



**DISTRICT  
PLANNING  
SCHEME No. 2**

Amendment No. 206

**Planning and Development Act 2005**

**RESOLUTION TO PREPARE AMENDMENT TO  
LOCAL PLANNING SCHEME**

**CITY OF WANNEROO**

**DISTRICT PLANNING SCHEME NO. 2 – AMENDMENT NO. 206**

RESOLVED that the local government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above local planning scheme by:

1. Rezoning various lots affected by the East Wanneroo Cell 4 (Hocking and Pearsall) Agreed Local Structure Plan No. 6 located in the Wanneroo, Hocking and Pearsall localities from 'Urban Development' to 'Residential' (R20, R25, R30 and R40), as shown on all Scheme (Amendment) Maps.
2. Rezoning all 0.1m pedestrian accessway lots (or portions of 0.1m pedestrian accessway lots) adjoining the land subject to (1) above to Residential, and to assign a density code for the 0.1m pedestrian accessway lots that correspond with what this amendment proposes for the adjoining residential lot.
3. Rezoning the following land parcels from 'Urban Development' to 'Residential' (R2), as shown on Scheme (Amendment) Map 1:
  - Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);
  - Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907); and
  - Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).
4. Amending the Scheme Map by applying a Restricted Use area (R7) to the following lots, as shown on Scheme (Amendment) Map 1:
  - Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);
  - Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907);
  - Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908); and
  - Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).
5. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to insert the following:

No.	Description of Land	Restricted Use	Conditions
R7	<ul style="list-style-type: none"><li>• Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);</li><li>• Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907);</li><li>• Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908) and</li><li>• Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).</li></ul>	<p>'P' Uses:</p> <ul style="list-style-type: none"><li>• Home Office</li><li>• Single House</li></ul> <p>'D' Uses:</p> <ul style="list-style-type: none"><li>• Ancillary Dwelling</li><li>• Bed and Breakfast</li><li>• Civic Use</li><li>• Holiday House</li><li>• Home Business</li><li>• Home Occupation</li></ul> <p>'A' Uses:</p> <ul style="list-style-type: none"><li>• Commercial Vehicle Parking</li><li>• Industry – Cottage</li><li>• Residential Building</li></ul>	<ol style="list-style-type: none"><li>1. Except to the extent necessary for the construction of approved buildings and driveways, or in accordance with an approved revegetation plan, no land shall be cleared of vegetation without prior approval of the local government.</li><li>2. The local government may, as a condition of any approval granted, require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs.</li></ol>



		<ul style="list-style-type: none"> <li>• Telecommunications Infrastructure</li> </ul>	<p>3. Electricity shall be provided by means of underground cables to all buildings.</p> <p>4. For development on Lot 375 and Lot 376, at least the first 300mm above the design level of the dividing fence along the southern boundary shall be of brick or masonry construction to ensure that water runoff is retained onsite.</p>
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6. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to delete 'Lot 385 Stockholm Road, Wanneroo' from the description of land for Restricted Use area (R5).
7. Applying a density code of R20 for the following lots, as shown on Scheme (Amendment) Map 1:
  - Lot 377 (101) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 378 (103) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 379 (105) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 380 (107) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 381 (109) Stockholm Road, Wanneroo (on DP: 68738); and
  - Lot 382 (111) Stockholm Road, Wanneroo (on DP: 68738).
8. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Public Open Space', as shown on various Scheme (Amendment) Maps:
  - Portion Lot 12495 (13) Amery Road, Hocking (on P: 20264);
  - Lot 15308 (13) Amery Road, Hocking (on DP: 38680);
  - Lot 15307 (13) Amery Road, Hocking (on DP: 38680);
  - Lot 15581 (13) Amery Road, Hocking (on DP: 41047);
  - Lot 3001 (38) Barcelona Terrace, Hocking (on DP: 42362);
  - Lot 3002 (11) Chesterfield Avenue, Hocking (on DP: 42362);
  - Lot 3003 (21) Chesterfield Avenue, Hocking (on DP: 43647);
  - Lot 3004 (11) Chesterfield Avenue, Hocking (on DP: 43649);
  - Lot 3007 (11) Chesterfield Avenue, Hocking (on DP: 46866);
  - Lot 3006 (11) Chesterfield Avenue, Hocking (on DP: 46864);
  - Lot 3008 (25) Sacramento Parade, Hocking (on DP: 48972);
  - Lot 13174 (46) Gungurru Avenue, Hocking (on D: 95589);
  - Lot 14459 (46) Gungurru Avenue, Hocking (on P: 24233);
  - Lot 13414 (46) Gungurru Avenue, Hocking (on D: 95390);
  - Lot 93 (14) Hinckley Parkway, Hocking (on P: 24256);
  - Lot 300 (16) Hinckley Way, Hocking (on DP: 410457);
  - Lot 8002 (17) Copenhagen Drive, Hocking (on DP: 56911);
  - Lot 240 (50) Willespie Drive, Pearsall (on P: 23905);
  - Lot 3000 (58) Willespie Drive, Pearsall (on DP: 54213);
  - Lot 13635 (62) Willespie Drive, Pearsall (on P: 23214);
  - Lot 15058 (62) Willespie Drive, Pearsall (on P: 24125);
  - Lot 8000 (62) Willespie Drive, Pearsall (on DP: 42994);
  - Lot 756 (5) Salitage Link, Pearsall (on DP: 51894);
  - Lot 753 (5) Salitage Link, Pearsall (on DP: 43686);
  - Lot 8000 (5) Salitage Link, Pearsall (on DP: 61198);

- Lot 109 (10) Busch Parkway, Pearsall (on DP: 24468); and
  - Lot 78 (2) Voyager Link, Pearsall (on DP: 67113).
9. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Drainage/Waterway', as shown on Scheme (Amendment) Maps 2, 6 and 8:
- Lot 16 (36) Vignerons Loop, Hocking (on DP: 404645);
  - Lot 3000 (37) Toledo Drive, Hocking (on DP: 75489); and
  - Lot 8000 (14) Lamont Link, Pearsall (on DP: 404818).
10. Rezoning the following padmount lots from 'Urban Development' to 'Residential' (R20), as shown on Scheme (Amendment) Maps 2, 5, 7 and 8:
- Lot 435 (61F) Gungurru Avenue, Hocking (on P: 20263);
  - Lot 404 (2F) Rosedale Vista, Hocking (on P: 23453);
  - Lot 1595 (32F) Kirkstall Drive, Hocking (on P: 23584);
  - Lot 178 (1F) Goundrey Drive, Pearsall (on P: 23214); and
  - Lot 75 (36F) Amberley Way, Pearsall (on P: 21968).
11. Rezoning the following land parcels from 'Urban Development' to 'Mixed Use' (R40), as shown on Scheme (Amendment) Map 4:
- Lot 1002 (188) Nicholas Road, Hocking (on DP: 401961);
  - Lot 1003 (186) Nicholas Road, Hocking (on DP: 401961); and
  - Lot 1004 (184) Nicholas Road, Hocking (on DP: 401961).
12. Rezoning the following land parcels from 'Urban Development' to 'Commercial' (R40), as shown on Scheme (Amendment) Maps 4 and 8:
- Lot 1001 (74) Gungurru Avenue, Hocking (on DP: 401961);
  - Lot 1000 (100) Gungurru Avenue, Hocking (on DP: 401961);
  - Lot 1100 (174) Nicholas Road, Hocking (on DP: 401961);
  - Lot 1101 (166) Nicholas Road, Hocking (on DP: 401961);
  - Lot 267 (155) Willespie Drive, Pearsall (on DP: 61961); and
  - Lot 271 (125) Willespie Drive, Pearsall (on DP: 61961).
13. Adding the following into Schedule 7 (Centre and Commercial Zones) of the Scheme text:

<b>Locality</b>	<b>Description of Centre and Commercial Zones</b>	<b>NLA (m<sup>2</sup>)</b>
HOCKING	Lot 1001 on DP: 401961 Lot 1000 on DP: 401961 Lot 1100 on DP: 401961 Lot 1101 on DP: 401961	4250 <sup>1</sup>
PEARSALL	Lot 267 Willespie Drive on DP: 61961 Lot 271 Willespie Drive on DP: 61961	2100

14. Adding the following as a note at the end of Schedule 7 (Centre and Commercial Zones) of the Scheme text:

Notes:

1. A maximum retail NLA of 5,500m<sup>2</sup> can be considered if:
  - The easternmost crossover to Lot 1000 from Gungurru Avenue is modified to provide inward access only; or
  - The landowner can demonstrate to the satisfaction of the local government that the current or alternative access arrangements into, within and from the existing car park on Lot 1000 are satisfactory.
  
15. Amending the density code for portion Lot 167 (10) Siderno Rose, Hocking (on D: 97051) from R20 to R40, as shown on Scheme (Amendment) Map 5.
  
16. Applying a density code of R40 for Lot 888 (25) Siderno Rose, Hocking (on DP: 40157), as shown on Scheme (Amendment) Map 5.
  
17. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Public Purposes', as shown on Scheme (Amendment) Maps 7 and 8:
  - Lot 241 (46) Willespie Drive, Pearsall (on P: 23905); and
  - Lot 76 (2) Ashbrook Avenue, Pearsall (on P: 22573).
  
18. Rezoning the following lots from 'Urban Development' to 'Service Commercial', as shown on Scheme (Amendment) Map 11:
  - Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987);
  - Portion Lot 56 (1435P) Ocean Reef Road, Pearsall (on P: 14380) which adjoins Lot 50 as listed above; and
  - Lot 55 (3P) Lenore Road, Pearsall (on D: 98987).
  
19. Amending the Scheme Map by applying the Restricted Use area (R8) to Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987), as shown on Scheme (Amendment) Map 11.
  
20. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to insert the following:

No.	Description of Land	Restricted Use	Conditions
R8	Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987)	'D' Uses: Service Station Convenience Store Motor Vehicle Wash Fast Food Outlet	1. External open-air storage of automotive parts or service yards visible to the public shall not be permitted.  2. The maximum gross floor area of a Fast Food Outlet shall be 25m <sup>2</sup> .

The Amendment is standard under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:

- a) An amendment to the scheme so that it is consistent with a region planning scheme that applies to the scheme area, other than an amendment that is a basic amendment.
  
- b) An amendment that would have minimal impact on land in the scheme area that is not the subject of the amendment.

Upon approval of Amendment No. 206 to District Planning Scheme No. 2:

- a) The City of Wanneroo's Hocking Neighbourhood Centre Agreed Structure Plan No. 42 is to be revoked.
- b) The mapping that supports the City of Wanneroo's East Wanneroo Cell 4 (Hocking and Pearsall) Agreed Local Structure Plan No. 6 is to be amended to the extent as follows:
  - The 'Structure Plan' and the 'Zoning Plan' being amended to what is shown as the Structure Plan (Amendment) Maps.
  - The Streetscape Concept Plan (Plan 3) being deleted.
- c) The City of Wanneroo's East Wanneroo Cell 4 (Hocking and Pearsall) Agreed Local Structure Plan No. 6 text is to be amended to the extent as follows:
  - The text provisions and Schedule 1 in Section 3 (for Retail Floorspace) being deleted and replaced with the following:

*Retail floorspace (NLA) for the structure plan will be in accordance with the Scheme.*
  - The text provisions of Section 4.1 for the Residential Precinct contained prior to the 'Objectives' being deleted and replaced with the following:

*This section relates to the 'Residential Precinct' where shown on Plan 2 (Zoning Plan). Unless otherwise identified on Plan 1 (Structure Plan), the residential density to apply in this precinct is R20.*

*In the context of this structure plan, the Residential Precinct does not relate to land which is zoned Residential under the Scheme.*

*The permissibility of uses in the 'Residential Precinct' is to be in accordance with the Residential Zone as specified under the Scheme. Rural development involving high-capital investment, offensive trades, mushroom farms and/or of a long term nature will not be supported. Other rural uses may be considered.*
  - The term 'General Rural' in the objectives for the Residential Precinct in Section 4.1 being modified to 'Rural'.
  - The deletion of Section 4.2 (Commercial Zone), Section 4.3 (Centre Zone) and Section 4.4 (Special Residential Precinct) in their entirety from the structure plan text – and renumber Section 4.5 (Special Zones – Additional Uses) and Section 4.6 (Private Community Purposes Zone) accordingly.
  - The words '*Notwithstanding*' In Section 4.5 being replaced with '*Notwithstanding*'.
  - Replacing all references to 'Schedule 2' in Section 4.5 with 'Schedule 1', including the title of the schedule.
  - Deleting all provisions relating to Special Use Zone No. 1 (for Lot 50 Shiraz Boulevard, Pearsall) in Schedule 2, and renumbering Special Use Zone No. 2 accordingly.
  - Replacing '*Civic uses*' with '*Civic use*' as a permitted use listed in Schedule 2 for Special Use Zone No. 2.

- Adding a new Special Use Condition in Schedule 2 for Special Use Zone No. 2 as follows:

*The permitted use of 'Pharmacy' as listed in this table is defined as follows:*

*Premises used for the preparation and dispensing of drugs and other medicinal products and where this occurs other predominantly toiletry products may be displayed and offered for sale by retail.*

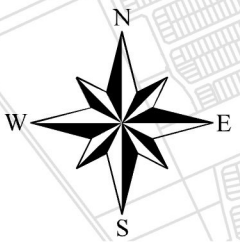
- Replacing references to 'Department of Environmental Protection' in Sections 5(a) and 5(b) with 'Department of Water and Environmental Regulation'.
- In Section 6(c), replacing the words "are as per the following Schedule 2" with "can be obtained from the City of Wanneroo".
- Replacing all references to 'Schedule 3' in Section 7 with 'Schedule 2', including the title of the schedule.
- In Section 9.2, replace reference to 'Plan 4' with 'Plan 3'.

Date of Council Resolution: 12 September 2023

.....  
(Chief Executive Officer)

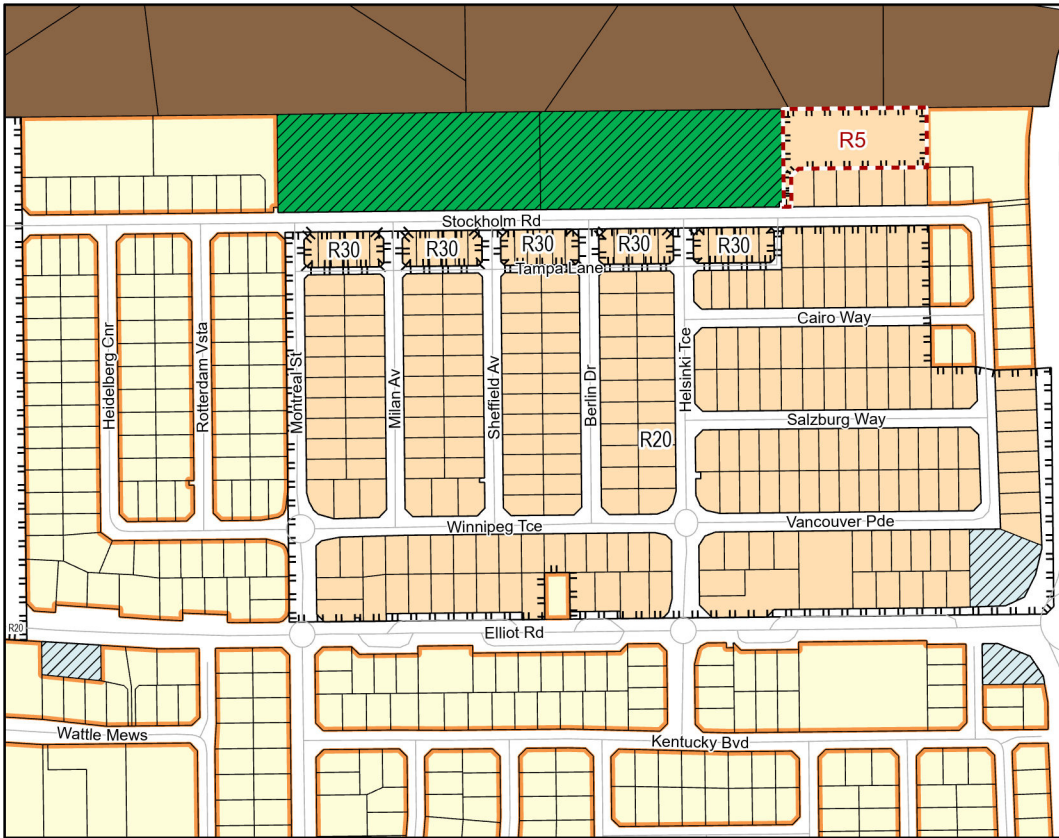
Dated this 19<sup>th</sup> day of September 2023.....

