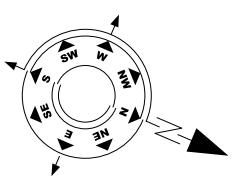
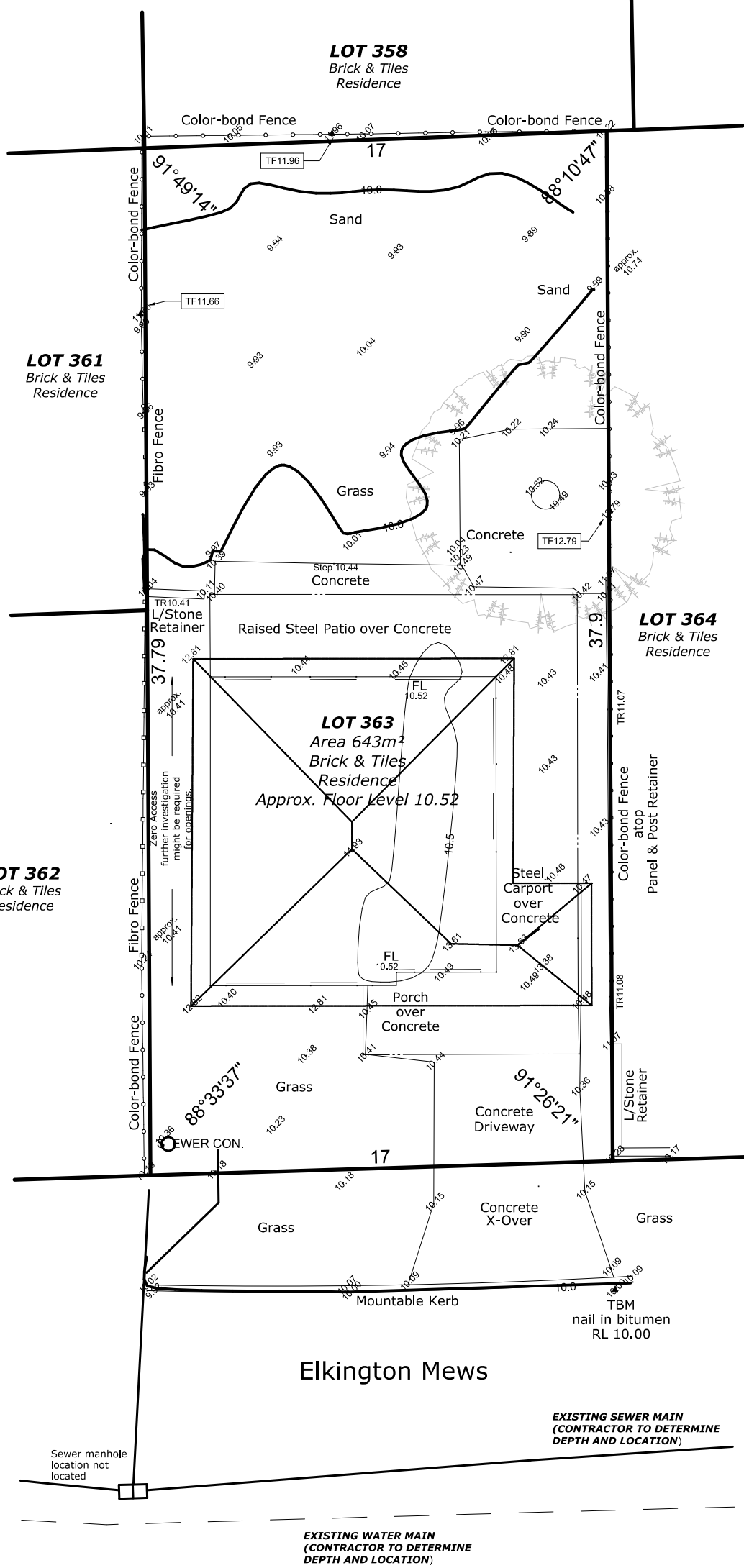


ZENITH LAND SURVEYING  
 LICENSED LAND & ENGINEERING SURVEYORS  
 8 CLIVE STREET  
 WEST PERTH  
 PHONE: 08 6166 6174

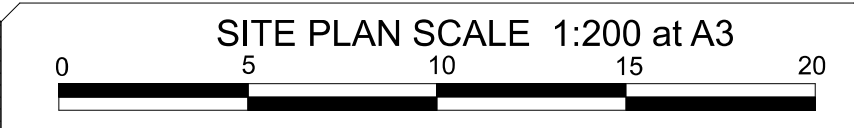
**IMPORTANT NOTICE**  
 Features are related to fence lines only. No connection made to boundaries.  
**REPEG RECOMMENDED**

**IMPORTANT NOTICE**  
 Final lot angles are subject to boundary re-establishment survey and lot closure calculations.  
 Boundary Survey should be conducted by licensed surveyor prior to any construction.



LEGEND	
T.B.M. ▲	SEWER MANHOLE □
POWER DOME ●	SEWER INSPECT □
TELSTRA [Symbol]	FLOOR LEVEL FL
WATER METER [Symbol]	DRAIN [Symbol]
POWER POLE [Symbol]	SOAKWELL [Symbol]
STREET LAMP [Symbol]	HYDRANT [Symbol]
BOUNDARY [Symbol]	BUILDING [Symbol]
TW / TR / TF [Symbol]	TOP OF WALL / RETAINER / FENCE
POINT OF INTEREST [Symbol]	0.00 [Symbol]

SURVEYOR SITE REPORT	
ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: No	
VEGETATION: -	
SOIL: GRASS/SAND	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA	OLD SURVEY AREA



SURVEY ADDRESS :  
 LOT 363 (#21) Elkington Mews, Clarkson

▲ NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

AUSTRALIAN HEIGHT DATUM (AHD) - NONE

IMPORTANT NOTES:  
 CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS  
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS  
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED  
 UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

IMPORTANT NOTES:  
 All SEWER and WATER details plotted from information supplied by Water Corporation. This information is approximate only and a Cadastral Connection will be required if true sewer location points are required for service works.

CLIENT / S:	Colman	TBM HEIGHT	10.00 Assumed
PLAN / DIAGRAM No	P 19461	Job No:	ZS 2693



CITY OF  
 WANNEROO



INDEMNITY NOTE -The Client as invoiced indemnifies The Henderson Family Trust T/A GRH Designs Pty Ltd against any legal action, associated costs, Financial Loss or Damages  
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 (4) All setbacks/levels subject to survey.

