehood to flumed to external air.
- Exhaust fans to be flumed to external air.



BELLFLOWER GROVE

new 305 x 305 x 1800H rendered brick piers & 600H dado walls between w/- 50% permeable screening above



Typical Front Fence Elevation

scale 1:100 @ A3

BAL RATING 12.5

CONSTRUCTION TO COMPLY WITH AS 3959-2018

Site Plan

Scale 1:200 @ A3

client
NEWLUX HOMES & CONSTRUCTIONS
site
Proposed Double Storey Residence
Lot 69, Hn 32, Bellflower Grove,
LANDSDALE

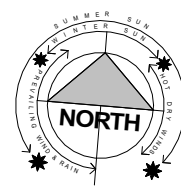
DATE: 18/05/2023
BUILDING PERMIT
CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALING. NOTIFY THE DESIGNER IF ANY DISCREPANCIES OCCUR TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DWGS
tizianoarmenti@bigpond.com

REV. DATE:	DESCRIPTION:

JOB No.
22-1182
SHEET No.
A01 of 09

armenti
FORM & SPACE
Mob: 04333 9 7373

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





BAL RATING 12.5

18990 O/ALL

SYMBOL LEGEND

CONSTRUCTION TO COMPLY WITH AS 3959-2009

-  SMOKE DETECTOR
-  EXHAUST FAN
-  MAN HOLE
-  HOT WATER UNIT
-  TAP
-  COMB M/BOX
-  GAS POINT



Floor Plan
Scale 1:100 @ A3

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Proposed Double Storey Residence
Lot 69, Hn 32, Bellflower Grove,
LANDSDALE








BUILDING AREA

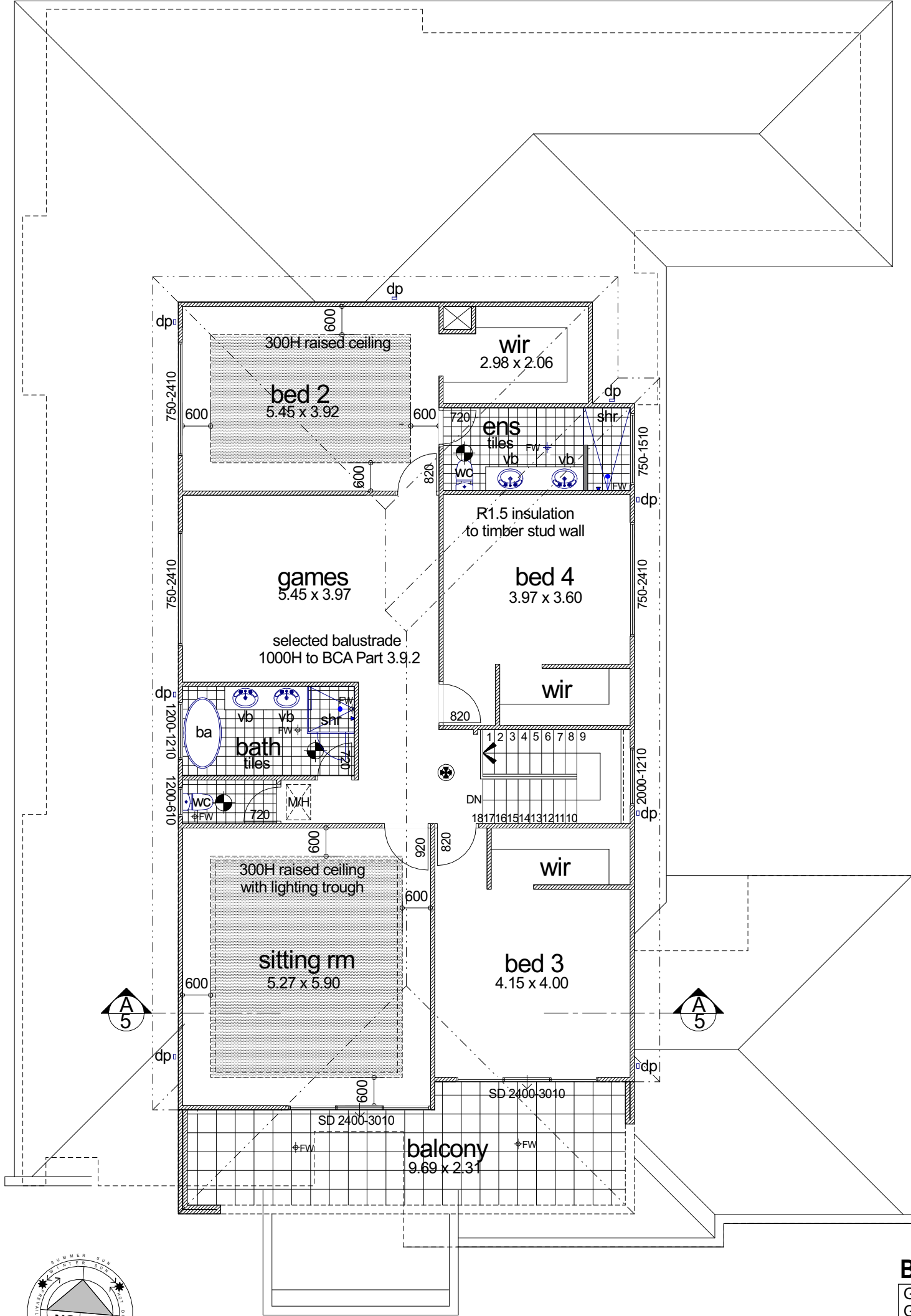
Ground Floor:	265.94m ²
Garage/Store:	72.48m ²
Alfresco:	42.73m ²
Portico:	8.30m ²
Upper Floor:	161.82m ²
Balcony:	23.96m ²
Total Floor Area:	575.23m²
Perimeter (GF):	97.46 Im
Roof Area:	433.56m²