**CITY OF WANNEROO  
DISTRICT PLANNING SCHEME No. 2  
AMENDMENT NO. 206 - MAP INDEX**

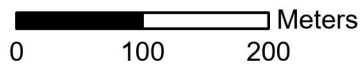




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



## LEGEND

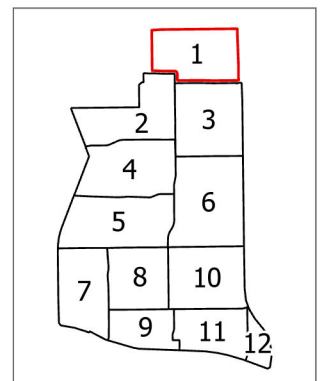
- R-CODE
- RESTRICTED USE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE
- RESIDENTIAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 1**

## LEGEND

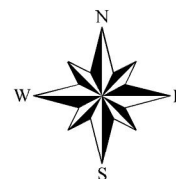
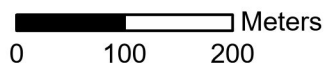
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- RESTRICTED USE
- DPS2 ZONE**
- RESIDENTIAL



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

- R-CODE
- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

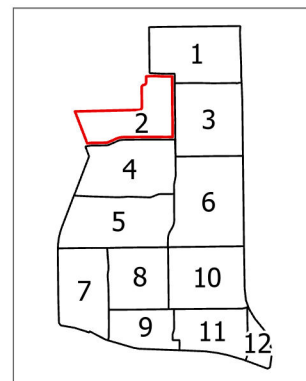
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- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD
- MRS RESERVE
- PRIMARY REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 2**

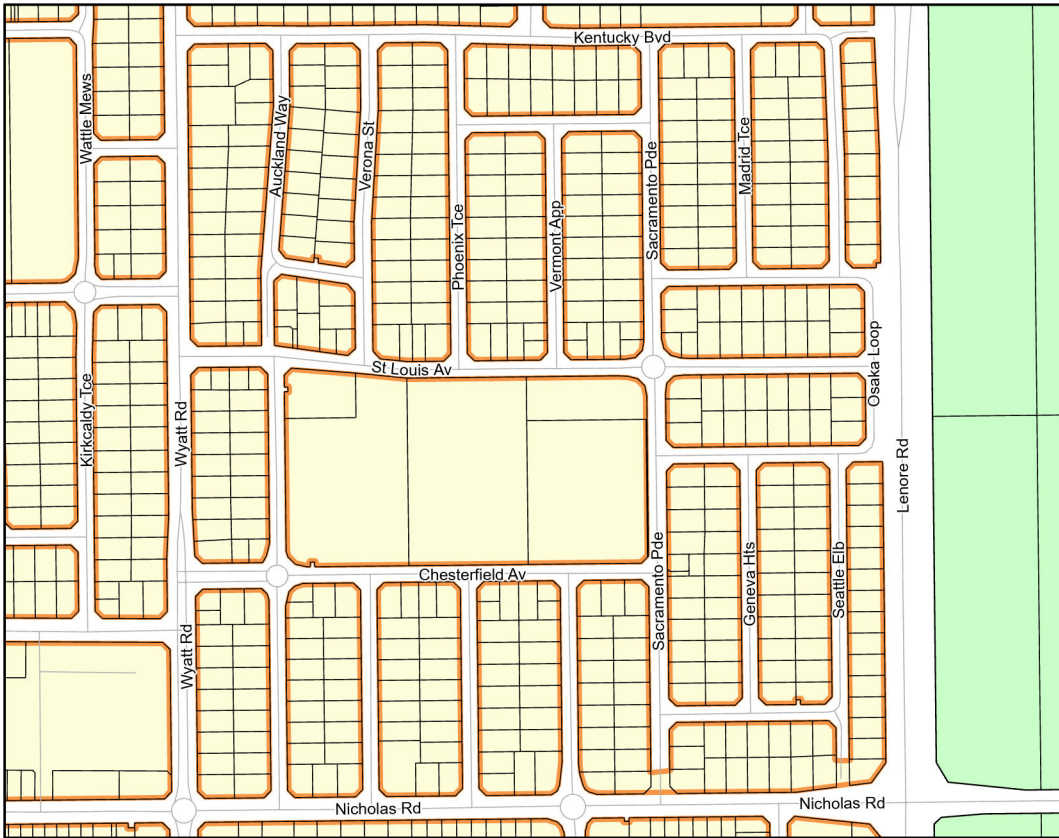
### LEGEND

- R-CODE
- RESIDENTIAL
- DPS2 ZONE**
- LOCAL SCHEME RESERVES
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE





# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206

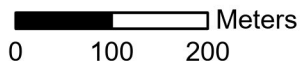


## LEGEND

### DPS2 ZONES & RESERVES

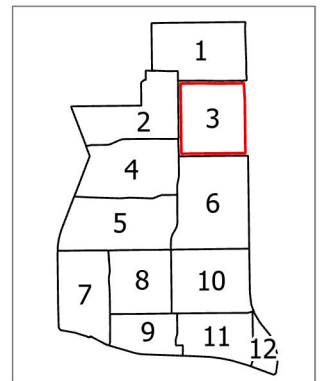
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD

EXISTING ZONE



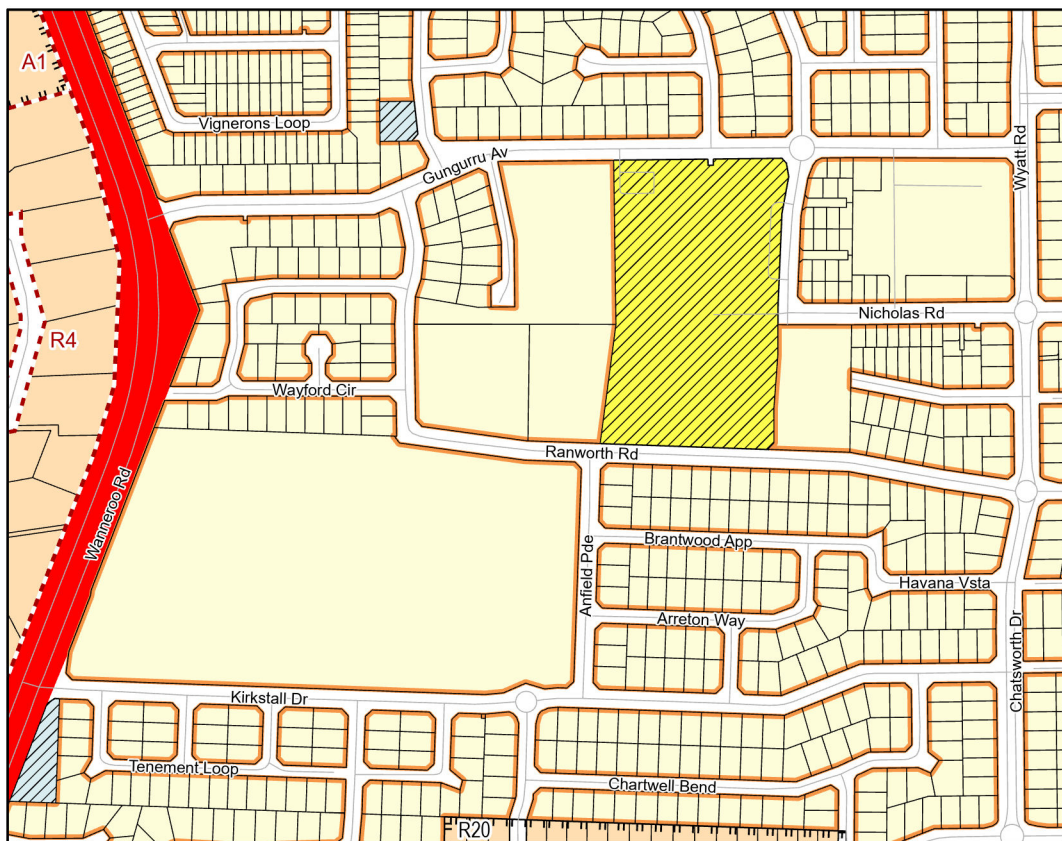
## LEGEND

- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVE**
- PUBLIC OPEN SPACE

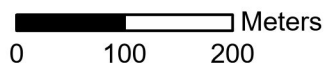


SCHEME (AMENDMENT) MAP 3

# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



EXISTING ZONE



### LEGEND

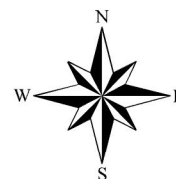
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- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

- DRAINAGE/WATERWAY
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD

### MRS RESERVE

- PRIMARY REGIONAL ROADS



SCHEME (AMENDMENT) MAP 4

### LEGEND

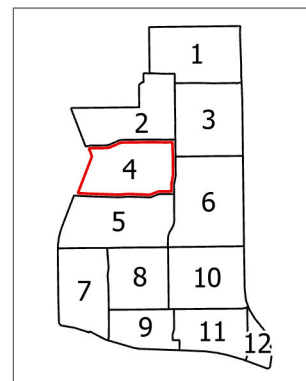
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### DPS2 ZONES

- RESIDENTIAL
- COMMERCIAL
- MIXED USE

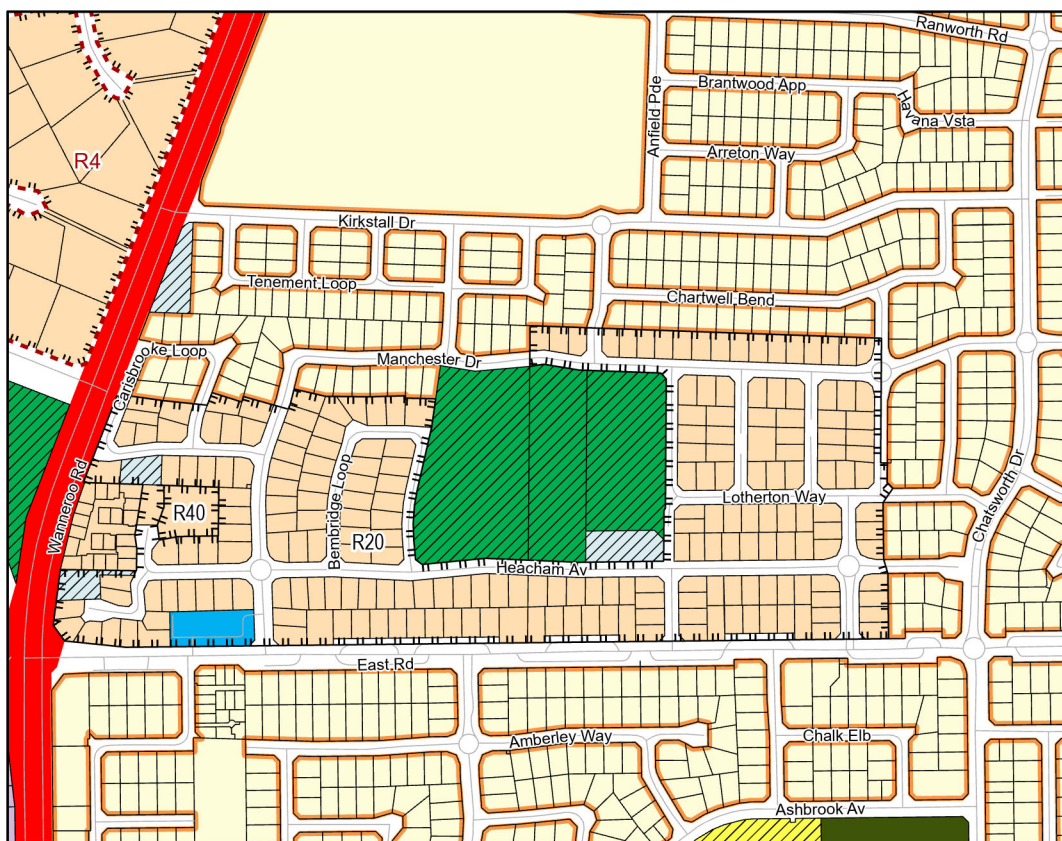
### LOCAL SCHEME RESERVE

- PUBLIC OPEN SPACE

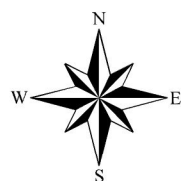
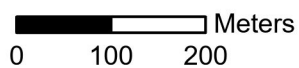




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

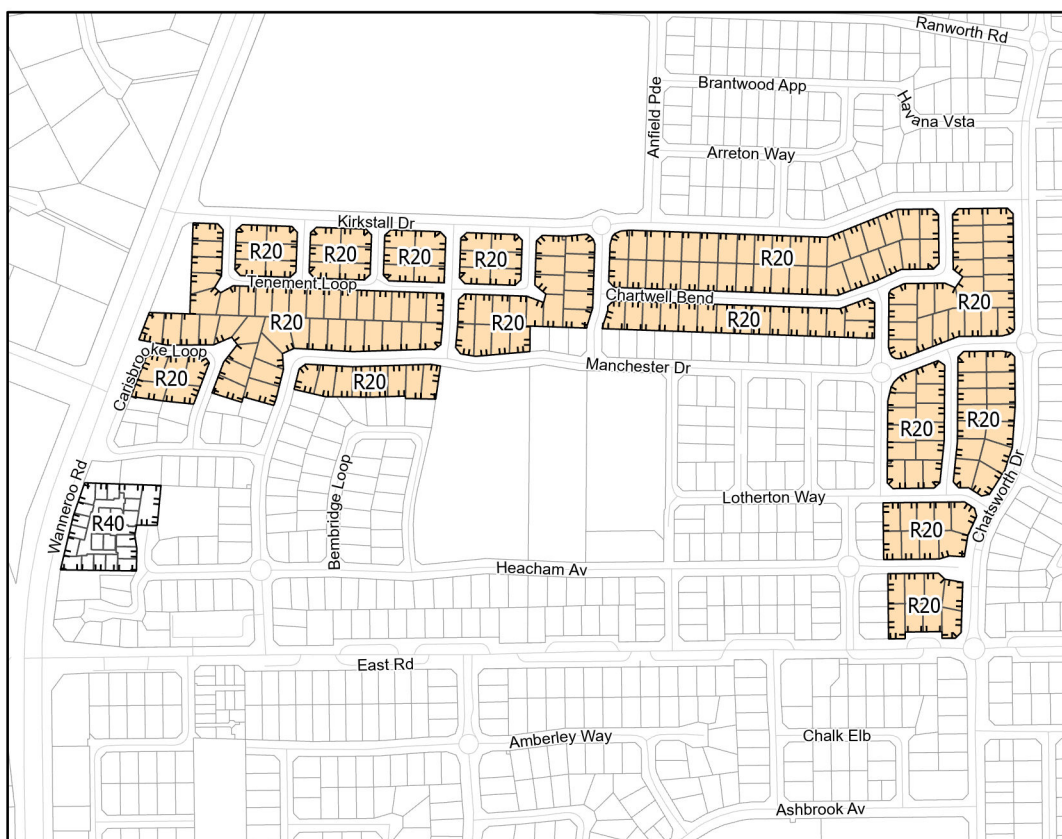
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- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

- COMMERCIAL
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT

### MRS RESERVE

- PRIMARY REGIONAL ROADS



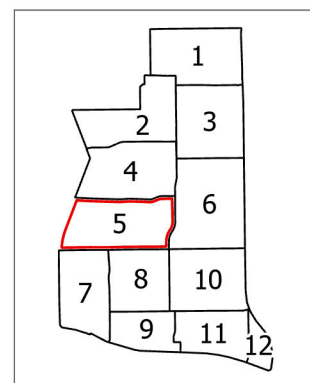
**SCHEME (AMENDMENT) MAP 5**

### LEGEND

- R-CODE

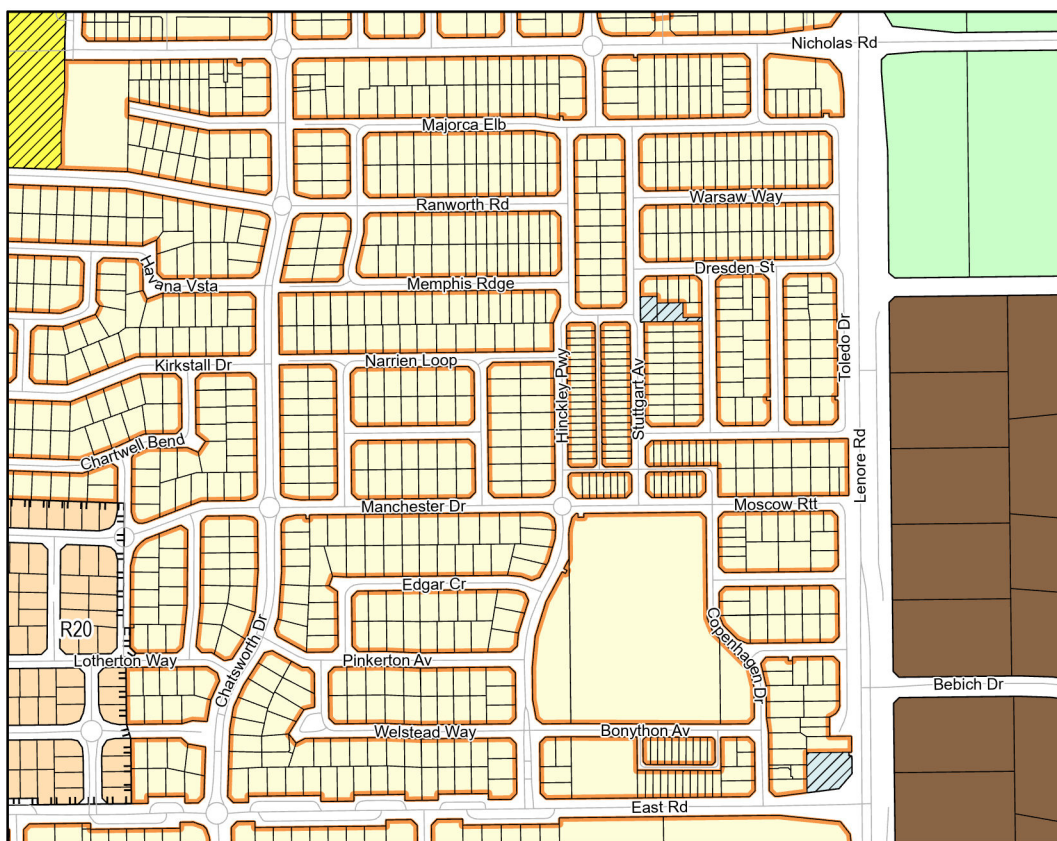
### DPS2 ZONE

- RESIDENTIAL

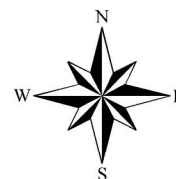
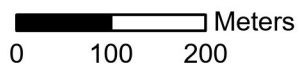




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



**LEGEND**

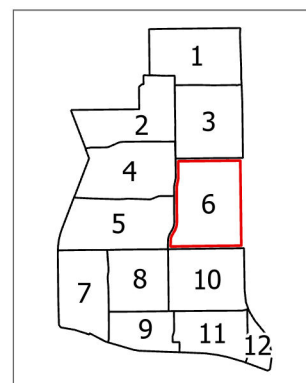
- R-CODE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC PURPOSES
- RESIDENTIAL
- RURAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 6**