PROPOSED RESIDENCE FOR:  
**Oliver Goodliffe**  
 ADDRESS:  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

BUILDER: .....  
 CLIENT(S): .....  
 DATE: ...../...../.....

VARIATIONS:  
 0 DESIGN CONCEPT  
 1 ENSUITE CHANGES

07-10-2022  
 17-07-2023  
 DATE: 04-11-21 DESIGN: GRH DESIGNS  
 ISSUE DATE: 17/07/2023 10:19 AM  
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 JOB NO: 6269  
 SCALE: 1:200  
 ONE OFF  
 SHEET NUMBER : 1 of 7

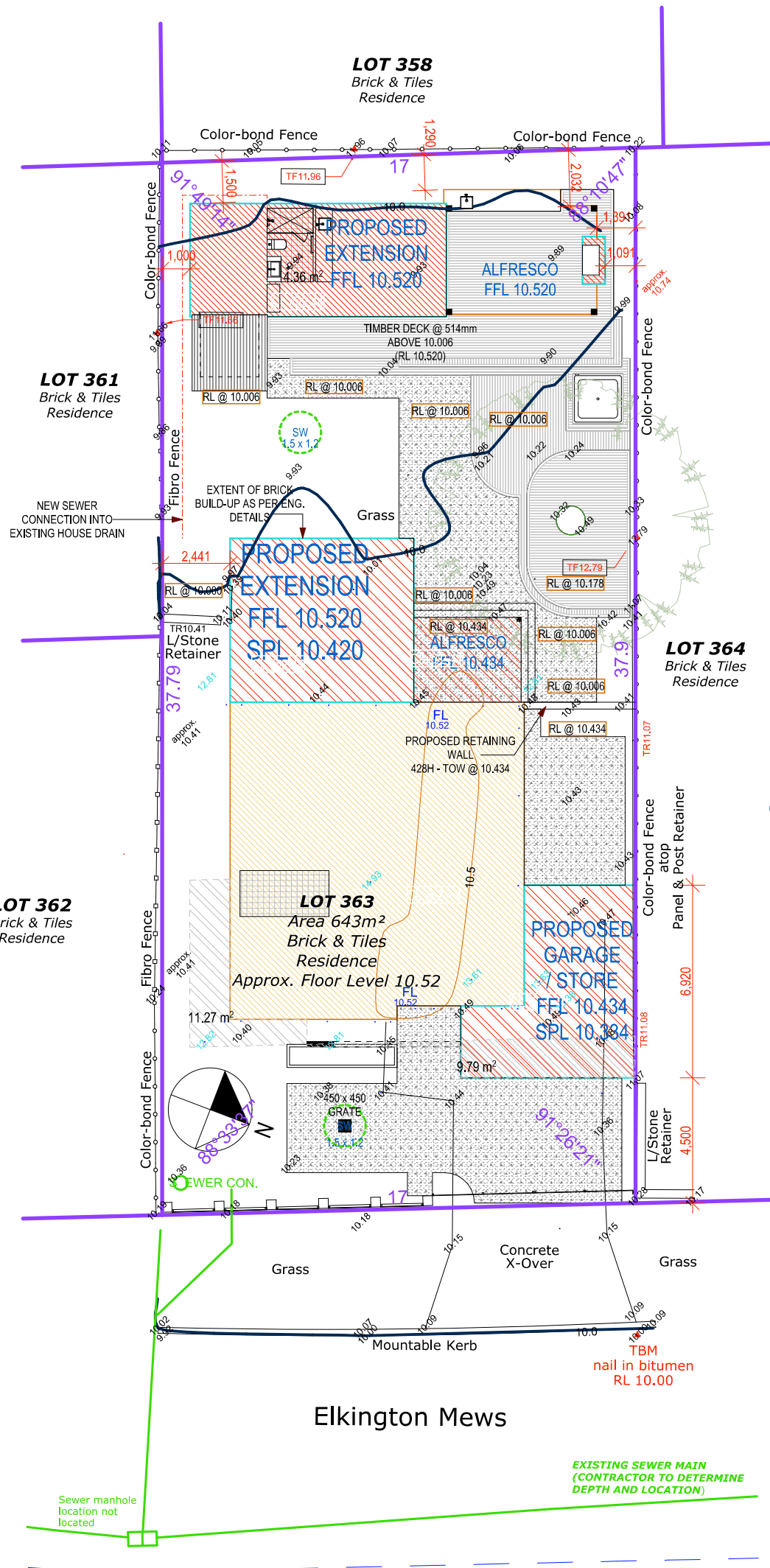
ZENITH LAND SURVEYING  
 LICENSED LAND & ENGINEERING SURVEYORS  
 8 CLIVE STREET  
 WEST PERTH  
 PHONE: 08 6166 6174

**IMPORTANT NOTICE**

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**REPEG RECOMMENDED**

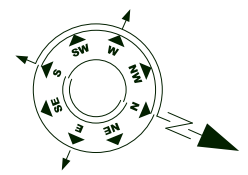
**IMPORTANT NOTICE**

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Soak Well Type	No.	Capacity
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		313.0 m2
Total Area		313.0 m2
Capacity Required (Area x 0.0125)		3.9 m3
Extra Capacity Provided		0.3 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE



**LEGEND**

T.B.M. ▲	SEWER MANHOLE □	SEWER CON. ○
POWER DOME ●	SEWER INSPECT □	COLUMN / PILLAR □
TELSTRA □	FLOOR LEVEL FL	LARGE TREE ○
WATER METER ⊗	DRAIN □	SMALL TREE ○
POWER POLE ○	SOAKWELL ○	TREE STUMP ○
STREET LAMP ★	HYDRANT FH	WATER LINE —
BOUNDARY —	BUILDING —	SEWER LINE —
TW / TR / TF	TOP OF WALL / RETAINER / FENCE	
POINT OF INTEREST ▲	0.00	

**SURVEYOR SITE REPORT**

ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: No	
VEGETATION: -	
SOIL: GRASS/SAND	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA: OLD SURVEY AREA	



**SURVEY ADDRESS :**  
 LOT 363 (#21) Elkington Mews, Clarkson  
 AUSTRALIAN HEIGHT DATUM (AHD) - NONE

**NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.**

**IMPORTANT NOTES:**  
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CLIENT / S:	Colman	TBM HEIGHT	10.00 Assumed
PLAN / DIAGRAM No	Job No:		
P 19461	ZS 2693		