WET AREAS

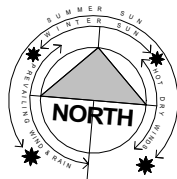
WET AREAS WATERPROOFING AND WATER RESISTANCE REQUIREMENTS TO COMPLY WITH BCA 2016 PART 3.8.1 BUILDING ELEMENTS IN WET AREAS WILL COMPLY WITH WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE 3.8.1.1 AND AS 3740

SYMBOL LEGEND

-  SMOKE DETECTOR
-  EXHAUST FAN
-  MAN HOLE
-  HOT WATER UNIT
-  TAP
-  COMB M/BOX
-  GAS POINT



Stairs
Finish timber
Risers 177.88mm
Going 250mm



Upper Floor Plan

Scale 1:100 @ A3

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BUILDING AREA

Ground Floor:	265.94m ²
Garage/Store:	72.48m ²
Alfresco:	42.73m ²
Portico:	8.30m ²
Upper Floor:	161.82m ²
Balcony:	23.96m ²

Total Floor Area:	575.23m ²
Perimeter (UF):	53.70 lm
Roof Area:	433.56m ²

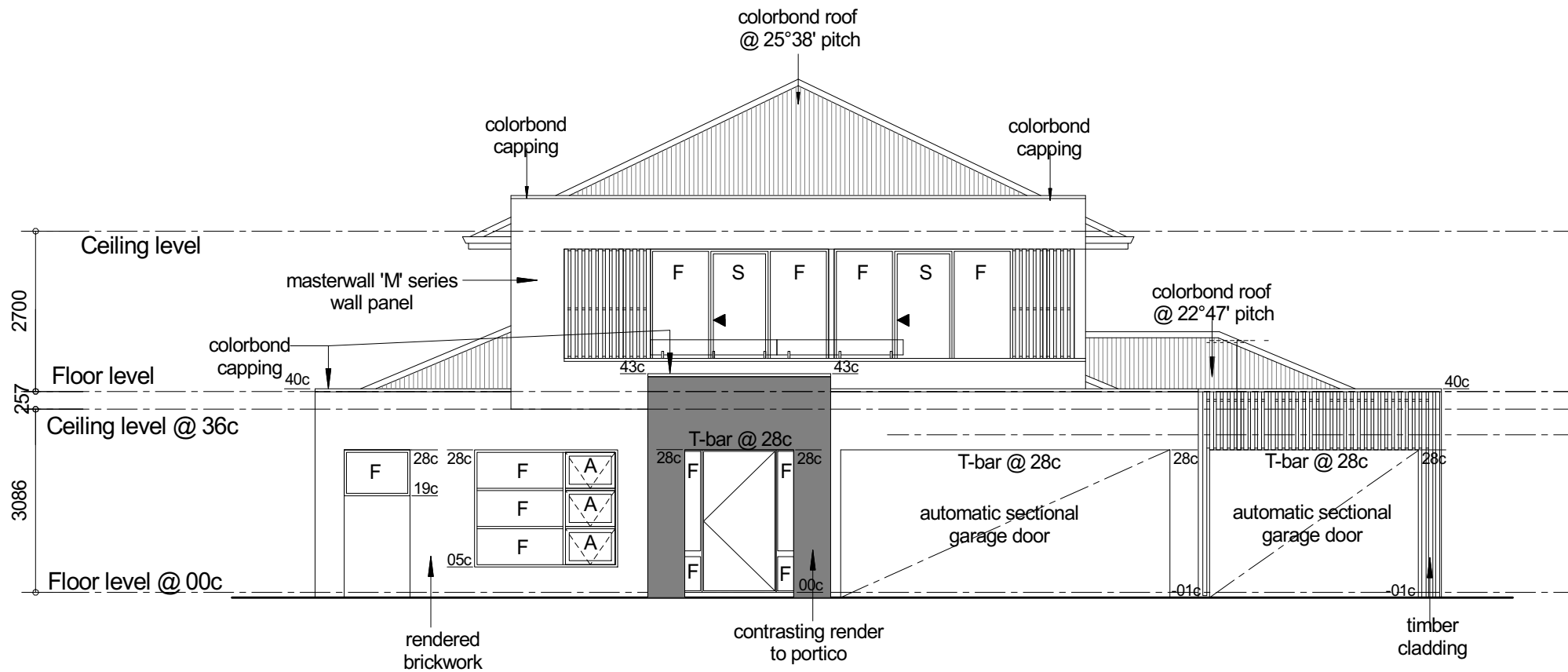
client
NEWLUX HOMES & CONSTRUCTIONS
site
Proposed Double Storey Residence
Lot 69, Hn 32, Bellflower Grove,
LANDSDALE

DATE:	18/05/2023
BUILDING PERMIT	
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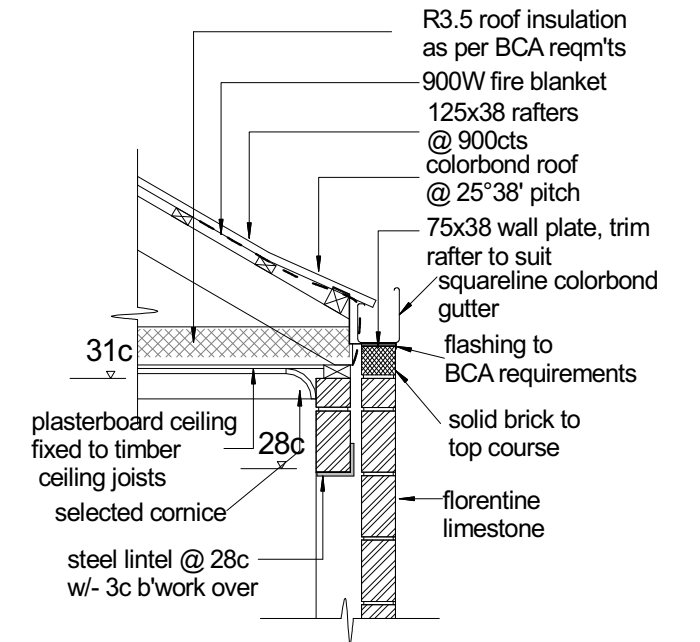
REV. DATE:	DESCRIPTION:

JOB No.	22-1182
SHEET No.	A03 of 09

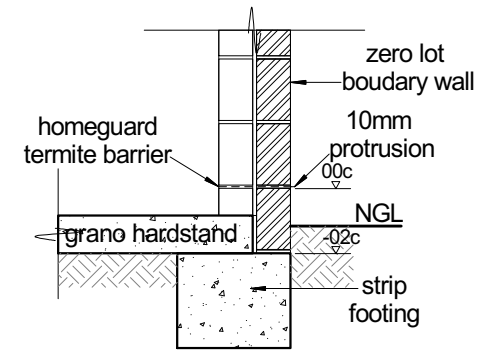
armenti
FORM & SPACE
Mob: 04333 9 7373



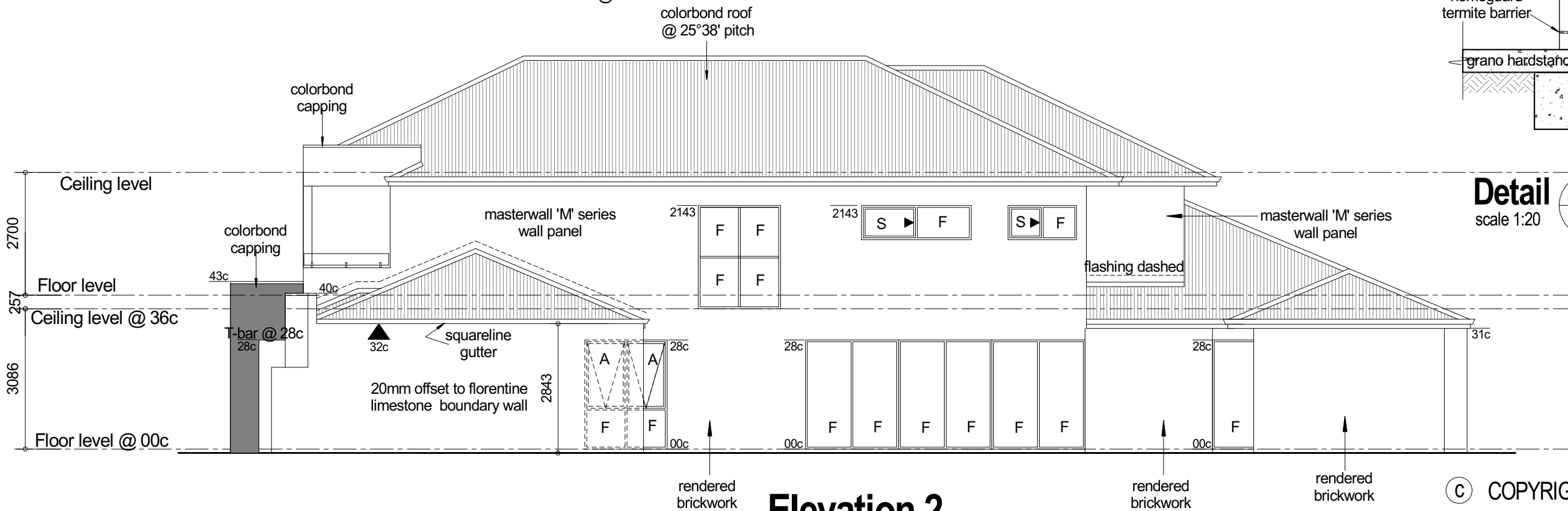
Elevation 1 (Bellflower Grove)
scale 1:100 @ A3



Detail X 2
scale 1:20



Detail Y 2
scale 1:20



Elevation 2
scale 1:100 @ A3

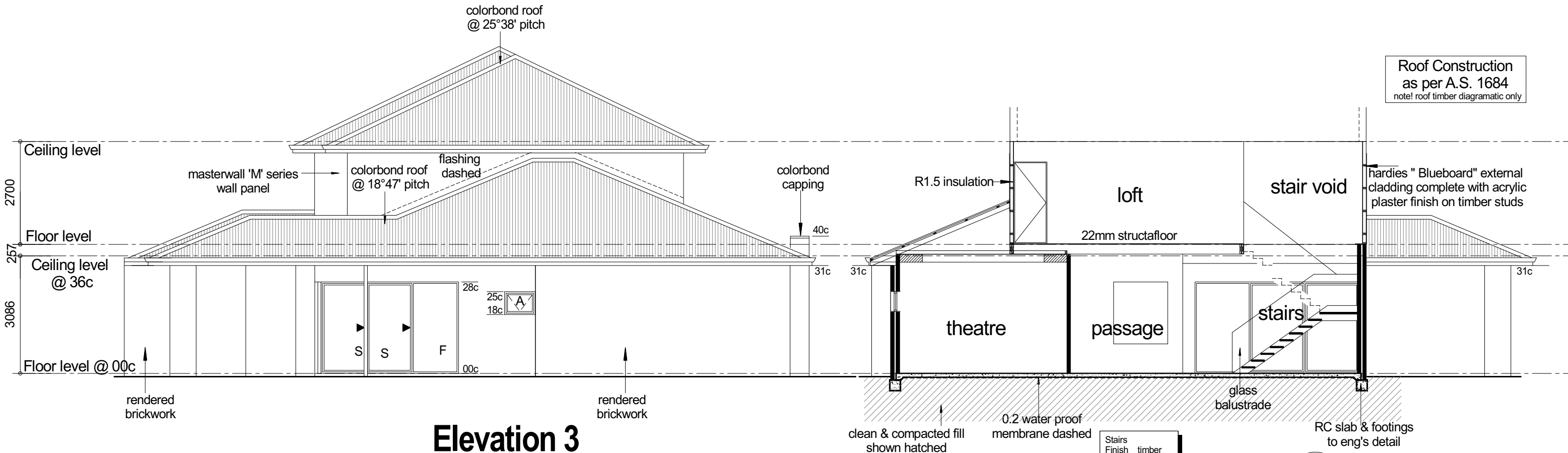
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BAL RATING 12.5