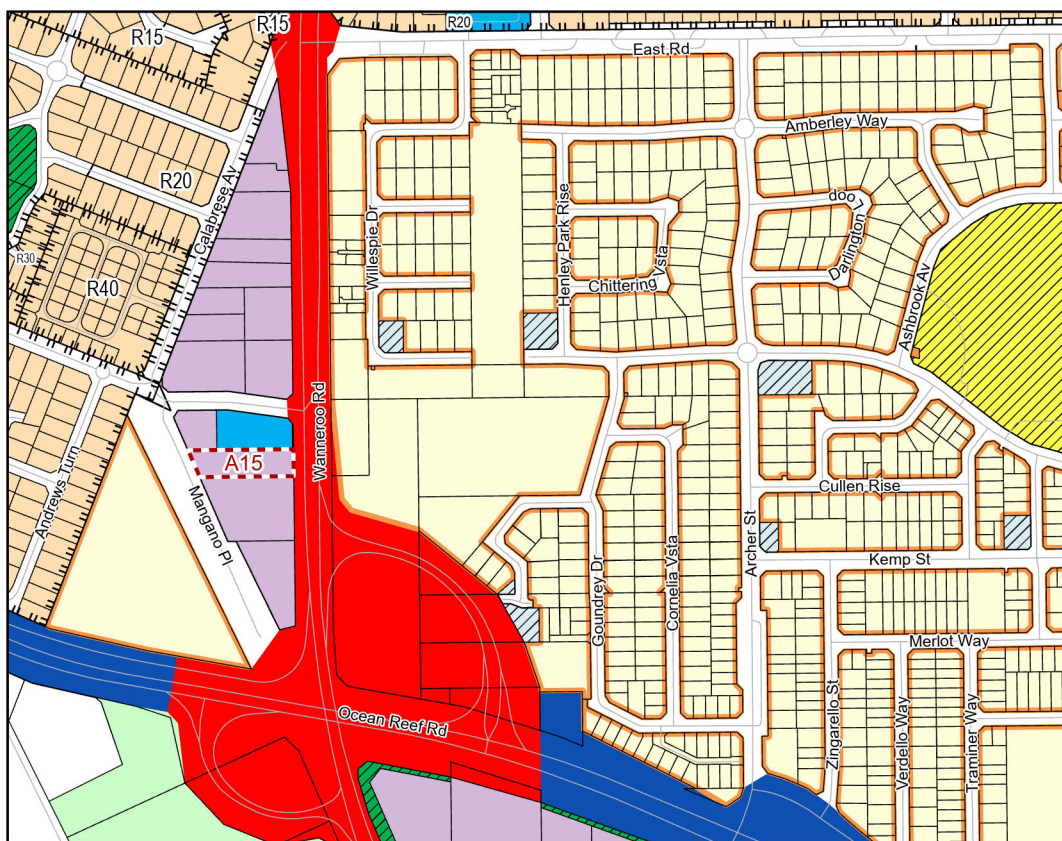
**LEGEND**

- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE





# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



## LEGEND

- R-CODE
- ADDITIONAL & RESTRICTED USE

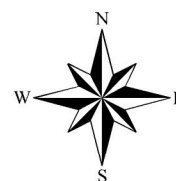
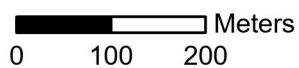
## DPS2 ZONES & RESERVES

- COMMERCIAL
- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD

## MRS RESERVES

- PRIMARY REGIONAL ROADS
- OTHER REGIONAL ROADS

EXISTING ZONE



## LEGEND

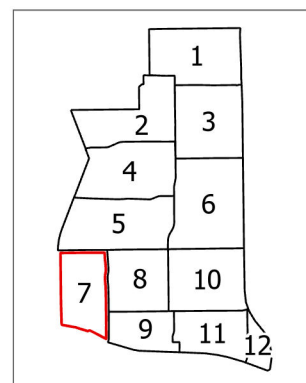
- R-CODE

## DPS2 ZONE

- RESIDENTIAL

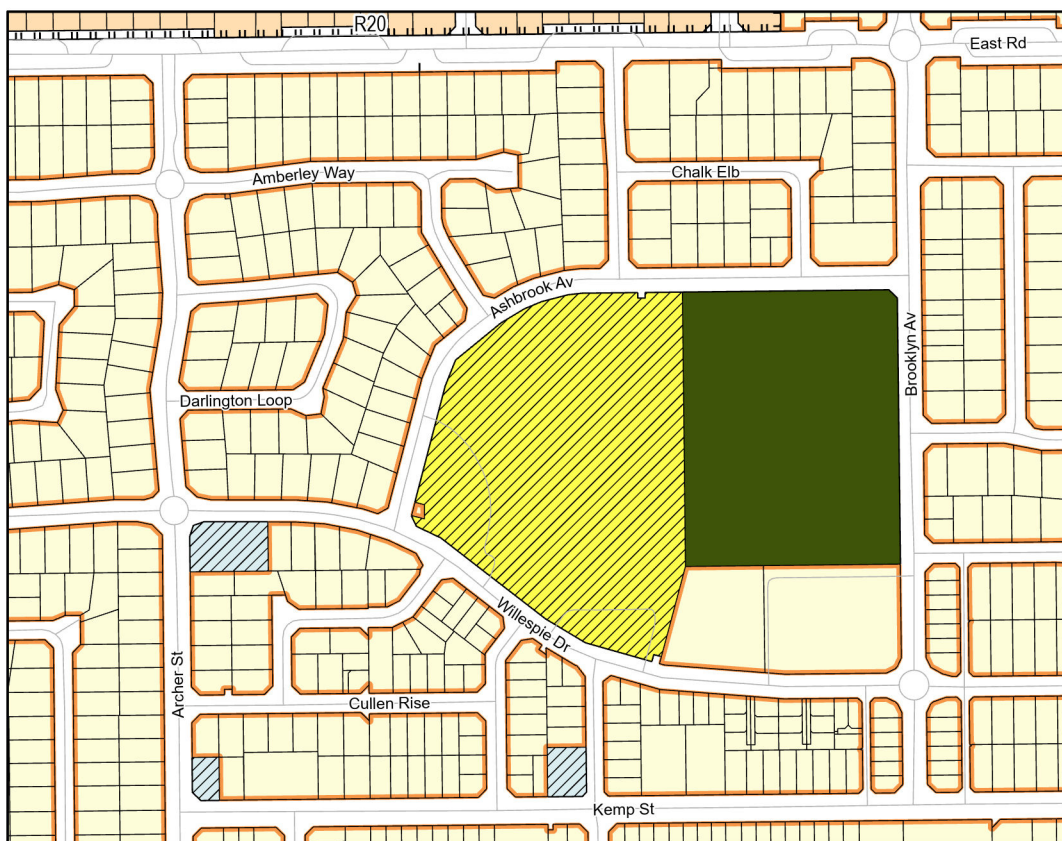
## LOCAL SCHEME RESERVES

- PUBLIC OPEN SPACE
- PUBLIC PURPOSES

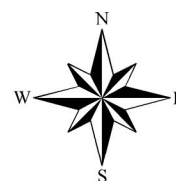
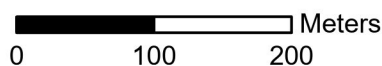


SCHEME (AMENDMENT) MAP 7

# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



## LEGEND

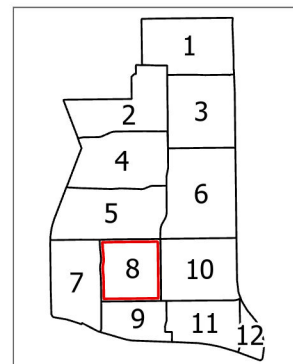
- R-CODE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 8**

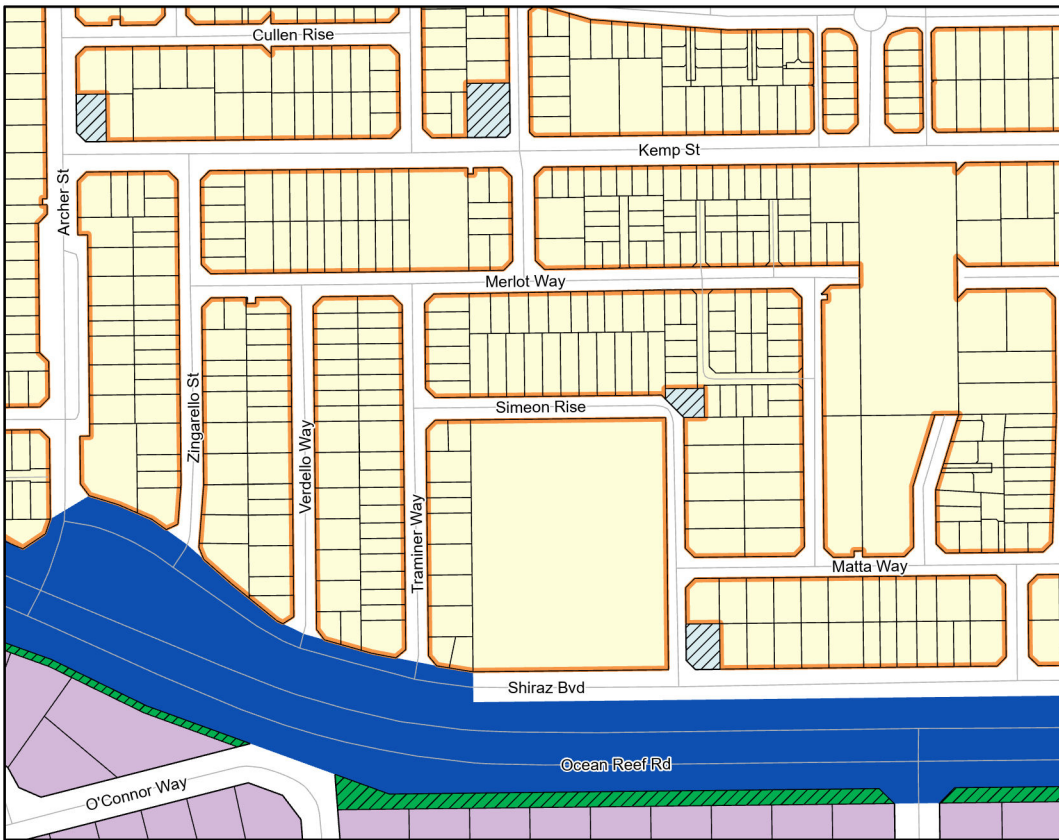
## LEGEND

- R-CODE
- DPS2 ZONES**
- RESIDENTIAL
- COMMERCIAL
- LOCAL SCHEME RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC PURPOSES

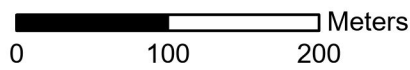




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



**LEGEND**

**DPS2 ZONES & RESERVES**

- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- URBAN DEVELOPMENT
- LOCAL ROAD

**MRS RESERVE**

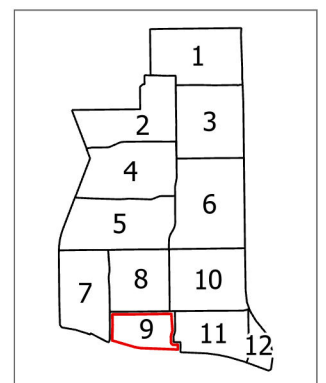
- OTHER REGIONAL ROADS



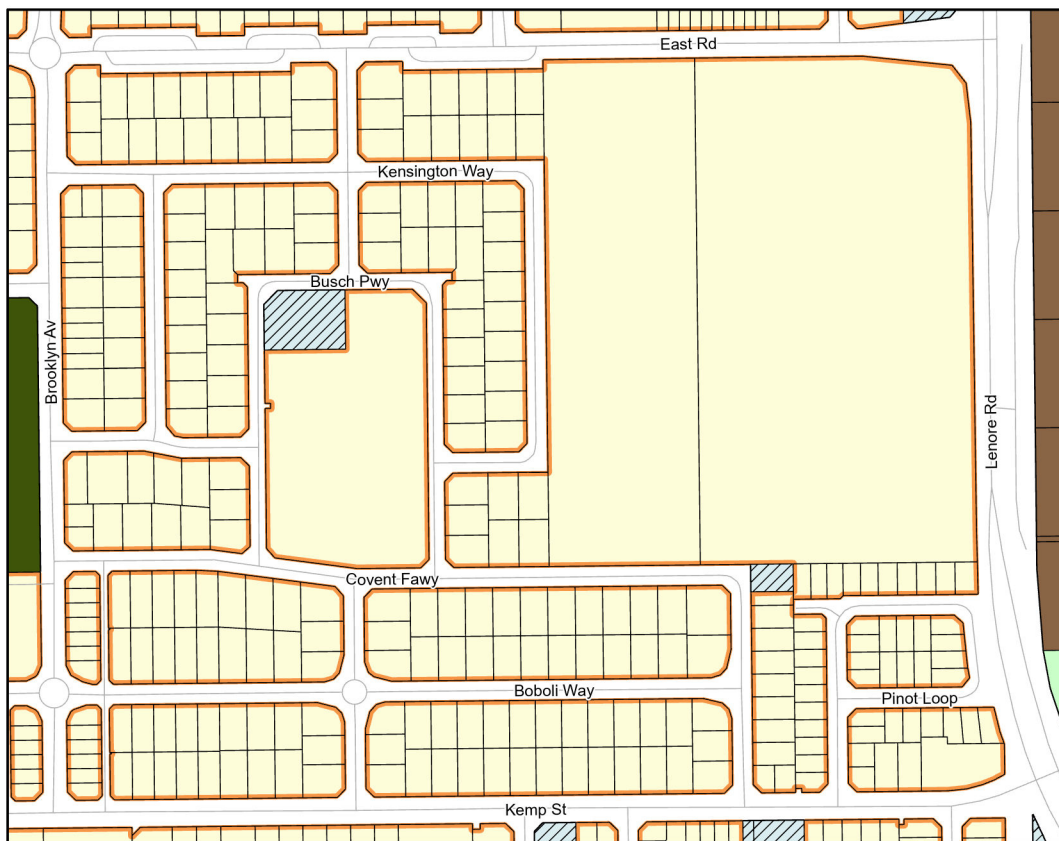
**SCHEME (AMENDMENT) MAP 9**

**LEGEND**

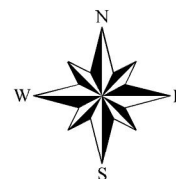
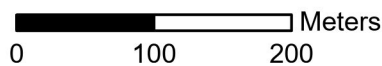
- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVE**
- PUBLIC OPEN SPACE



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



## LEGEND

### DPS2 ZONES & RESERVES

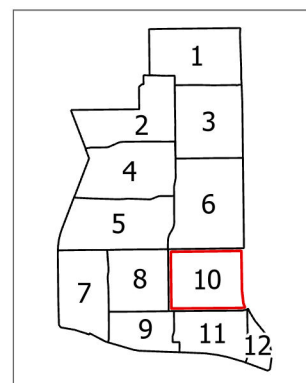
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- RURAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 10**

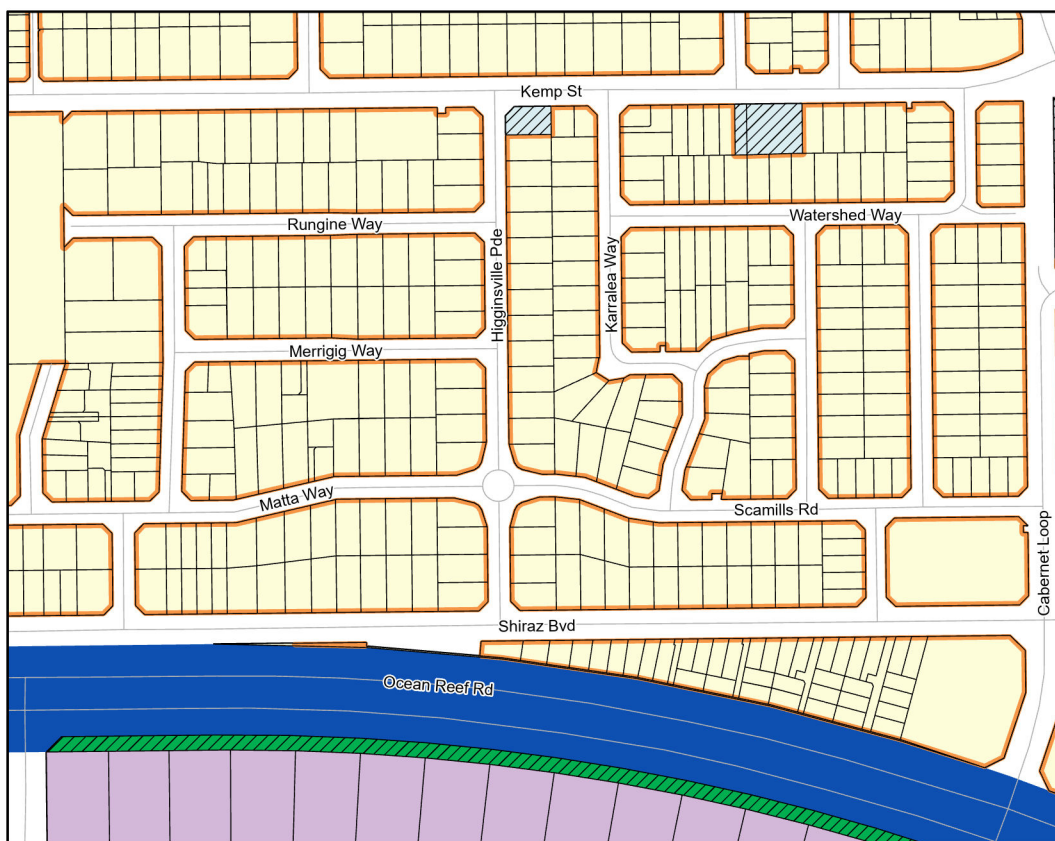
## LEGEND

- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVE**
- PUBLIC OPEN SPACE

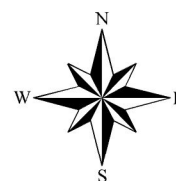
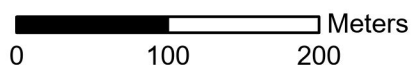




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

#### DPS2 ZONES & RESERVES

- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- URBAN DEVELOPMENT
- LOCAL ROAD