**CITY OF WANNEROO**

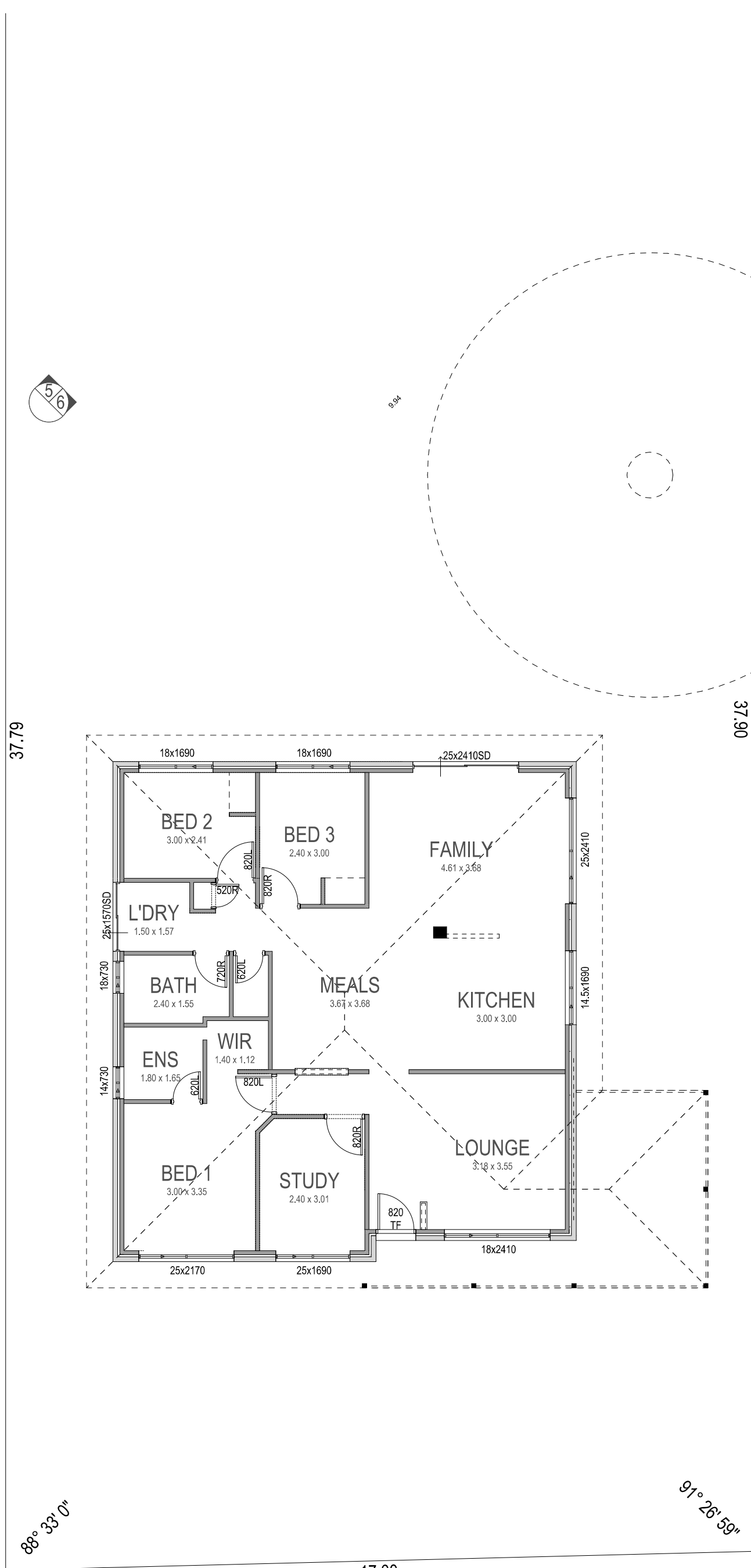


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**PROPOSED RESIDENCE FOR:**  
**Oliver Goodliffe**  
**ADDRESS:**  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

**BUILDER:** .....  
**CLIENT(S):** .....  
**DATE:** ...../...../.....

<b>VARIATIONS:</b>	0 DESIGN CONCEPT	07-10-2022
	1 ENSUITE CHANGES	17-07-2023
<b>DATE: 04-11-21 DESIGN: GRH DESIGNS</b>		
<b>ISSUE DATE: 17/07/2023 10:19 AM</b>		
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JOB NO: 6269		
SCALE: 1:200		
ONE OFF		
SHEET NUMBER: 2 of 7		