CONSTRUCTION TO COMPLY WITH AS 3959-2009

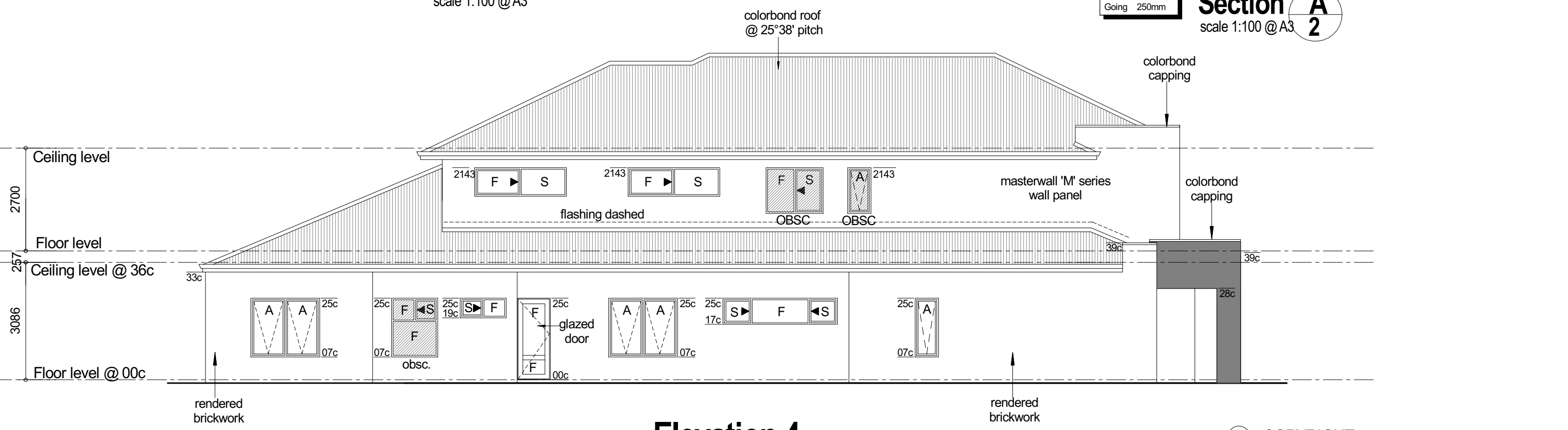
client NEWLUX HOMES & CONSTRUCTIONS site Proposed Double Storey Residence Lot 69, Hn 32, Bellflower Grove, LANDSDALE	DATE: 18/05/2023	REV. DATE:	DESCRIPTION:	JOB No. 21-1153	armenti
	BUILDING PERMIT			SHEET No. A04 of 09	
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Elevation 3
scale 1:100 @ A3

Section A
2
scale 1:100 @ A3

Stairs
Finish timber
Risers 177.88mm
Going 250mm



Elevation 4
scale 1:100 @ A3

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BAL RATING 12.5
CONSTRUCTION TO COMPLY WITH AS 3959-2009

client NEWLUX HOMES & CONSTRUCTIONS site Proposed Double Storey Residence Lot 69, Hn 322, Bellflower Grove, LANDSDALE	DATE: 18/05/2023	REV. DATE:	DESCRIPTION:	JOB No. 21-1153
	BUILDING PERMIT			SHEET No. A05 of 09
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