#### MRS RESERVE

- OTHER REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 11**

### LEGEND

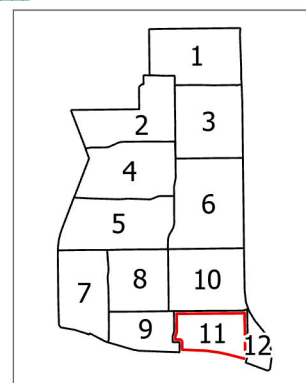
- R-CODE
- RESTRICTED USE

#### DPS2 ZONES

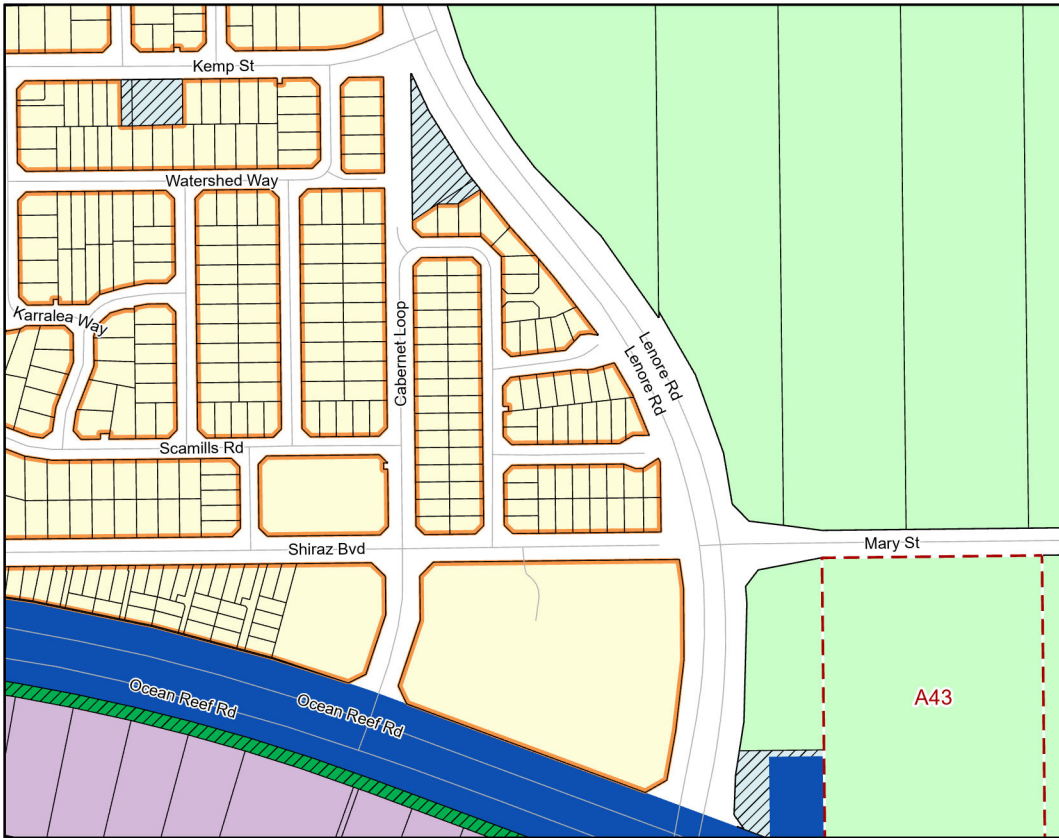
- RESIDENTIAL
- SERVICE COMMERCIAL

#### LOCAL SCHEME RESERVE

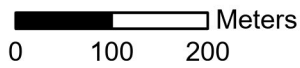
- PUBLIC OPEN SPACE



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

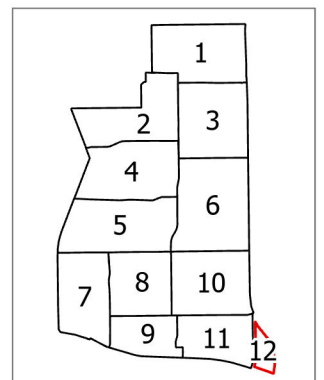
- A43 ADDITIONAL USE
- DPS2 ZONES & RESERVES**
- DRAINAGE & WATERWAYS
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD
- MRS RESERVE**
- OTHER REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 12**

### LEGEND

- R20 R-CODE
- DPS2 ZONE**
- RESIDENTIAL

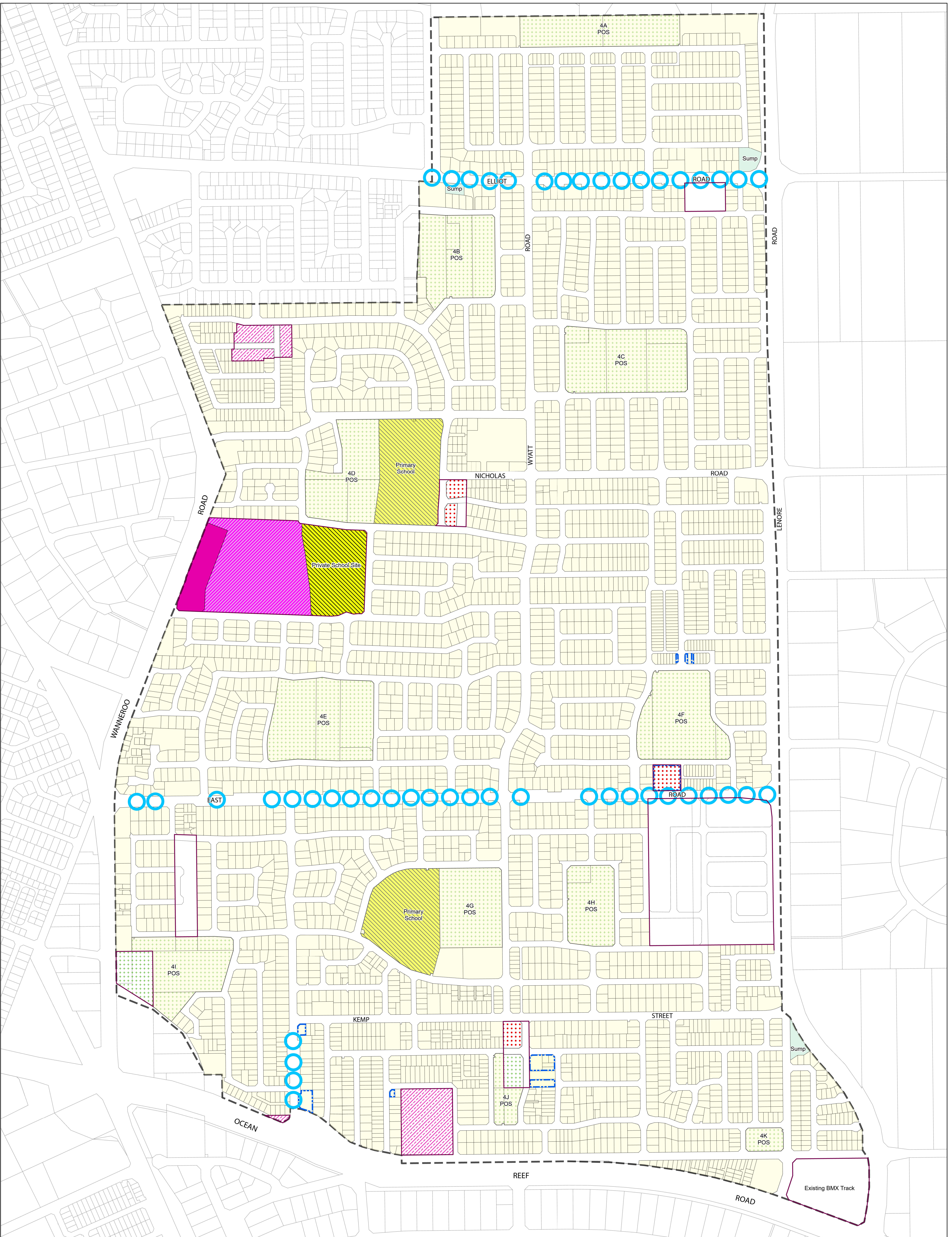




## **STRUCTURE PLAN (AMENDMENT) MAPS**

To support subsequent amendment to ASP 6 should Amendment No. 206 be approved

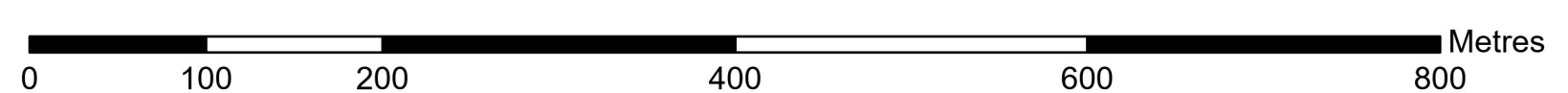




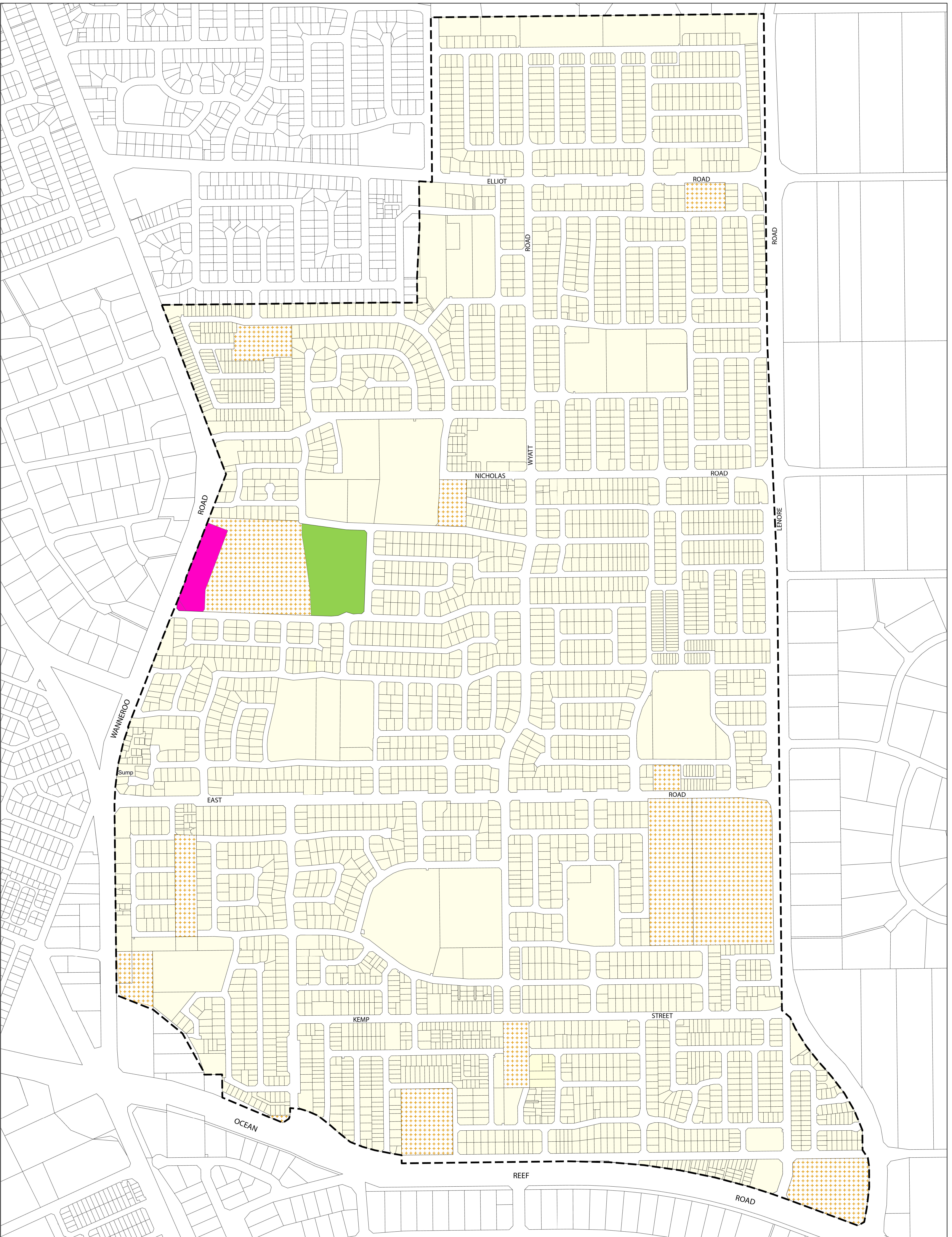
Legend			
	Cell Boundary		CAPS
	Public Open Space (POS)		R30
	School		R40
	Special Use Zone		R25 - R60
	Sump		Area subject to R-MD development standards
			Detail as per Structure Plan
			Refer to detail on DPS2 map






**Plan 1 EAST WANNEROO STRUCTURE PLAN - CELL 4**

COMMENT : Includes Amendments  
1 - 8, 10, 11, 13, 15 - 18, 20, 22- 25, 27-31,33,34,36, 37, 38



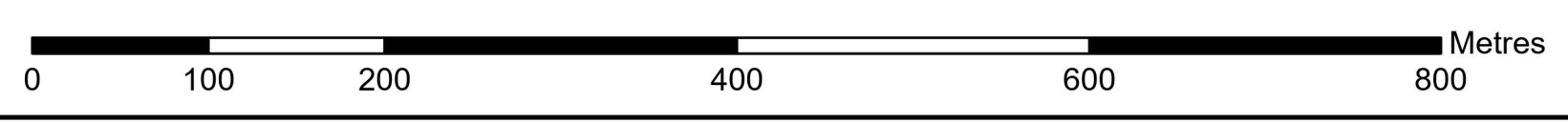




- Legend**
-  Cell Boundary
  -  RESIDENTIAL PRECINCT
  -  SPECIAL USE ZONE
  -  PRIVATE COMMUNITY PURPOSES
  -  Refer to detail on DPS2 map

**Plan 2 EAST WANNEROO CELL 4 - ZONING PLAN**

COMMENT : Includes Amendment 22 & 28 & 38





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# **SCHEME AMENDMENT REPORT**

**AMENDMENT NO. 206  
TO DISTRICT PLANNING SCHEME NO. 2**

# 1.0 Introduction and Background

## 1.1 Site Description and Planning Framework over Amendment Area

The land subject to proposed Amendment No. 206 to DPS 2 (**Amendment No. 206**) is located in parts of the Wanneroo and Hocking localities as well as all of the Pearsall locality (**subject area**). Amendment No. 206 affects land where the City of Wanneroo's (**the City**) East Wanneroo Cell 4 (Hocking and Pearsall) Agreed Local Structure Plan No. 6 (**ASP 6**) and the Hocking Neighbourhood Centre Agreed Local Structure Plan No. 42 (**ASP 42**) currently apply. The total land area affected by ASP 6 and ASP 42 (being the subject area) is approximately 394 hectares.

ASP 6 was initially adopted by the City in September 1999 (and later adopted by the Western Australian Planning Commission in June 2002) to guide subdivision and development over the subject area. The current ASP 6 'structure plan' and 'zoning plan' maps are included as **Figure 1** and **Figure 2**. ASP 42 is a further structure plan specifically prepared for land parcels within the Hocking Neighbourhood Centre site and is situated within the area affected by ASP 6 where shown in **Figure 1** and **Figure 2**. ASP 42 was adopted in May 2004, with its specific purpose being to guide the development of that centre.

The subject area is largely zoned Urban Development under DPS 2 as shown on the plan included in **Figure 3**. Areas in which the zoning has already been normalised under DPS 2 is also shown in **Figure 3**; which either occurred at the time DPS 2 was initially gazetted in July 2001 or as a result of other subsequent DPS 2 amendments.

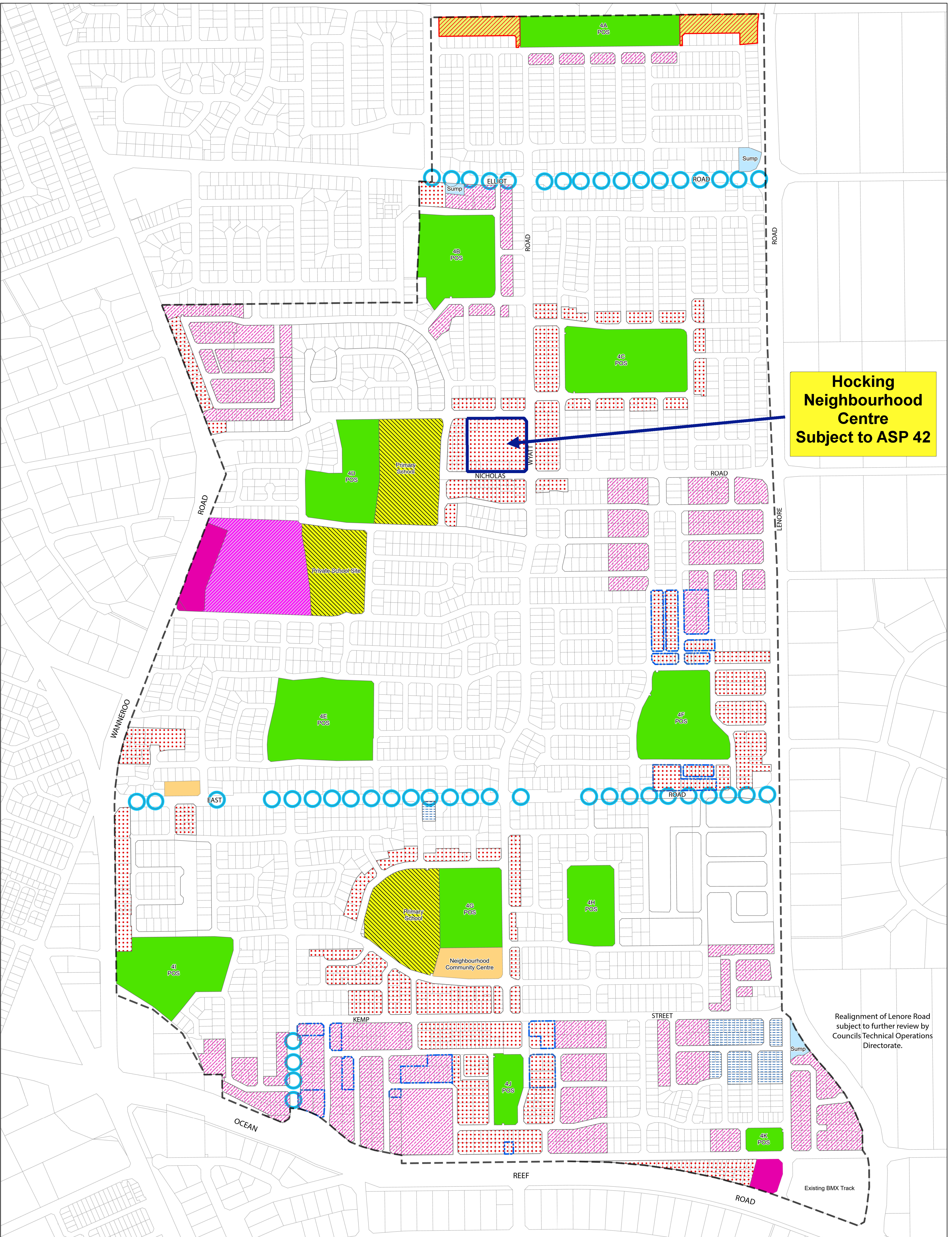
The Urban Development Zone is applied as an interim zone for developing areas, to form a basis for structure planning (such as ASP 6 and ASP 42) to be prepared. Once land is subdivided and becomes established, its zoning can undergo 'normalisation', meaning that the land can be rezoned from Urban Development to a 'permanent' zone (such as Residential, Commercial or Service Commercial) depending on land use. The effect of a structure plan over a respective area could also be considered at that time, with the structure plan amended or revoked as the case requires.