**EXISTING FLOOR PLAN**  
1:100



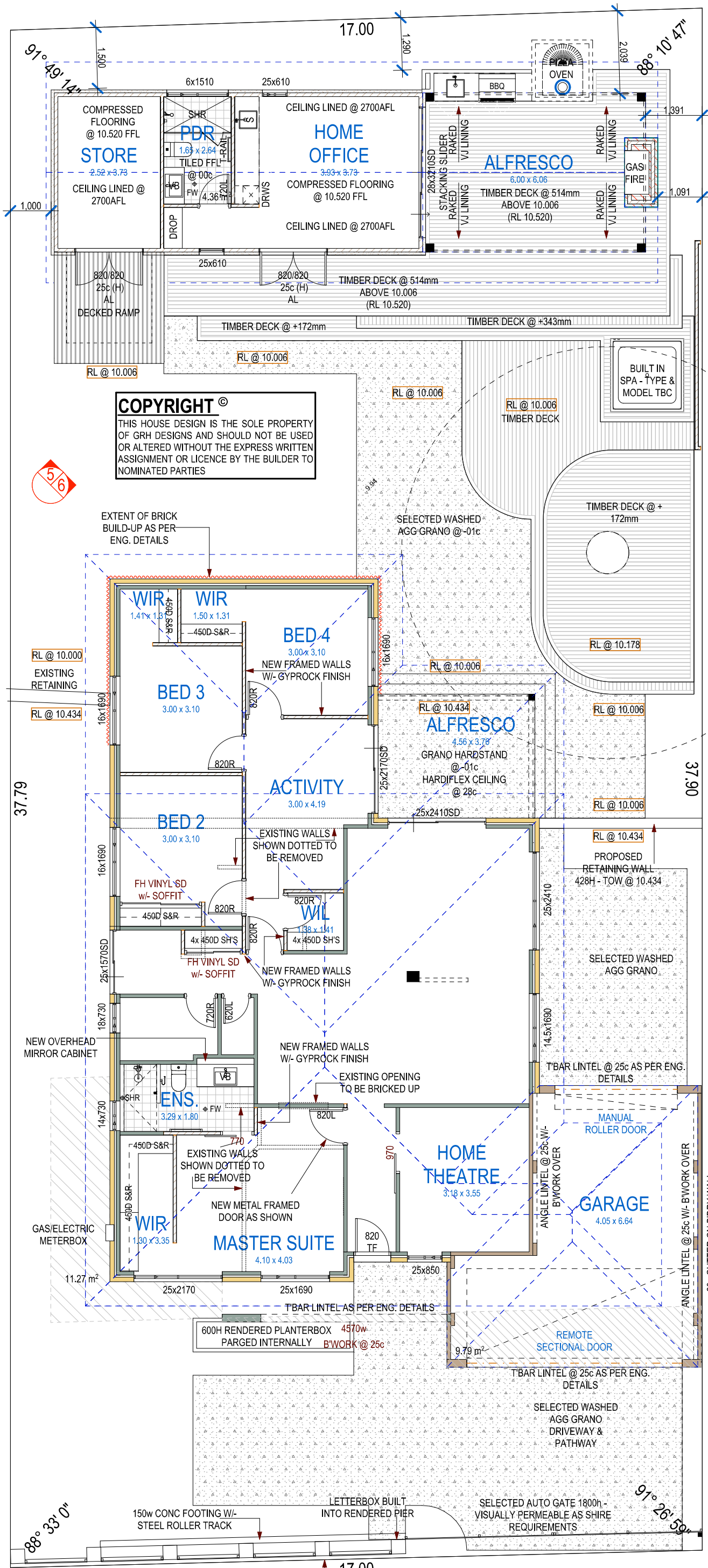
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**Oliver Goodliffe**  
**ADDRESS:**  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

**BUILDER:** .....  
**CLIENT(S):** .....  
**DATE:** ...../...../.....

**VARIATIONS:**  
 0 DESIGN CONCEPT 07-10-2022  
 1 ENSUITE CHANGES 17-07-2023

**DATE:** 04-11-21 **DESIGN:** GRH DESIGNS  
**ISSUE DATE:** 17/07/2023 10:19 AM  
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**JOB NO:** 6269  
**SCALE:** 1: 100  
**ONE OFF**  
**SHEET NUMBER :** 3 of 7



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**PROPOSED GROUND FLOOR**  
 1:100

17.00  
 1800h x 350 x 350 RENDERED BRICK PIERS W/- 600h RENEDED LOW FENCE & VISUALLY PERMEABLE INFILL OVER

DATE: 04-11-21 DESIGN: GRH DESIGNS	07-10-2022
ISSUE DATE: 17/07/2023	17-07-2023
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JOB NO: 6269	
SCALE: 1:100	
ONE OFF	
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VARIATIONS:  
 0 DESIGN CONCEPT  
 1 ENSUITE CHANGES

BUILDER: .....  
 CLIENT(S): .....  
 DATE: .....

PROPOSED RESIDENCE FOR:  
**Oliver Goodlife**  
 ADDRESS:  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

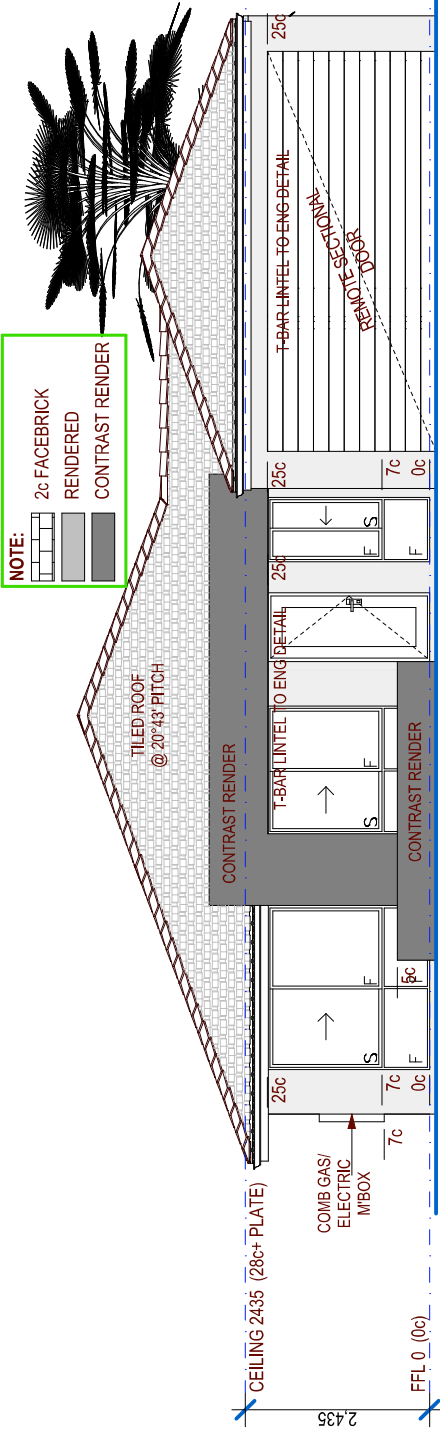
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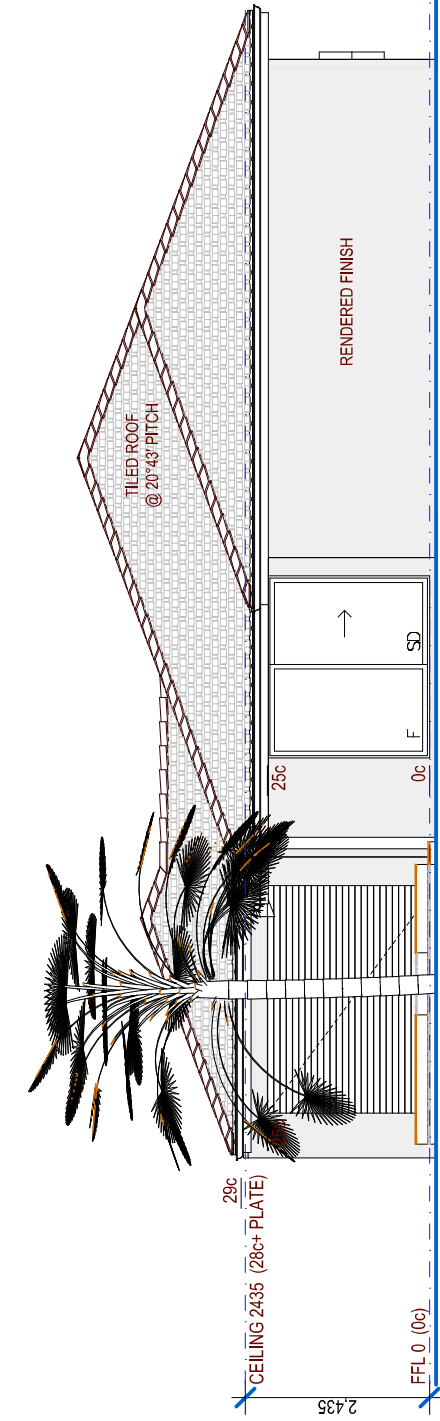


OUTBUILDING ROOF AREAS		
AREA (m2 ON THE FLAT)	80.20	
ROOF PITCH	20° 48' 36"	
AREA (m2 ON THE RAKE)	85.80	
PROPOSED ROOF AREAS		
AREA (m2 ON THE FLAT)	233.32	
ROOF PITCH	20° 48' 36"	
AREA (m2 ON THE RAKE)	249.60	
ROOF AREAS EXISTING		
AREA (m2 ON THE FLAT)	158.74	
ROOF PITCH	20° 48' 36"	
AREA (m2 ON THE RA...	169.81	
AREAS		
	AREA (m2)	Perimeter
EXISTING HOUSE	117.98	43,880
OUT BUILDING	61.38	38,920
GF EXTENSION	38.75	24,940
GARAGE	33.40	26,340
ALFRESCO	11.74	13,800
	263.25 m²	147,880 mm

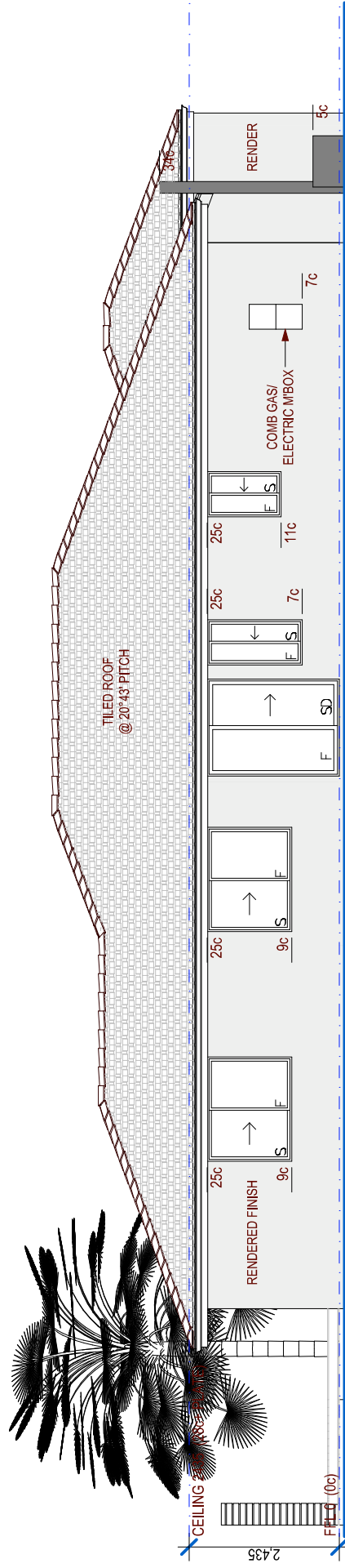
**NOTE:**  
 2c FACEBRICK  
 RENDERED  
 CONTRAST RENDER