Amendment No. 206 proposes that the zoning over a significant portion of the subject area be normalised. ASP 6 will need to remain in place to provide the planning framework for the land in the subject area that is yet to be developed. ASP 6 can be amended by the Western Australian Planning Commission (**WAPC**) after Amendment No. 206 is approved, to the extent as detailed in this report.

The land within ASP 42 contains commercial development (shopping centre, child care centre, veterinary centre and gym), and is collectively referred to in this report as the **Hocking Neighbourhood Centre**. That land has a 'Commercial' zoning designation in ASP 42, including four lots that are vacant. One vacant lot is over 1,000m<sup>2</sup> in area and is considered capable of supporting a viable commercial development. There are, however, three lots of approximately 300m<sup>2</sup> in area which could be significantly less capable of commercial development. The City's proposed solution to the planning issues relating to the three vacant lots, which has been formulated in consultation with the landowner, is discussed later in the report.

**Figure 3** incorporates the recently gazetted Amendment No. 172 to DPS 2. Amendment No. 172 was a major amendment to bring DPS 2 in line with model provisions for local planning schemes (**model provisions**) provided in the *Planning and Development (Local Planning Schemes) Regulations 2015* (**Regulations**). That amendment was not prepared to consider normalising zoning of land in structure plan areas.



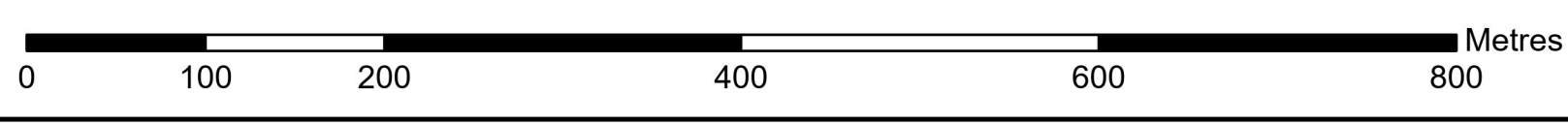


**Hocking Neighbourhood Centre Subject to ASP 42**

Realignment of Lenore Road subject to further review by Councils Technical Operations Directorate.

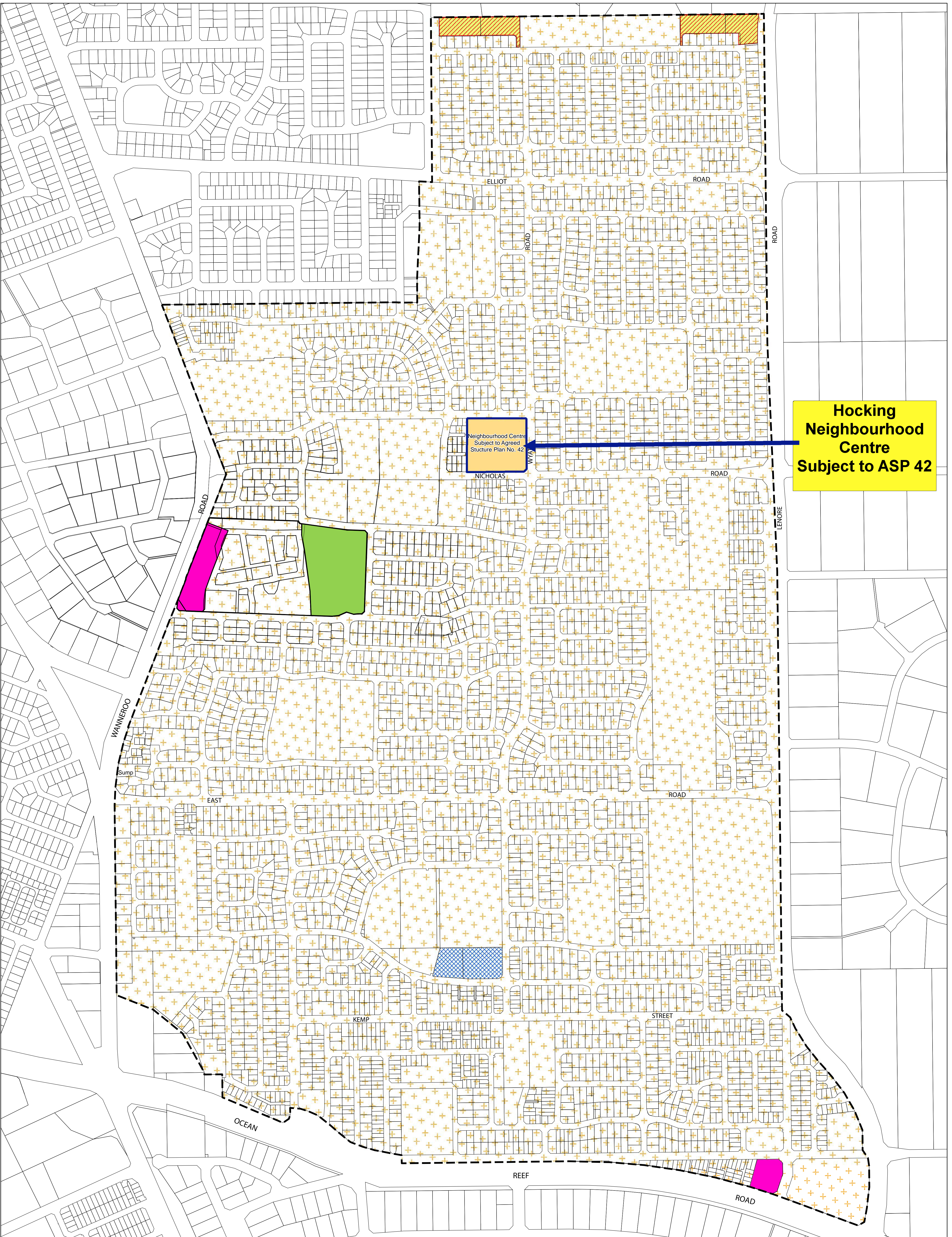
- Legend**
- Neighbourhood Community Centre
  - Public Open Space (POS)
  - School
  - CAPS
  - Area subject to R-MD development standards
  - Special Use Zone
  - Special Residential
  - Sump
  - R25
  - R30
  - R40
  - R25 - R60

**EAST WANNEROO STRUCTURE PLAN - CELL 4**  
 COMMENT : Includes Amendments  
 1 - 8, 10, 11, 13, 15 - 18, 20, 22- 25, 27-31,33,34,36,37,38



**FIGURE 1**





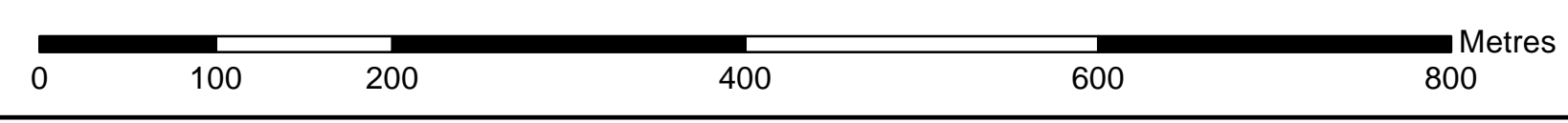
**Hocking  
Neighbourhood  
Centre  
Subject to ASP 42**

Neighbourhood Centre  
Subject to Agreed  
Structure Plan No. 42

- Legend**
- NEIGHBOURHOOD COMMUNITY CENTRE
  - PRIVATE COMMUNITY PURPOSES
  - COMMERCIAL ZONE
  - RESIDENTIAL PRECINCT
  - SPECIAL RESIDENTIAL
  - SPECIAL USE ZONE

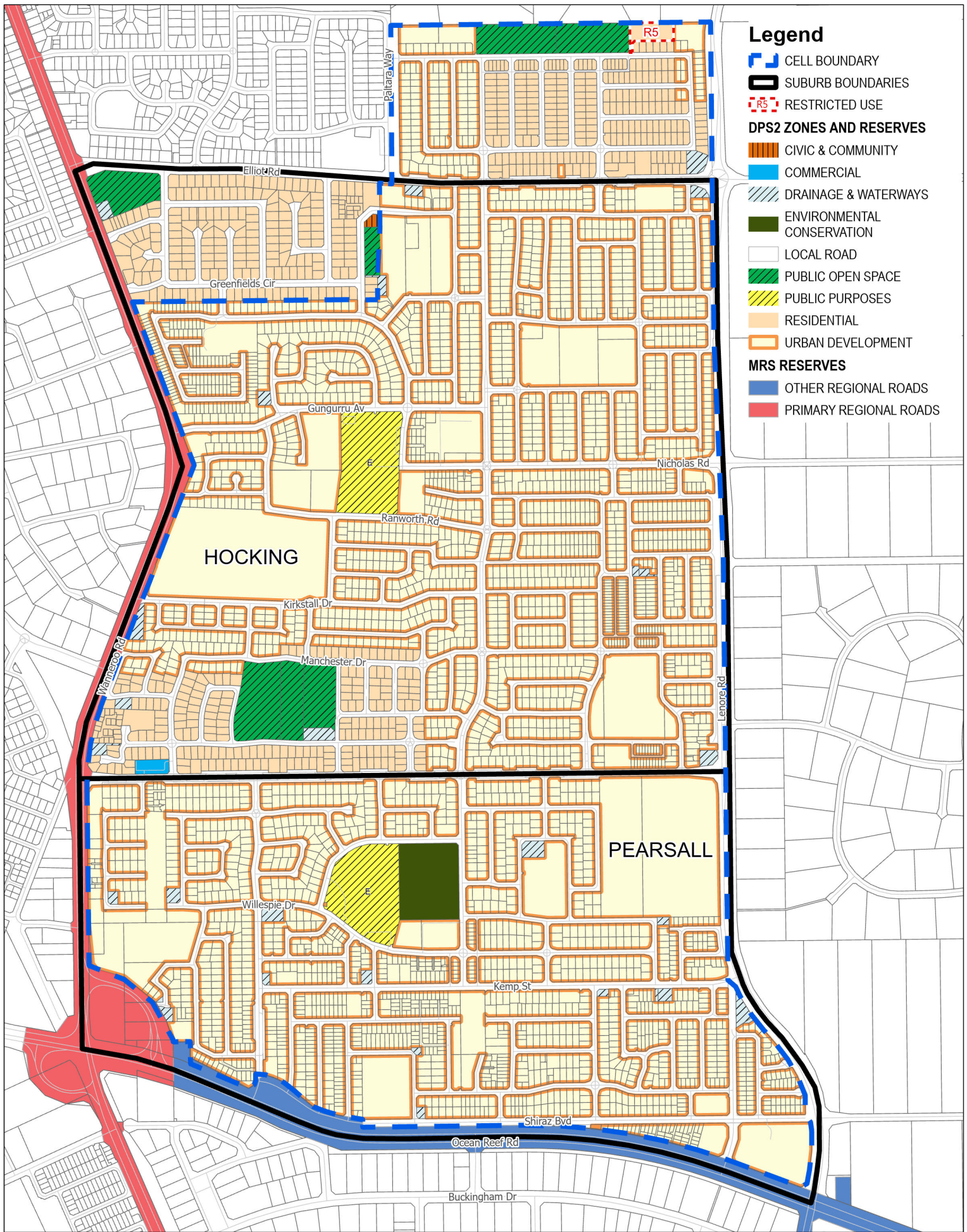
**EAST WANNEROO CELL 4 - ZONING PLAN**

COMMENT : Includes Amendment 22, 28 & 38.



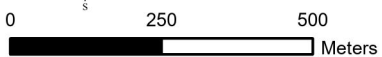
**FIGURE 2**





**CITY OF WANNEROO  
DISTRICT PLANNING SCHEME NO. 2 ZONES  
OVER HOCKING AND PEARSALL**

**FIGURE 3**



## 1.2 Background to the City's Normalisation Process

The City is undertaking various initiatives prior to the preparation of a new Local Planning Scheme No. 3 (**LPS 3**).

To simplify the transition to LPS 3, the City has already aligned DPS 2 with the model provisions through Amendment No. 172. The City is also in the process of preparing a Local Planning Strategy which will inform LPS 3.

The normalisation process (in which Amendment No. 206 is a part of) also removes unnecessary layers of the planning framework and simplifies the extent of changes needed to the Scheme Map when preparing the new Scheme. Normalising a significant portion of the ASP 6 area now will also simplify the future process in finalising and closing the contribution cell (Cell 4). A separate DPS 2 amendment (Amendment No. 208) is seeking to program the Cell 4 operation closure date for 30 June 2033.

The City has a further need to review the necessity of its 64 structure plans, as 52 of which (including ASP 6 and ASP 42) are due to expire in October 2025. The date of expiry is prescribed through the deemed provisions for local planning schemes (**deemed provisions**), contained in Schedule 2 of the Regulations. The City foresees administrative consequences could arise if a vast array of structure plans were left to expire in October 2025 without establishing a staged and controlled process to review and/or normalise structure plans. Therefore, Amendment No. 206 allows for the following to occur, which this report also informs:

- The revocation of ASP 42, the approval of which is set to expire in October 2025; and
- The amendment to ASP 6, acknowledging that it may still need to be in place after its expiry in October 2025. This report also informs a request that will be made to the WAPC to consider an extension to its approval of ASP 6 to 30 June 2033, to allow the subdivision of the remaining undeveloped land to occur within the structure plan area.

## 2.0 Detail of the Amendment and the Subject Area

### 2.1 Amendment No. 206 Proposal

The full extent of what Amendment No. 206 entails as initiated by Council (including the Scheme (Amendment) Maps) is detailed in this document. The key features of Amendment No. 206 are summarised below:

- The rezoning of established residential lots from 'Urban Development' to 'Residential', with R-codings that generally correspond to those currently in the structure plans.
- The resolution of R-coding errors on the Scheme maps which occurred through the approval of Amendment No. 172.
- Rezoning of the Hocking Neighbourhood Centre site (excluding three vacant lots, see below) and the Pearsall Neighbourhood Centre from 'Urban Development' to 'Commercial'. Amendment No. 206 also seeks to transfer the same maximum retail net lettable area (NLA) prescribed in ASP 6 for the commercial land, and place these into the relevant DPS 2 schedule.
- Rezoning three small vacant landholdings in the Hocking Neighbourhood Centre from 'Urban Development' to 'Mixed Use', to facilitate the development of commercial and/or residential land uses.
- Rezoning the Pearsall Community Centre site located on Willespie Drive (and owned by the City in freehold) from 'Urban Development' to 'Commercial'.
- Applying a Service Commercial zone over land located on the corner of Ocean Reef Road and Cabernet Loop, Pearsall to Service Commercial. This site provides a service station, drive-through coffee and car wash development. Amendment No. 206 also proposes to restrict the uses capable of approval in this Service Commercial Zone, based on the current provisions of ASP 6.
- The classifying of public open spaces, drainage sites and utility sites in the subject area as 'Local Scheme Reserves' which did not occur through Amendment No. 172.