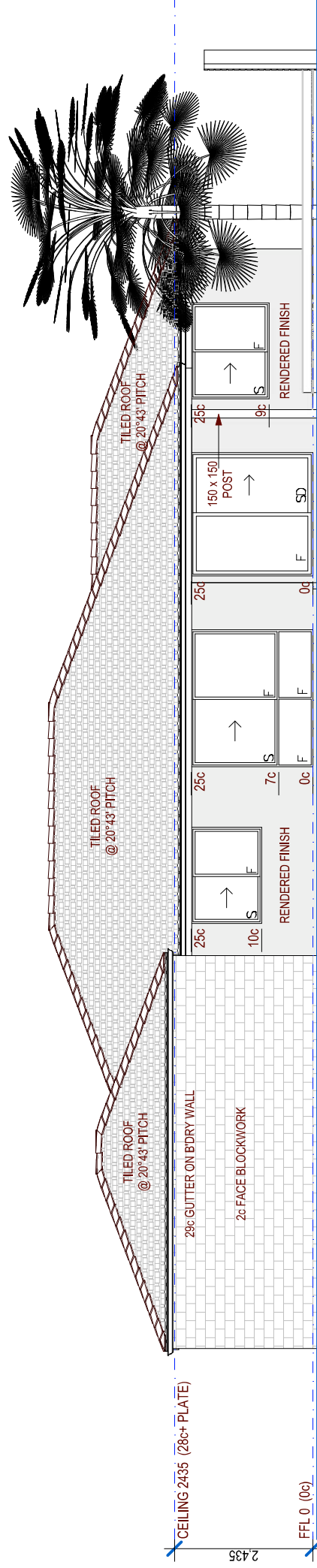
**ELEVATION 1**  
1:100



**ELEVATION 3**  
1:100



**ELEVATION 2**  
1:100



**ELEVATION 4**  
1:100

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**PRELIMINARY DESIGN ONLY**

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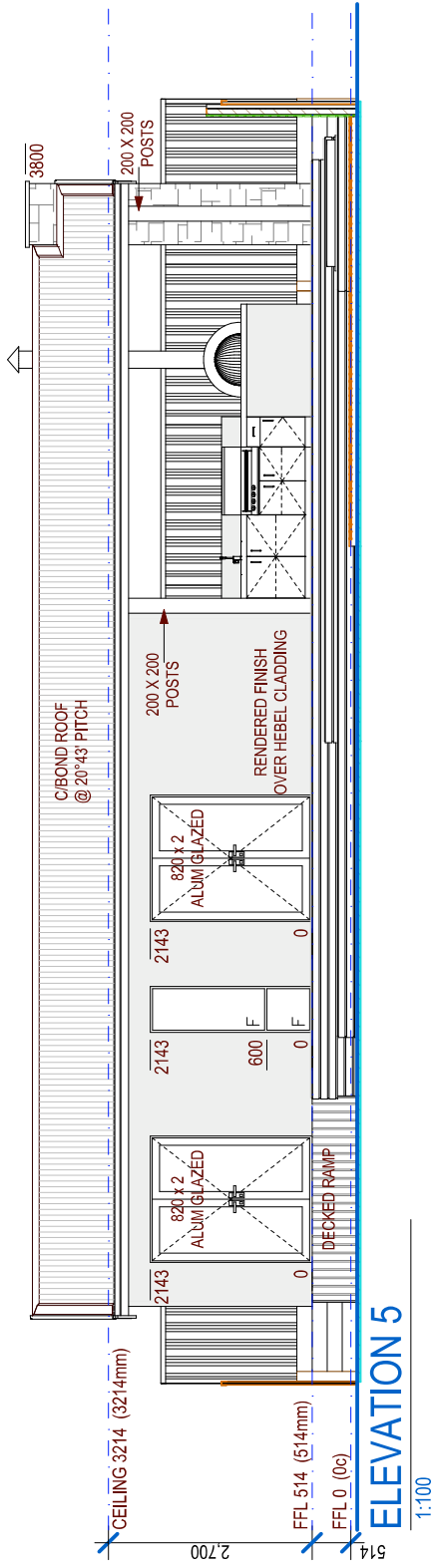
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**Oliver Goodliffe**  
 ADDRESS:  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

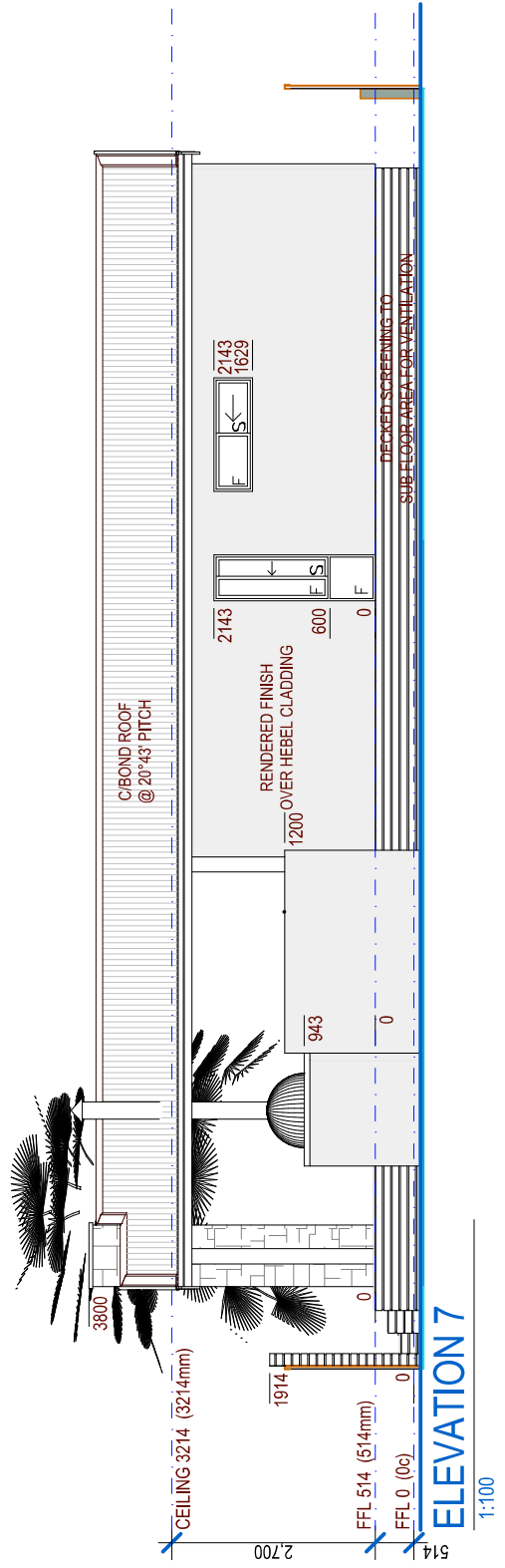
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 CLIENT(S): .....  
 DATE: ...../...../.....