A full description on what Amendment No. 206 is proposing in respect to the land in the subject area is as follows:

Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
Numerous residential lots shown on the Scheme (Amendment) Maps.	<p>These lots will be rezoned from 'Urban Development' to 'Residential' – and given R-coding that generally correspond to what is outlined in the structure plan.</p> <p>Minor differences between the R-Codings proposed for certain lots in Amendment No. 206, and what ASP 6 mapping is detailing, are explained further in Section 4 of this report.</p>
0.1m pedestrian accessway lots (or portions of 0.1m pedestrian accessway lots) adjoining the residential lots referred to above.	<p>These land parcels are also known as 'spite strips' and act to prevent vehicular access onto residential lots from adjoining roads.</p> <p>For consistency, Amendment No. 206 also proposes to zone these land parcels 'Residential' and apply R-codings consistent with the adjoining lot.</p>



Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
<ul style="list-style-type: none"> <li>• Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);</li> <li>• Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907); and</li> <li>• Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).</li> </ul>	<p>As opposed to Lot 385 (see below), Amendment No. 172 did not apply a Residential (R2) Zone or a Restricted Use area over these lots. The listed lots are currently zoned Urban Development, which is unchanged from the time prior to when Amendment No. 172 being approved.</p> <p>The listed lots are designated Special Residential Zone in ASP 6, with a minimum lot size of 5,000m<sup>2</sup> (equivalent to the R2 density).</p> <p>Amendment No. 172 removed the Special Residential Zone from the City's planning framework. Consistent with a position of the WAPC, Amendment No. 172 rezoned former Special Residential lots as 'Residential' and applied low-density R-codings (between R2 and R5) depending on lot sizes. Former Special Residential zoned lots were also placed into Restricted Use areas through Amendment No. 172 to limit land use permissibility.</p> <p>Similarly, Amendment No. 206 proposes to zone the subject lots Residential (R2). Also, Amendment No. 206 will place the lots into a Restricted Use area (R7), allowing land use permissibility to be limited to that applied in similar Restricted Use areas located elsewhere in the Scheme area.</p> <p>Through Amendment No. 206, the City has taken the development provisions applicable over these lots in ASP 6 and converted them into Restricted Use area conditions.</p>
<p>Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908).</p>	<p>This lot is already zoned Residential (R2) as a result of Amendment No. 172, which rezoned the land from Special Residential. That prior amendment did not, however, apply the Residential Zone or density code over the three lots mentioned immediately above.</p> <p>The approval of Amendment No. 172 also incorporated this lot into the Restricted Uses ('R5') area on the Scheme Map. However, the Scheme text provides 'Conditions' for that Restricted Use area which relate more specifically to land in the Banksia Grove and Carramar localities.</p> <p>To resolve this anomaly, Amendment No. 206 proposes to include this lot into the new Restricted Use area (R7), to be created for this lot and the three lots mentioned above.</p>
<ul style="list-style-type: none"> <li>• Lot 377 (101) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 378 (103) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 379 (105) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 380 (107) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 381 (109) Stockholm Road, Wanneroo (on DP: 68738); and</li> <li>• Lot 382 (111) Stockholm Road, Wanneroo (on DP: 68738).</li> </ul>	<p>Prior to the approval of Amendment No. 172, these lots were zoned Special Residential. This was an anomaly that was partially resolved through Amendment No. 172, which rezoned these lots to Residential.</p> <p>Amendment No. 172, however, did not assign an R-coding over these lots. To resolve the outstanding anomaly, and consistent with what is shown in ASP 6, Amendment No. 206 proposes to apply the R20 coding over these lots.</p>
<p>Portion Lot 167 (10) Siderno Rose, Hocking (on D: 97051) – now strata subdivided.</p>	<p>The land that comprises of Lot 167 provides a grouped dwelling development. The land was zoned Residential (R40) prior to Amendment No. 172. However, due to an anomaly with the approval of Amendment No. 172, the western portion of the land became coded R20 with the remainder of the development coded R40.</p> <p>Amendment No. 206 resolves this anomaly by ensuring that the entire grouped dwelling development has a density coding of R40.</p>

Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
<p>Lot 888 (25) Siderno Rose, Hocking (on DP: 40157) – now strata subdivided.</p>	<p>The land that comprises of Lot 888 provides a grouped dwelling development.</p> <p>The land was zoned Residential prior to Amendment No. 172 and had an R20 coding. This was inconsistent with the density of the development – as well as ASP 6 which designates the development site as R40.</p> <p>Following the approval of Amendment No. 172, any density code that applied for this development through DPS 2 was removed. Amendment No. 206 resolves this anomaly by proposing that the grouped dwelling development has a density coding of R40 in DPS 2, consistent with ASP 6.</p>
<ul style="list-style-type: none"> <li>• Lot 435 (61F) Gungurru Avenue, Hocking (on P: 20263);</li> <li>• Lot 404 (2F) Rosedale Vista, Hocking (on P: 23453);</li> <li>• Lot 1595 (32F) Kirkstall Drive, Hocking (on P: 23584);</li> <li>• Lot 75 (36F) Amberley Way, Pearsall (on P: 21968); and</li> <li>• Lot 178 (1F) Goundrey Drive, Pearsall (on P: 23214).</li> </ul>	<p>The lots are Western Power padmounts. All the listed land parcels are currently zoned Urban Development, and adjoin residential lots which are proposed to be rezoned to Residential (R20) through Amendment No. 206.</p> <p>It is therefore proposed that these padmounts also be rezoned Residential R20, to be consistent with the adjoining residential lots.</p>
<ul style="list-style-type: none"> <li>• Lot 76 (2) Ashbrook Avenue, Pearsall (on P: 22573); and</li> <li>• Lot 241 (46) Willespie Drive, Pearsall (on P: 23905)</li> </ul>	<p>Lot 76 is a 83.5m<sup>2</sup> Telstra utility site. The land is surrounded by the Pearsall Primary School site, which is a Local Scheme Reserve for Education.</p> <p>Lot 241 is a 15m<sup>2</sup> Western Power padmount. The land is surrounded by a land parcel that forms part of the Willespie Park, which is proposed to be classified as a Local Scheme Reserve for Public Open Space.</p> <p>Amendment No. 206 proposes to reclassify these lots from the 'Urban Development' zone to 'Local Scheme Reserve – Public Purposes' to correspond with the use and purpose of the land parcels.</p>
<ul style="list-style-type: none"> <li>• Lot 16 (36) Vignerons Loop, Hocking (on DP: 404645);</li> <li>• Lot 3000 (37) Toledo Drive, Hocking (on DP: 75489); and</li> <li>• Lot 8000 (14) Lamont Link, Pearsall (on DP: 404818).</li> </ul>	<p>The lots listed are Crown Land parcels that have a drainage function. Although the recently approved Amendment No. 172 imposed the Local Scheme Reserve for Drainage/Waterway over most drainage sites in the ASP 6 area, this did not occur over the listed lots.</p> <p>Amendment No. 206 proposes to reclassify these lots from the 'Urban Development' zone to 'Local Scheme Reserve – Drainage/Waterway' to correspond with the use and purpose of the land parcels.</p>
<ul style="list-style-type: none"> <li>• Lot 1001 (74) Gungurru Avenue, Hocking (on DP: 401961);</li> <li>• Lot 1000 (100) Gungurru Avenue, Hocking (on DP: 401961); and</li> <li>• Lot 1100 (174) Nicholas Road, Hocking (on DP: 401961)</li> </ul>	<p>These lots contain commercial development – being a gym and veterinary centre (on Lot 1001), a shopping centre (on Lot 1000) and a child care centre (on Lot 1100).</p> <p>Amendment No. 206 proposes to:</p> <ul style="list-style-type: none"> <li>• Zone these lots 'Commercial (R40)' consistent with ASP 42; and</li> <li>• Apply a 4,250m<sup>2</sup> maximum retail NLA for the Hocking Neighbourhood Centre and insert this into Schedule 7 of DPS 2. It is proposed that DPS 2 will allow retail NLA to increase to 5,500m<sup>2</sup> if certain access requirements are met as discussed in Section 4.9 below.</li> </ul>

Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
<p>Lot 1101 (166) Nicholas Road, Hocking (on DP: 401961)</p>	<p>A vacant site of 1,029m<sup>2</sup> in area which adjoins the existing commercial development in the Hocking Neighbourhood Centre.</p> <p>Given the potential for this site to support Commercial development, Amendment No. 206 proposes to apply the Commercial (R40) zoning, consistent with ASP 42. Lot 1101 would also be included in the area subject to the maximum retail NLA proposed in Schedule 7 for the Hocking Neighbourhood Centre.</p>
<ul style="list-style-type: none"> <li>• Lot 1002 (188) Nicholas Road, Hocking (on DP: 401961);</li> <li>• Lot 1003 (186) Nicholas Road, Hocking (on DP: 401961); and</li> <li>• Lot 1004 (184) Nicholas Road, Hocking (on DP: 401961).</li> </ul>	<p>These vacant sites are approximately 300m<sup>2</sup> in area and adjoin the existing commercial development in the Hocking Neighbourhood Centre. The land has a Commercial (R40) under ASP 42.</p> <p>The size and dimensions of the lots render it difficult for a range of viable commercial land uses to be carried out. Furthermore,, if applying the 'Commercial' zoning designation in ASP 42, most forms of residential development would not be permitted.</p> <p>In consultation with the landowner of the three lots, a Mixed Use zone is proposed over these lots, which is capable of supporting a broader range of land uses (commercial or residential) which would may be more suitable for these lots. The R40 density coding will also be applied, consistent with ASP 42.</p>
<p>Lot 594 (30) Ranworth Road, Hocking (on P: 23204)</p>	<p>Currently, the eastern part of the site is occupied by a Catholic Primary School, with the remainder of the site being vacant.</p> <p>The entire site was previously identified in ASP 6 as a Private School site. However, with the WAPC's recent approval of Amendment No. 38 to ASP 6 the zoning designations have changed to:</p> <ul style="list-style-type: none"> <li>▪ Limit the area of the 'Private School';</li> <li>▪ Show a Residential zoning over the central part of the site; and</li> <li>▪ Show the western part of the site (fronting Wanneroo Road) as being part of a Special Use Zone.</li> </ul> <p>Amendment No. 38 also adds text provisions in relation to future subdivision and development of Lot 594.</p> <p>In light of the WAPC's approval of Amendment No. 38, and development of Lot 594 not yet achieving what is now prescribed in ASP 6, it is proposed that the lot remain in the Urban Development Zone.</p>
<ul style="list-style-type: none"> <li>• Lot 267 (155) Willespie Drive, Pearsall (on DP: 61961)</li> <li>• Lot 271 (125) Willespie Drive, Pearsall (on DP: 61961)</li> </ul>	<p>These lots comprise of the ASP 6 Pearsall Neighbourhood Community Centre. Lot 267 is a Neighbourhood Centre site and Lot 271 provides the City's Pearsall Community Centre.</p> <p>Amendment No. 206 proposes to zone these lots 'Commercial' consistent with ASP 6. The amendment will also apply a density coding of R40, even though no density code is designated for this lot in the structure plan.</p> <p>Amendment No. 206 will also take the 2,100m<sup>2</sup> retail floorspace cap for the ASP 6 Pearsall Neighbourhood Community Centre and insert this into Schedule 7 of DPS 2.</p>



Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
<ul style="list-style-type: none"> <li>• Portion Lot 12495 (13) Amery Road, Hocking (on P: 20264);</li> <li>• Lot 15308 (13) Amery Road, Hocking (on DP: 38680);</li> <li>• Lot 15307 (13) Amery Road, Hocking (on DP: 38680);</li> <li>• Lot 15581 (13) Amery Road, Hocking (on DP: 41047);</li> <li>• Lot 3001 (38) Barcelona Terrace, Hocking (on DP: 42362);</li> <li>• Lot 3002 (11) Chesterfield Avenue, Hocking (on DP: 42362);</li> <li>• Lot 3003 (21) Chesterfield Avenue, Hocking (on DP: 43647);</li> <li>• Lot 3004 (11) Chesterfield Avenue, Hocking (on DP: 43649);</li> <li>• Lot 3007 (11) Chesterfield Avenue, Hocking (on DP: 46866);</li> <li>• Lot 3006 (11) Chesterfield Avenue, Hocking (on DP: 46864);</li> <li>• Lot 3008 (25) Sacramento Parade, Hocking (on DP: 48972);</li> <li>• Lot 13174 (46) Gungurru Avenue, Hocking (on D: 95589);</li> <li>• Lot 14459 (46) Gungurru Avenue, Hocking (on P: 24233);</li> <li>• Lot 13414 (46) Gungurru Avenue, Hocking (on D: 95390);</li> <li>• Lot 93 (14) Hinckley Parkway, Hocking (on P: 24256);</li> <li>• Lot 300 (16) Hinckley Way, Hocking (on DP: 410457);</li> <li>• Lot 8002 (17) Copenhagen Drive, Hocking (on DP: 56911);</li> <li>• Lot 240 (50) Willespie Drive, Pearsall (on P: 23905);</li> <li>• Lot 3000 (58) Willespie Drive, Pearsall (on DP: 54213);</li> <li>• Lot 13635 (62) Willespie Drive, Pearsall (on P: 23214);</li> <li>• Lot 15058 (62) Willespie Drive, Pearsall (on P: 24125);</li> <li>• Lot 8000 (62) Willespie Drive, Pearsall (on DP: 42994);</li> <li>• Lot 756 (5) Salitage Link, Pearsall (on DP: 51894);</li> <li>• Lot 753 (5) Salitage Link, Pearsall (on DP: 43686);</li> <li>• Lot 8000 (5) Salitage Link, Pearsall (on DP: 61198);</li> <li>• Lot 109 (10) Busch Parkway, Pearsall (on DP: 24468); and</li> <li>• Lot 78 (2) Voyager Link, Pearsall (on DP: 67113).</li> </ul>	<p>The lots listed are Crown Land parcels having a public open space function, consistent with what is shown in the ASP 6 Structure Plan map. As a result, Amendment No. 206 proposes to classify these lots as 'Local Scheme Reserve – Public Open Space' in DPS 2.</p>

Locations within the ASP 6 Area	Discussion of Proposal through Amendment No. 206 to DPS 2
Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987).	<p>This lot contains a service station, drive-through coffee and car wash development. ASP 6 currently applies a Special Use Zone over this site, limiting land use permissibility to 'Service Station', 'Convenience Store', 'Car Wash' and 'Drive-Through Food Outlet'.</p> <p>Given direction the City has received from the WAPC to limit the use of Special Use Zones, Amendment No. 206 proposes to:</p> <ul style="list-style-type: none"> <li>• Zone this lot Service Commercial; and</li> <li>• Apply a Restricted Use area which will list the land uses permissible on the lot (which will be generally consistent with ASP 6).</li> </ul> <p>Restricted Use conditions are also proposed to be applied over this lot, consistent with those which currently apply through ASP 6.</p>
<ul style="list-style-type: none"> <li>• Portion Lot 56 (1435P) Ocean Reef Road, Pearsall (on P: 14380); and</li> <li>• Lot 55 (3P) Lenore Road, Pearsall (on D: 98987).</li> </ul>	<p>These land parcels are spite strips which act to restrict access to Lot 50.</p> <p>Consistent with what is proposed to Lot 50, Amendment No. 206 proposes to apply the Service Commercial zone over these lots.</p>
All other lots in the subject area.	No changes proposed in Amendment No. 206.

## 2.2 Further Actions Required to ASP 6 and ASP 42

Following an approval that the Minister for Planning may grant for Amendment No. 206 to DPS 2, the WAPC will also need to consider revoking its approval of ASP 42 and amending ASP 6. To facilitate this, the Amendment No. 206 proposal includes a statement pursuant to Regulations 35A(a) and 35A(b) of the Regulations, which is included in the resolution at the commencement of this document.

Amendments recommended to the ASP 6 text are further detailed in a tracked change version of the structure plan document, provided in **Appendix 1**. Modifications to the plans are provided in the Structure Plan (Amendment) Maps, enclosed in the resolution at the commencement of this document.

Further detail on the WAPC's process in revoking ASP 42 and amending ASP 6 is provided in Section 5 and Section 6 of this report respectively.

## 2.3 DPS 2 Amendment Type

The City's Council (**Council**) has resolved that proposed Amendment No. 206 to DPS 2 meets the following criteria for 'Standard Amendments' in the context of Regulation 34 of the Regulations:

- a) *an amendment to the scheme so that it is consistent with a region planning scheme that applies to the scheme area, other than an amendment that is a basic amendment; and*
- b) *an amendment that would have minimal impact on land in the scheme area that is not the subject of the amendment.*

### 3.0 Consultation

The amendment will be referred to the Environmental Protection Authority (EPA) pursuant to Section 81 and 82 of the *Planning and Development Act 2005*.

Further to the EPA referral process, Amendment No. 206 will also need to be referred to the Minister for Planning, for approval to advertise pursuant to Section 83A of the *Planning and Development Act 2005*. Under this section of the *Planning and Development Act 2005*, the Minister may:

- (a) Approve a proposed scheme amendment for advertising; or
- (b) Require the local government to modify the scheme amendment, and resubmit it to the Minister for further consideration; or
- (c) Refuse approval for the proposed amendment to be advertised. Should the Minister make this decision, the local government cannot proceed with the proposed amendment.

Following those referral processes, and as Council resolved for Amendment No. 206 to be a standard amendment, Amendment No. 206 will then be advertised for public comment for a period of 42 days. Advertising is to occur in the following manner, pursuant to Regulations 47 and 76A of the *Planning and Development (Local Planning Schemes) Regulations 2015*:

- A notice of the amendment published on the City's website – and upload the amendment documentation;
- Making a copy of the amendment document available for public inspection at a place within the district during normal business hours (City's Civic Centre);
- Publishing a notice in a newspaper circulating in the relevant locality;
- Notifying public authorities likely to be affected by the amendment; and
- Advertising the amendment as directed by the WAPC and in any other way the local government considers appropriate.

In addition to the above, the City will write to landowners and occupiers of land that it considers could be most affected by the DPS 2 amendment.

The process to prepare, amend and revoke structure plans is set out in the deemed provisions. The deemed provisions do not specifically outline advertising for the revocation and/or amendments to structure plans after the Minister for Planning's approval of a local planning scheme amendment. However, when Amendment No. 206 is advertised, the City can ensure that potential submitters are also made aware of the City's intentions to have ASP 42 revoked and ASP 6 amended.

## 4.0 Planning Comment on Amendment to DPS 2

### 4.1 Approval of Amendment No. 172 and Effect on Land in ASP 6

The current DPS 2 map for the subject area is provided as **Figure 3** (in Section 1.1 of this report). That plan captures changes made to the scheme map made through Amendment No. 172 to DPS 2, which is now approved.

Relevant to the subject area, the recent approval and gazettal of Amendment No. 172 resulted in the following modifications being made to the DPS 2 mapping:

Locations within the ASP 6 Area	Modifications made through Amendment No. 172
Road reserves within the Wanneroo, Hocking and Pearsall localities <i>(excluding Wanneroo Road and Ocean Reef Road).</i>	Prior to the approval of Amendment No. 172, the road reserves generally had a zoning or reservation consistent with the adjoining land (typically the Urban Development Zone in this case).  However, Amendment No. 172 introduced a 'Local Road' local scheme reserve, which has been applied over most gazetted roads in the subject area.
Lot 15018 (42) Ashbrook Avenue, Pearsall (on DP: 36337)	A 'Conservation' local scheme reserve was introduced through Amendment No. 109 to DPS 2, as gazetted in December 2015. That amendment also applied this local scheme reserve type over this lot.  Amendment No. 172 then modified the naming convention of this reserve type to 'Environmental Conservation'.
Various drainage sites in the Wanneroo, Hocking and Pearsall localities	Amendment No. 172 to DPS 2 imposed Local Scheme Reserves for the purpose of 'Drainage/Waterway' over most of the drainage sites in the subject area (with exception of those identified in Section 2.1 of this report).  Prior to the approval of Amendment No. 172, these drainage sites were zoned Urban Development.
<ul style="list-style-type: none"> <li>• Lot 500 (50) Gungurru Avenue, Hocking (on DP: 59309); and</li> <li>• Lot 500 (20) Ashbrook Avenue, Pearsall (on DP: 414380).</li> </ul>	These are public primary school sites which were included within the Urban Development Zone prior to the approval of Amendment No. 172.  Since the approval of Amendment No. 172, the school sites are now Local Scheme Reserves for Public Purposes (Education).
<ul style="list-style-type: none"> <li>• Lot 3001 (63) Stockholm Road, Wanneroo (on DP: 60383); and</li> <li>• Lot 3002 (65) Stockholm Road, Wanneroo (on DP: 60385).</li> </ul>	These lots make up Sheffield Park, and therefore have a public open space function. Amendment No. 172 reclassified these lots from Special Residential zone to Local Scheme Reserve for public open space, consistent with the use and purpose of the land.
Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908)	Prior to the approval of Amendment No. 172, this lot was zoned Special Residential. As discussed in Section 2.1 above, Amendment No. 172 rezoned this lot to Residential (R2) and included it in Restricted Use area (R5).

Locations within the ASP 6 Area	Modifications made through Amendment No. 172
<ul style="list-style-type: none"> <li>• Lot 377 (101) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 378 (103) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 379 (105) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 380 (107) Stockholm Road, Wanneroo (on DP: 68738);</li> <li>• Lot 381 (109) Stockholm Road, Wanneroo (on DP: 68738); and</li> <li>• Lot 382 (111) Stockholm Road, Wanneroo (on DP: 68738).</li> </ul>	<p>Prior to the approval of Amendment No. 172, these lots were zoned Special Residential. Amendment No. 172 rezoned these lots to Residential, but applied no density coding.</p> <p>To resolve the outstanding anomaly with the R-coding, and consistent with what is shown in ASP 6, Amendment No. 206 proposes to apply the R20 coding over these lots. This is also discussed in Section 2.1 above.</p>
<p>29 residential lots on Stockholm Road, bound by Montreal Street and Tampa Lane, Wanneroo</p>	<p>Prior to the approval of Amendment No. 172, these lots were zoned Residential (R20). This was inconsistent with ASP 6 and the size of the lots, which reflect an R30 coding.</p> <p>Amendment No. 172 resolved the anomaly and applied an R30 coding in DPS 2 over these lots.</p>
<p>Portion Lot 167 (10) Siderno Rose, Hocking (on D: 97051) – now strata subdivided.</p>	<p>The land that comprises of Lot 167 provides a grouped dwelling development. The land was zoned Residential R40 prior to Amendment No. 172. However, due to an anomaly with the approval of Amendment No. 172, the western portion of the land became coded R20 with the remainder of the development remaining coded R40.</p> <p>Amendment No. 206 resolves this anomaly, as discussed in Section 2.1 above.</p>
<p>Lot 888 (25) Siderno Rose, Hocking (on DP: 40157) – now strata subdivided.</p>	<p>The land was zoned Residential prior to Amendment No. 172 and had an R20 coding. The approval of Amendment No. 172 removed a density code over this land.</p> <p>Amendment No. 206 resolves this anomaly, as discussed in Section 2.1 above.</p>

The approval of Amendment No. 172 did not result in any material changes to the DPS 2 mapping in relation to the land affected by ASP 42.

#### 4.2 Differences between Amendment No. 206 and ASP 6

Amendment No. 206 is proposed to generally take the zoning, reservation and R-codings from the ASP 6 ‘structure plan’ and ‘zoning plan’ maps – and impose those into DPS 2. There are, however, some minor variances between what Amendment No. 206 is proposing and what ASP 6 details, which the City considers are justified.

In investigating the history and approvals of previous structure plan amendments, the City identified some minor errors on the ASP 6 maps in respect to the zoning designation and R-coding of land. Amendment No. 206 was then prepared taking into account the errors identified in this structure plan.

Through those investigations, the City also identified instances where local development plans have guided residential development to an incorrect R-coding. Amendment No. 206 also takes this into consideration when nominating proposed R-codings on land in the subject area.



Some variances between what is proposed in Amendment No. 206 and what is shown in ASP 6 are highlighted and detailed (with accompanying maps) in a table included in **Appendix 2** of this report. Further departures that the Amendment No. 206 proposal has made to what is prescribed in ASP 6 are identified and explained further in the following subsections of this report.

The City did not identify any such errors in the ASP 42 mapping. However, there are inconsistencies with what is proposed in Amendment No. 206 with the ASP 42 mapping, and these are explained in this report (particularly Section 4.10 below).

### **4.3 Rezoning of Spite Strips**

The subject area contains numerous pedestrian accessways (or 'spite strips') which act to prevent vehicular access onto lots from adjoining roads. Most of the spite strips are only 0.1 metres in width, but there are some that are wider. Spite strips are no longer used to restrict access to lots, with specific provisions under the *Planning and Development Act 2005* now used to control access to lots.

Although small, narrow and seemingly insignificant, spite strips are separate Crown Land parcels that do exist in the subject area. All the spite strips in the subject area are also currently zoned Urban Development under DPS 2. Amendment No. 206 needs to also specifically attend to these 'strips' of Urban Development zoned within the subject area.

Therefore, for consistency, Amendment No. 206 also proposes to rezone the spite strips from Urban Development to a zone and R-coding consistent with adjoining land parcels.

### **4.4 Rezoning of Utility Sites**

In preparing Amendment No. 206, the City identified numerous Western Power padmount lots, as well as Telstra utility sites. These sites are owned by utility providers in freehold and are identified in Section 2.1 above. As with most land in the subject area, DPS 2 currently imposes an Urban Development zone over these landholdings.

Neither the padmounts or Telstra utility site are identified in ASP 6, as their location only become known and established through subdivision.

To avoid pockets of Urban Development zoned land to remain where these services are located, it is proposed that:

- The padmount sites adjoining residential lots be rezoned to Residential (R20). This will match the density of the adjoining residential lots; and
- The padmount and Telstra utility sites adjoining proposed local scheme reserves also be reclassified as reserve (Local Scheme Reserve – Public Purposes).

### **4.5 Rationale in Retaining Urban Development Zoning on Relevant Lots**

Although Amendment No. 206 seeks to normalise the zoning, local scheme reservation and R-codings over much of the subject area, the City considered it appropriate to retain the Urban Development zoning over certain land parcels. The Urban Development zoning remains over the following parts of the subject area:

- Lot 594 (30) Ranworth Road, Hocking, which is the land subject to the WAPC's July 2023 approval of Amendment No. 38 to ASP 6. Amendment No. 38 changed the zoning designations over Lot 594 in ASP 6 and imposed provisions in the structure plan which

specifically guide development and subdivision of this land. The subdivision and development envisaged through Amendment No. 38 is yet to occur.

- Lot 8 (590) Wanneroo Road and Lot 1 (614) Wanneroo Road, Pearsall, which are owned by Main Roads Western Australia (MRWA) in Freehold. MRWA took possession of these landholdings to facilitate major upgrades recently completed for the Ocean Reef Road/Wanneroo Road intersection.

ASP 6 currently designates these sites as public open space. Future considerations for the zoning or reservation of Lot 8 and Lot 1 may be made when the City prepares LPS 3 or at some other time in the future (in consultation with MRWA).

- There are numerous larger landholdings in the ASP 6 area (over 2,500m<sup>2</sup> in area) which are capable of further residential subdivision and development. It is proposed that these landholdings remain in the Urban Development Zone, to allow the structure plan to guide zoning and R-coding. The structure plan, being a more flexible planning instrument than the Scheme, would better guide further subdivision and development of these lots. Furthermore, amending provisions, zoning and R-codings provided in a structure plan is also a less costly and time-consuming process for landowners to pursue – compared to the process of undertaking equivalent amendments to a local planning scheme.

The City considered that there was a reduced development prospect for ‘homestead’ lots smaller than 2,500m<sup>2</sup> in area. Amendment No. 206, therefore, applies the Residential Zone over these smaller homestead lots and assigns an R-coding as taken from ASP 6. The planning framework does not prevent the landowners of these smaller homestead lots to pursue a change of R-coding after Amendment No. 206 is approved. However, any change would need to occur through the scheme amendment process, rather than through amending ASP 6.

#### **4.6 Low-Density Residential Lots**

There are four low-density residential lots (of 5,000m<sup>2</sup> or more) located in the northern extent of the subject area. These lots are within the Special Residential Precinct in ASP 6, and were required to have a 5,000m<sup>2</sup> minimum lot size under the structure plan. These lots – together with the land parcels that comprise of the adjoining Sheffield Park – serve the purpose of creating a buffer or transition between the residential development to the south (within ASP 6) and rural-residential lots (of one hectare or more) to the north.

The recent approval of Amendment No. 172 has removed the Special Residential Zone from DPS 2. This was reflective of a WAPC position that local planning frameworks remove the Special Residential Zone; and instead use the ‘Residential’ zone with a low density code.

At present, only one of the four lots (Lot 385 (99) Stockholm Road) is zoned Residential (R2). Lot 385 was zoned Special Residential under DPS 2 prior to the approval of Amendment No. 172. This was modified through Amendment No. 172 in response to WAPC’s position as mentioned above. The remaining three lots within the ASP 6 Special Residential Precinct are currently zoned Urban Development, which is unchanged following the approval of Amendment No. 172.

Noting the WAPC position, Amendment No. 206 ensures that the Residential zone is applied over all four lots within the existing ASP 6 Special Residential Precinct. Considering the subject lots have an area of at least 5,000m<sup>2</sup>, a density coding of R2 would be the only R-coding that would be appropriate.

Similar to other former Special Residential zoned areas in DPS 2, Amendment No. 206 proposes to place the four subject lots into a Restricted Use area. This allows land use permissibility to be limited to that previously applying over the former Special Residential Zone.

The approval of Amendment No. 172 placed Lot 385 in Restricted Use area 'R5'. However, Schedule 3 of the DPS 2 text describes the Restricted Use area R5 as also being located in the Carramar and Banksia Grove localities. The conditions of Restricted Use area R5 in Schedule 3 are more specific to the lots in the Carramar and Banksia Grove localities – and have little relevance to the land within the existing ASP 6 Special Residential Precinct.

Through Amendment No. 206, the City has created a new and unique Restricted Use area (R7) to apply solely over the four subject lots. Schedule 3 of the DPS 2 text will list the restricted set of land uses permissible over the four lots, which will be consistent with the land use permissibility of the Special Residential Zone prior to the approval of Amendment No. 172. As detailed in the table in **Appendix 3**, development in this Restricted Use area will be subject to conditions, which are derived from ASP 6 provisions pertaining to the Special Residential Precinct.

#### **4.7 R-Coding Anomalies – Stockholm Road and Siderno Rise, Hocking**

With land in the subject area where the Residential zoning has already been normalised, there are anomalies with the R-coding that have been identified.

One such anomaly exists over six lots on Stockholm Road, Wanneroo, each of which are between 522m<sup>2</sup> and 540m<sup>2</sup> in area. Prior to the approval of Amendment No. 172, these lots were zoned Special Residential under DPS 2. The creation of the lots did not take the DPS 2 Special Residential zone into consideration; but rather, the lots were created in a manner consistent with the Residential (R20) designation shown in ASP 6. The approval of Amendment No. 172 only partially resolved this anomaly, by rezoning the six lots to Residential – but applied no density code. Amendment No. 206 seeks to fully resolve the DPS 2 issues relating to these six lots and apply the R20 density code.

R-coding anomalies in DPS 2 have also been identified over grouped dwelling sites on Siderno Rise, Hocking. These anomalies are proposed to be resolved through Amendment No. 206 as discussed further below:

- On portion Lot 167 (10) Siderno Rose, Hocking – now strata subdivided. Prior to the approval of Amendment No. 172, the entire grouped dwelling development was zoned Residential (R40). However, due to an anomaly with the approval of Amendment No. 172, the western portion of the land became coded R20 with the remainder of the development coded R40. Amendment No. 206 proposes to resolve the anomaly and recode the western portion of the land back to R40.
- On Lot 888 (25) Siderno Rose, Hocking – now strata subdivided. Although the grouped dwelling development was undertaken to a density of R40 consistent with ASP 6, the land was zoned Residential R20 prior to the approval of Amendment No. 172. Following the approval of Amendment No. 172, any R-coding that applied for this development through DPS 2 was removed. Amendment No. 206 resolves this anomaly by ensuring that the grouped dwelling development has a density coding of R40 through DPS 2, consistent with what is shown in ASP 6.

#### **4.8 Pearsall Neighbourhood Community Centre**

ASP 6 sets a framework for a 'Neighbourhood Community Centre' on Willespie Drive, Pearsall. This 'Neighbourhood Community Centre' provides an activity centre on Lot 267

(155) Willespie Drive (**Pearsall Neighbourhood Centre**) – and a Community Centre on Lot 271 (125) Willespie Drive. Lot 267 is owned by the City in freehold.

ASP 6 also designates a 'Commercial' zone over both these land parcels. In preparing Amendment No. 206 to DPS 2, the City considered it appropriate for the Commercial Zone to be applied over both the Pearsall Neighbourhood Centre and Community Centre sites in DPS 2, for the following reasons:

- A Commercial zone is appropriate to support the retail and other service uses located within the Pearsall Neighbourhood Centre on Lot 267; and
- In referring to the DPS 2 Zoning Table, the predominant activities carried out in the Community Centre on Lot 271 – being 'Civic Use' and 'Community Purpose' – are both permissible in the Commercial Zone. The alternative could be for the 'Civic and Community' Local Scheme Reserve to instead apply over the Lot 271. However, the City considers that the Commercial Zone broadens the prospects on how it could potentially use the land into the future, compared to if it imposed a local scheme reserve.

The ASP 6 text also prescribes a retail floorspace cap of 2100m<sup>2</sup> to be provided within 'Cell 4 Neighbourhood Centre (South)'. This includes both the Pearsall Neighbourhood Centre and Community Centre sites. Amendment No. 206 proposes to transfer this retail floorspace cap into Schedule 7 of DPS 2, to be effective over both Lot 267 and Lot 271.

In addition, an R-coding of R40 over these two sites is also proposed to be introduced through Amendment No. 206. The R40 was nominated in consideration with the R-coding that applies over the Hocking Neighbourhood Centre (in ASP 42 and as proposed in Amendment No. 206), as well as the R-coding of residential development immediately to the south and east. Although single house or grouped dwelling development is no longer permitted in the DPS 2 Commercial Zone following approval of Amendment No. 172, an R-coding over these lots will assist in any consideration of permissible forms of residential development that may occur on the site in the future.

#### **4.9 Maximum Retail Net Lettable Area**

Amendment No. 206 seeks to rezone the Pearsall Local Centre and the Hocking Neighbourhood Centre sites from 'Urban Development' to 'Commercial'. The subject area also contains another centre at Lot 179 (21) East Road, Hocking (**East Road Local Centre**), which is already zoned Commercial in DPS 2.

Schedule 6 (Item No. 1) of DPS 2 prescribes that all land contained in Commercial zones shall specify a maximum retail net lettable area (in Schedule 7) which relates to retail floor area. A maximum retail net lettable area (**NLA**) of 700m<sup>2</sup> is already provided in Schedule 7 of DPS 2 for the East Road Local Centre, consistent with what is prescribed in ASP 6.

Maximum retail NLA for the remaining two commercial developments in the subject area is proposed to be incorporated into Schedule 7 of DPS 2 through Amendment No. 206. The maximum retail NLA proposed for the ASP 6 'Cell 4 Neighbourhood Centre (South)' area is discussed in Section 4.8 above.

In regard to the Hocking Neighbourhood Centre, both ASP 6 and ASP 42 provide a maximum retail NLA of 5,500m<sup>2</sup>; however with the following condition:

*No additional retail tenancies where they exceed 4,250m<sup>2</sup> NLA permitted floorspace shall be occupied until the car park has been modified to the satisfaction of the City of Wanneroo.*

It was intended that the easternmost crossover into the centre from Gungurru Avenue be modified to provide access in only (no egress). This is discussed further in the City's Report to the 28 April 2015 Council Meeting (PS02-04/15) in relation to Amendment No. 32 to ASP 6 and Amendment No. 2 to ASP 42. The landowners of the Hocking Neighbourhood Centre obtained development approval from the City to undertake this work; however, the landowners never acted on that approval.

The restrictions limiting maximum retail NLA are due to traffic movement considerations, and not on retail sustainability impacts. Previous retail analysis prepared to support the abovementioned amendments to ASP 6 and ASP 42 demonstrated that an increase of floorspace to 5,500m<sup>2</sup> will not have a substantial impact on surrounding centres.

In light of the above, it is proposed through Amendment No. 206 to impose a maximum retail NLA of 4,250m<sup>2</sup> for the Hocking Neighbourhood Centre in Schedule 7 of DPS 2. However, it is also proposed that Schedule 7 of DPS 2 provides the following note, allowing the maximum retail NLA in the Hocking Neighbourhood Centre increase to 5,500m<sup>2</sup>:

*A maximum retail NLA of 5,500m<sup>2</sup> can be considered if:*

- *The easternmost crossover to Lot 1000 from Gungurru Avenue is modified to provide inward access only; or*
- *The landowner can demonstrate to the satisfaction of the local government that the current access arrangements into, within and from the existing car park on Lot 1000 are satisfactory.*

The City acknowledges that at a State planning level, there may be a shift away from prescribing maximum retail NLA in a local planning scheme. However, based on current DPS 2 provisions, the City argues that maximum retail NLA for the Hocking and Pearsall centres be inserted into Schedule 7 of DPS 2 – at least in the interim. Having a listing for maximum retail NLA in the City's local planning scheme in the long term will be subject to separate considerations during the scheme review and formulation of LPS 3.