VARIATIONS:  
 0 DESIGN CONCEPT  
 1 ENSUITE CHANGES

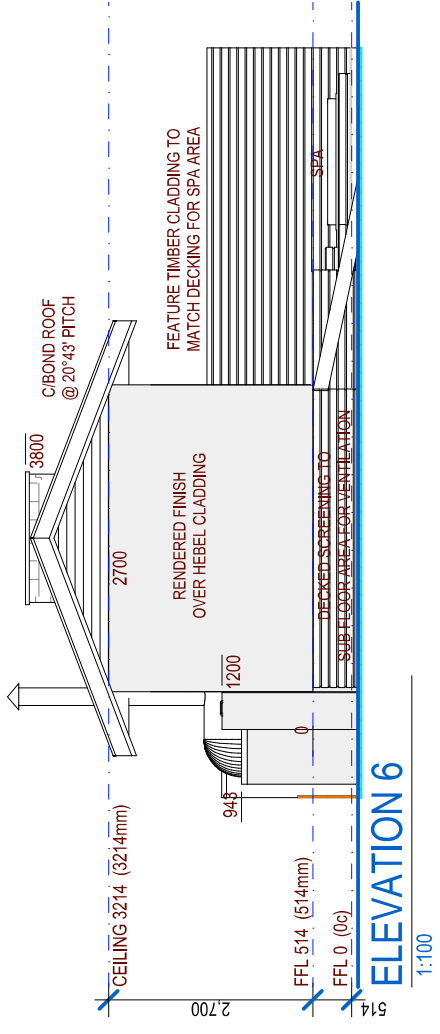
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 07-10-2022  
 17-07-2023  
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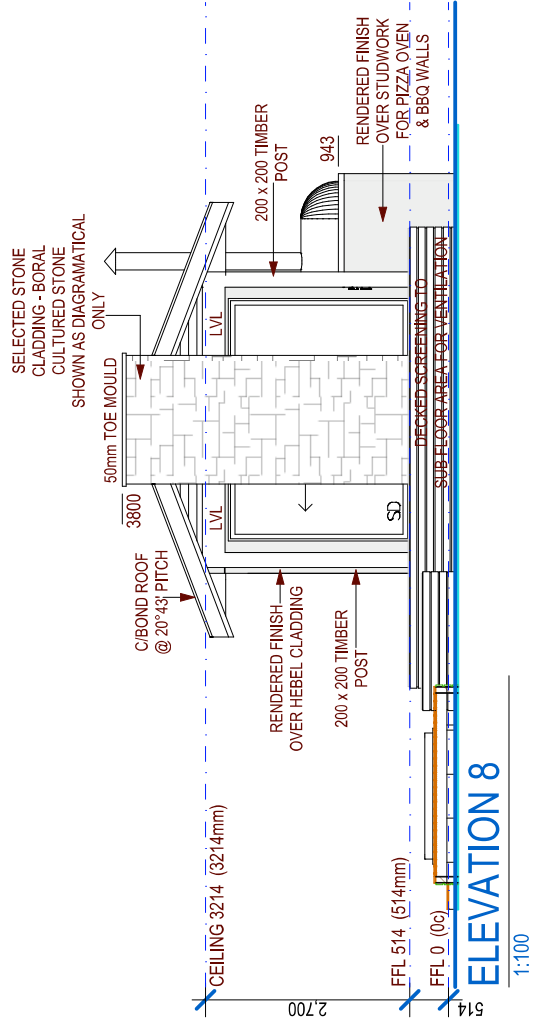
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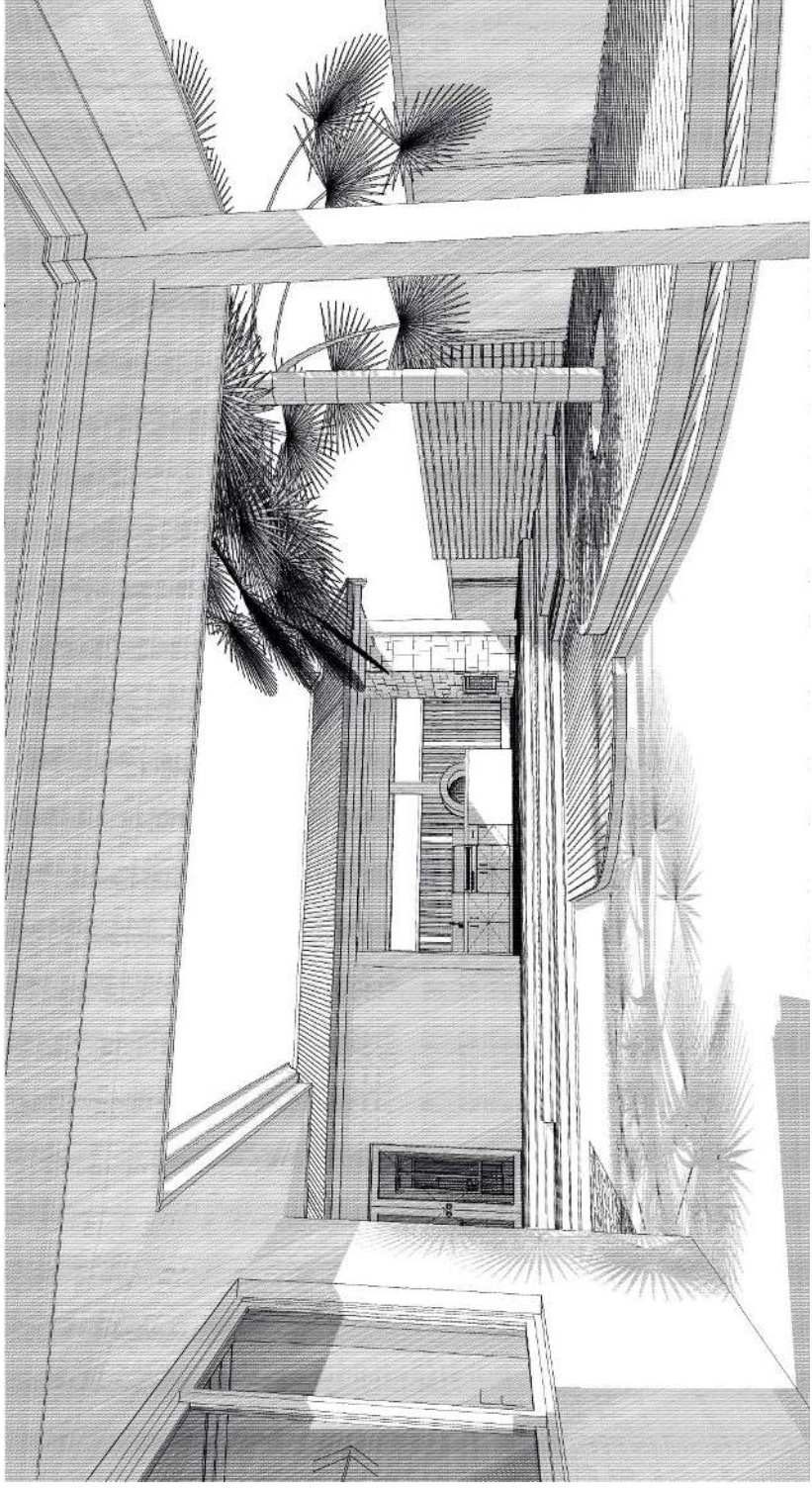
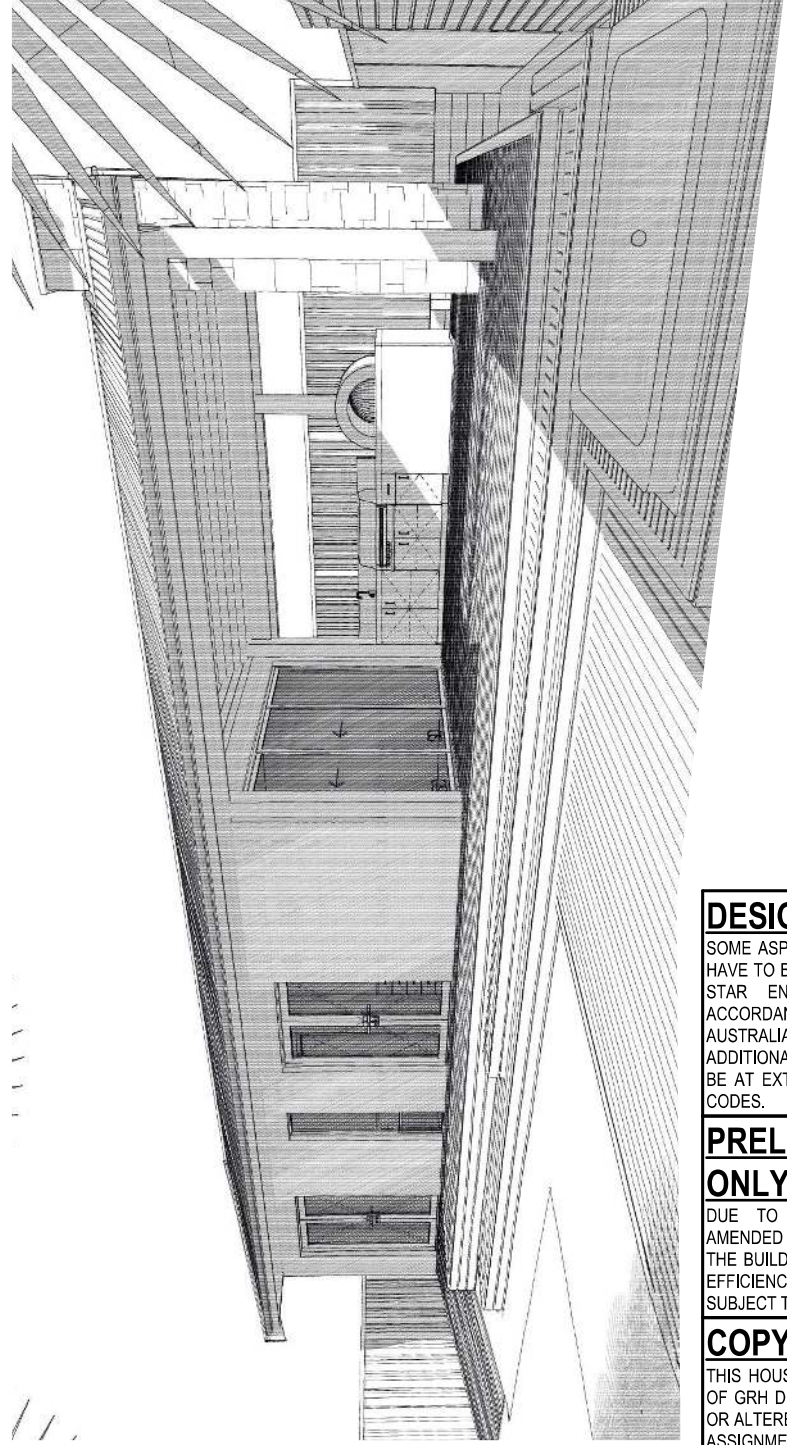
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1:100



**ELEVATION 6**  
1:100



**ELEVATION 8**  
1:100



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**PROPOSED RESIDENCE FOR:**  
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ADDRESS:  
**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

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0 DESIGN CONCEPT  
1 ENSUITE CHANGES

**DATE:** 07-10-2022  
17-07-2023

**DATE:** 04-11-21 DESIGN:GRH DESIGNS  
17-07-2023

**ISSUE DATE:** 17/07/2023 10:20 AM

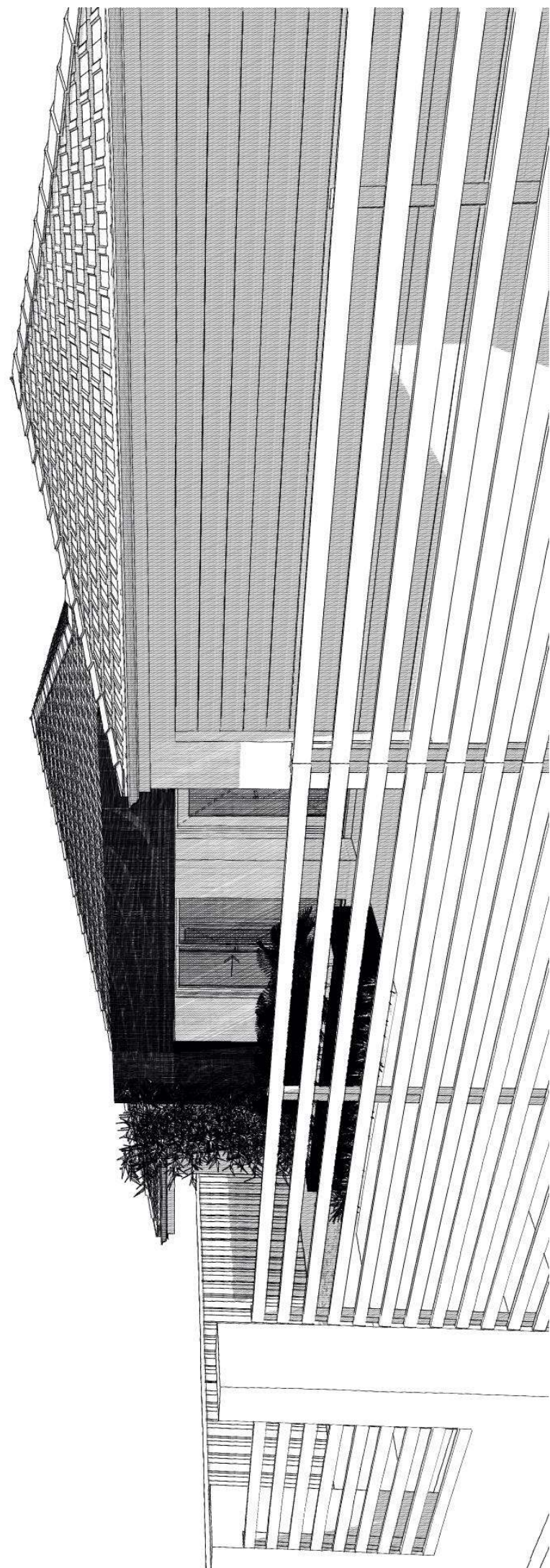
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**ONE OFF**

**SHEET NUMBER:** 6 of 7



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**Oliver Goodliffe**

ADDRESS:

**LOT 363 (#21) ELKINGTON MEWS CLARKSON**

BUILDER: .....

CLIENT(S): .....

DATE: ...../...../.....

**VARIATIONS:**

- 0 DESIGN CONCEPT
- 1 ENSUITE CHANGES

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