#### **4.10 Lots 1002-1004 Nicholas Road**

Three lots of between 295m<sup>2</sup> and 300m<sup>2</sup> (being Lot 1002, Lot 1003 and Lot 1004 Nicholas Road, Hocking) have been created through subdivision in the southwestern part of the Hocking Neighbourhood Centre. These lots currently have a 'Commercial (R40)' zoning designation under ASP 42 and are vacant.

The lots have dimensions of approximately 11.7 metres (in width) and 25.7 metres (depth). Therefore, they are shaped and sized similar to a residential lot. Given their size and dimension, the City acknowledges the difficulty of undertaking viable commercial developments with adequate car parking on these lots. Since the approval of Amendment No. 172, most forms of residential development (e.g. Single House) are not permitted in the Commercial Zone.

Therefore, in preparing Amendment No. 206, the City engaged with the landowners to understand their intentions for these lots. The landowners responded that based on their intentions, the City consider imposing a 'Mixed Use' zoning over the lots.

It is the landowners response that has informed the City in proposing a 'Mixed Use' zoning over Lot 1002, Lot 1003 and Lot 1004 Nicholas Road. The proposed R40 density coding over these lots has been informed by ASP 42.

A Mixed Use zone is considered appropriate for Lot 1002, Lot 1003 and Lot 1004 Nicholas Road, given the lots are on the periphery away from the Hocking Neighbourhood Centre core. This zone would support either:

- Residential development that could be converted or redeveloped to support commercial land uses in the future, should there be retail demand as the surrounding area undergoes change; or
- Commercial land use that would complement the adjoining Hocking Neighbourhood Centre core; or
- Developments that support both a mixture of both residential and commercial land use.

#### **4.11 Lot 50 Shiraz Boulevard**

Lot 50 (204) Shiraz Boulevard (located on the corners of Cabernet Loop with Ocean Reef Road and Shiraz Boulevard) contains a service station, drive-through coffee and car wash development.

The developments on Lot 50 were carried out through guidance provided through ASP 6. This structure plan currently applies a Special Use Zone over this site, limiting land use permissibility to 'Service Station', 'Convenience Store', 'Car Wash' and 'Drive-Through Food Outlet'. ASP 6 also prescribes the following conditions that relate to the Special Use Zone:

- a) External open air storage of automotive parts or service yards visible to the public shall not be permitted.*
- b) The maximum gross floor area of a Drive-Through Food Outlet shall be 25m<sup>2</sup>.*

The City has been previously advised by the WAPC to limit the use of the Special Use Zone in DPS 2. Therefore, Amendment No. 206 proposes to apply the Service Commercial Zone over Lot 50 – instead of a DPS 2 Special Use Zone.

Amendment No. 206 also places Lot 50 into its own Restricted Use area (R8), which would limit the land use permissibility to Service Station, Convenience Store, Motor Vehicle Wash and Fast Food Outlet. These land uses are generally consistent with those restricted through ASP 6; however modified in response to the land use naming conventions which changed through the approval of Amendment No. 172. Schedule 3 of DPS 2 will also include development conditions over Restricted Use area R8 (Lot 50), which are derived from those currently in ASP 6.

#### **4.12 Impact on Developer Contributions and Future of ASP 6**

Amendment No. 206 (and the subsequent amendment to ASP 6) has been prepared to not interfere with the ability to collect or retain development contributions from owners within East Wanneroo Cell 4. The proposal does not seek to change the boundaries of the Cell, identify lots which are no longer part of the ASP 6 (and thereby the Cell), or modify Schedule 14 of DPS 2 which sets out the development contribution arrangements. The proposal therefore should have no effect on the developer contribution arrangements in place.

Similarly, the normalisation of the zoning of land affected by ASP 42 (and subsequent revocation of that structure plan) also should not affect the development contribution arrangements in place for Cell 4.

Separate to Amendment No. 206, Council at its 15 August 2023 meeting resolved to prepare Amendment No. 208 to DPS 2 (Amendment No. 208). The purpose of Amendment No. 208 is to introduce operational timeframes for each of the City's nine East Wanneroo developer contribution cells. Amendment No. 208 proposes an operation closure date of 30 June 2033 for Cell 4 (in which the subject area relates). In future, further consideration will be given for the appropriate management procedure for the formal closure of Cell 4, which may include the revocation of ASP 6. It is expected that Amendment No. 208 be advertised toward the end of 2023.



## 5.0 Rationale for the Revocation of ASP 42

### 5.1 Initial Adoption and Amendments to ASP 42

At the time that ASP 6 was adopted, it denoted that Hocking Neighbourhood Centre as a 'Neighbourhood Centre and Community Purpose' site. ASP 6 also designated a 'Centre' zone for the land and made provision that no subdivision or development should commence or carried out until a further structure plan over the land be prepared and adopted.

In response, the Hocking Neighbourhood Centre Local Structure Plan No. 42 (ASP 42) was subsequently prepared to guide subdivision and development of the centre. ASP 42 was initially adopted in May 2004 and has been subject to two amendments as summarised below:

- Amendment No. 1 (approved by the WAPC in March 2009) deleted the requirement for main street frontages and made consequential changes to the ASP 42 text to accommodate a redesign of the neighbourhood centre; and
- Amendment No. 2 (approved by the WAPC on 24 August 2015) increased the permitted retail floorspace cap to 5,500m<sup>2</sup>; however with the following condition:

*No additional retail tenancies where they exceed 4,250m<sup>2</sup> NLA permitted floorspace shall be occupied until the car park has been modified to the satisfaction of the City of Wanneroo.*

The same change was also made to ASP 6 through Amendment No. 32 to that structure plan.

### 5.2 Existing ASP 42 Provisions

Development criteria in ASP 42 have been in place since the structure plan was initially adopted in May 2004. At that time, it was common for structure plans to make provisions specific for the development of lots created through subdivision.

The existing provisions in ASP 42 predominantly guide the development of the neighbourhood centre and are analysed further by the City in the table included in **Appendix 4**.

On review, the provisions of ASP 42 do not warrant the need to retain the structure plan; and therefore, the proposed revocation of ASP 42 should not present a planning consequence. Although it was noted that there are still some vacant lots in the ASP 42 area, remaining development can be guided by:

- The design elements used within existing development for consistency;
- The relevant provisions of Schedule 6 of DPS 2 that relate to development in the Commercial Zone; and
- Feedback and advice from the City's Design Review Panel, which was established after the initial adoption of ASP 42.

Having development criteria in ASP 42 is now inconsistent with the deemed provisions, contained in the Regulations. Since the adoption of ASP 42, the deemed provisions have redefined structure plans, and created two structure plan classes – 'precinct structure plans' and 'standard structure plans'. The deemed provisions define 'precinct structure plans' and 'standard structure plans' as follows:

***precinct structure plan** means a plan for the coordination of future subdivision, zoning and development of an area of land.*

***standard structure plan*** means a plan for the coordination of future subdivision and zoning of an area of land.

ASP 42 was not adopted as a 'precinct structure plan'; and therefore, the City considers it as a 'standard structure plan'. By referring to the definitions above, only a 'precinct structure plan' should have provisions relating to the development of land.

### **5.3 WAPC Considerations to Revoke ASP 42**

The Regulations (r. 35A) make provision for when an amendment to a local planning scheme affects a structure plan area, the amendment includes either of the following as a statement, that when the amendment takes effect:

- (a) the approval of the structure plan is to be revoked; or
- (b) the structure plan is to be amended in accordance with the statement; or
- (c) the approval of the structure plan is not affected.

As a result, a statement has been included within the Amendment No. 206 proposal prescribing that the WAPC's approval of ASP 42 will need to be revoked pursuant to Regulation 35A(a). Detail justifying the inclusion of such a statement regarding ASP 42 is included throughout this report.

The revocation of ASP 42 should then be undertaken by the WAPC pursuant to Clause 29A(1) of the deemed provisions, following the approval of Amendment No. 206.

## 6.0 Rationale of Recommended Modifications to ASP 6

### 6.1 Modifications to Structure Plan Maps

The approval of Amendment No. 206 would render much of the detail in the ASP 6 'structure plan' and 'zoning plan' redundant. As zoning, local scheme reservations, R-coding and land use permissibility expressed in the Scheme will have force and effect, that same does not need to be detailed in ASP 6 over the normalised areas, as a structure plan is only a 'due regard' document.

Following the approval of Amendment No. 206, subsequent amendments to ASP 6 maps should be made to remove the redundant detail over the normalised areas. The ASP 6 maps should then indicate that the zoning, local scheme reservations and R-codings are in force through the Scheme. The extent of the amendments that could be made to the ASP 6 maps is provided in the 'Structure Plan (Amendment) Maps', incorporated into the resolution detail at the start of this document.

The legend keys for 'Neighbourhood Community Centre', 'Commercial' and 'Special Residential' should also be deleted, as these will no longer be imposed through the structure plan.

### 6.2 Maximum Retail NLA

As outlined in Section 4.8 and Section 4.9, Amendment No. 206 proposes to insert maximum retail NLA for the Pearsall Neighbourhood Centre and Hocking Neighbourhood Centre into Schedule 7 of DPS 2. The maximum retail NLA of 700m<sup>2</sup> prescribed in ASP 6 for the East Road Local Centre is already listed in Schedule 7 of DPS 2.

The provisions in Section 3 are proposed to be amended to indicate that maximum retail NLA will be in accordance the Scheme. It is not anticipated any further centres will be established in the subject area. Therefore, a maximum retail NLA schedule in ASP 6 (Schedule 1) will become redundant and can be deleted.

### 6.3 Residential Precinct

The Residential Precinct is situated over the area shown as such on the 'Zoning Plan' map (refer **Figure 2** in Section 1.1 of this report). R-codings of land in the Residential Precinct are then outlined on the ASP 6 'Structure Plan' map (also in **Figure 1**). The structure plan maps are being modified to identify land where zoning will be normalised through Amendment No. 206.

In light of modifications to the ASP 6 maps, the text in Section 4.1 of the structure plan also requires adjustment. The proposed text modifications separate the ASP 6 Residential Precinct from the land proposed to be zoned Residential through Amendment No. 206. The modified text will stipulate that the Residential Precinct will not relate to the land zoned Residential in the Scheme. This will then mean that:

- The zoning, land use permissibility and R-coding of land rezoned to Residential through Amendment No. 206 will be provided through DPS 2 and not the structure plan; and
- ASP 6 will continue to guide zoning and R-coding over land which will remain in the Residential Precinct (as shown on the Structure Plan (Amendment) Maps).

The provisions in ASP 6 guiding land use permissibility will also continue to apply in the Residential Precinct, including the consideration of rural development that meets the prescribed objectives. Although the objectives will not materially change, reference to the



'General Rural' zone in Objective (a) will be modified to 'Rural' to reflect the naming change of the zone as approved through Amendment No. 172.

#### **6.4 Deletion of Redundant Provisions**

The subsequent amendment to ASP 6 that will be made following the approval of Amendment No. 206 provides the opportunity to have various provisions removed from the structure plan. The provisions in question are either already redundant due to a range of factors that have occurred over time – or will be made redundant through the approval of Amendment No. 206.

A discussion of provisions in ASP 6 which the City considers will be redundant at the time Amendment No. 206 is approved is provided below:

- The provisions for the Commercial Zone in Section 4.2. All land in which ASP 6 identified as being designated 'Commercial' will be zoned as such in DPS 2 through Amendment No. 206.

In particular, reference to a detailed area plan (**DAP**) in Section 4.2 of ASP 6 is redundant. The DAP which is referred to, being for Lot 25 & 26 Kemp Street, Pearsall, was initially approved by the City in October 2007. The DAP was subsequently amended in October 2009 and again in August 2010 to what is the current version. How the DAP provisions in Section 4.2 of ASP 6 have been met is discussed below:

- The provisions of ASP 6 require development of the Pearsall Local Centre to conform to the DAP. The Pearsall Local Centre generally conforms to the DAP and was granted development approval by the City in November 2009.
- The ASP 6 provisions required the following works to be undertaken as shown on the DAP for Lot 25 & 26 Kemp Street, Pearsall dated 20 June 2007 (Plan No. 2982-4-001B Revision B):
  - The extension of Willespie Drive – which occurred through subdivision works in 2008; and
  - The intersection of Willespie Drive/Boboli Way and Brooklyn Avenue Pearsall to be treated as shown on the DAP. That DAP (and the subsequent amendments) depicts a roundabout at the subject intersection, consistent with what was constructed during subdivision works in 2010.

'Plan No. 2982-4-001B Revision B' is the same DAP as that initially approved by the City in October 2007, as mentioned above.

- Following the approval of Amendment No. 206, the subsequent amendment to ASP 6 should modify the maps to (in part) delete all depiction of the Centre zone. The Centre zone relates to the Hocking Neighbourhood Centre land, all of which will be rezoned under DPS 2 through Amendment No. 206. The corresponding ASP 6 text relating to the Centre zone (in Section 4.3) would therefore be redundant and can be deleted.
- Section 4.4 of ASP 6 provides development objectives for the Special Residential Precinct. The entire land area of the Special Residential Precinct will be rezoned to Residential R2 under Amendment No. 206 – and be placed in a Restricted Use area where land use permissibility and development will be controlled through Scheme provisions. This would render Section 4.4 of ASP 6 redundant.

Section 4.6 and **Appendix 3** of this report provides an overview of how the development objectives in ASP 6 are either no longer relevant or could be transferred into the DPS 2 text as Restricted Use conditions.

- Special Use Zone No. 1, as listed in Schedule 2 of the ASP 6 text, relates to Lot 50 (204) Shiraz Boulevard, Pearsall. As discussed in Section 4.11 above, Lot 50 is proposed to be zoned Service Commercial through Amendment No. 206, and subject to Restricted Uses with conditions. Therefore, land use permissibility and Special Use conditions prescribed in ASP 6 for Lot 50 will be redundant and can be deleted. The number reference for Special Use Zone area No. 2 (relating to Lot 594 Ranworth Road, Hocking) should then be modified to 'No. 1' accordingly.

## 6.5 R-MD Standards

Residential Medium Density (or **R-MD**) standards were formulated by WAPC and incorporated into Planning Bulletin 112/2016, released in April 2016. The R-MD standards are based on contemporary housing typologies and facilitate variations to State Planning Policy 7.3: Residential Design Codes (**R-Codes**) on a range of standards to simplify the approval process. The R-MD standards were required to be formalised through a local planning policy; and as such, the City prepared Local Planning Policy 4.19: Medium-Density Housing Standards (**LPP 4.19**) in November 2016.

The R-MD standards are given power through various planning documents. In this case, Section 8 of ASP 6 gives effect to the R-MD standards over various lots in the ASP 6 area. The changes to the ASP 6 text and 'Structure Plan' map, that introduced R-MD standards, occurred as a result of Amendment No. 36 and 37 to ASP 6, which were approved in November 2017 and July 2019 respectively. There are currently 164 lots in the ASP 6 area that should be subject to R-MD standards.

In February 2023, the WAPC released updates to the R-Codes which were to be gazetted on 1 September 2023 (**2023 R-Codes**). In particular, the 2023 R-Codes introduce extensive changes to the design principles and deemed-to-comply provisions relating to medium density housing (in areas coded R30-R80). Also in February 2023, the WAPC released Planning Bulletin 114/2023, which strongly encourages local governments to revoke local planning policies that incorporate R-MD standards (e.g., LPP 4.19) no earlier or later than September 2025.

In a more recent statement from the Minister for Planning, it was announced that the 2023 R-Codes will no longer be gazetted. Therefore, the R-MD standards can continue to apply (at least in the short term), as there is now less of an urgency to revoke LPP 4.19.

The subsequent amendment to ASP 6 will retain the provisions relating to R-MD standards applying over certain areas. However, the number of lots in which the R-MD standards will apply is proposed to be reduced to only those that are currently vacant (as shown on the Structure Plan (Amendment) Maps as being subject to R-MD standards). It is considered that the R-MD standards are redundant over established lots.

The vacant R-MD lots are proposed to be zoned Residential through Amendment No. 206. LPP 4.19 allows the R-MD standards to apply where identified in an approved structure plan. There is nothing in LPP 4.19 to prevent the R-MD standards to continue applying over lots identified in a structure plan that are also zoned in DPS 2.

## 6.6 Amendment No. 38 to ASP 6

In July 2023, the WAPC approved Amendment No. 38 to ASP 6 (**Amendment No. 38**).

Amendment No. 38 affects Lot 594 (30) Ranworth Road, Hocking. ASP 6 previously designated the entire Lot 594 land area as a 'Private School Site' within the Residential Precinct.

Amendment No. 38 modified the Structure Plan and Zoning Plan maps as follows:

- The western portion of the site (closest to Wanneroo Road) as having a Special Use Zone designation;
- The central portion of the site as being in the Residential Precinct, with an R-coding range of R25 to R60 (to be determined at subdivision); and
- The eastern portion of the site (supporting the existing Catholic School) being given a Private Community Purposes Zone designation.

An additional Concept Plan has also been introduced into ASP 6 guiding subdivision and development in the Special Use and Residential zoned portions of Lot 594.

To accompany the changes to the ASP 6 maps, Amendment No. 38 also introduced significant changes to the structure plan text, as summarised below:

1. Land use permissibility and development conditions for the new Special Use zoned area;
2. Provision relating to the permissibility of uses in the Private Community Purposes zone (Catholic School site); and
3. Extensive guidance on residential development, including:
  - The need to prepare a Residential Density Code Plan at the time of subdivision;
  - Locational criteria for nominating residential densities at subdivision; and
  - The requirements for a local development plan (**LDP**) to be prepared as a condition of subdivision.

Further to (1) above, amendments to ASP 6 following the approval of Amendment No. 206 propose the following for land use permissibility requirements for the new Special Use area:

- Renaming the 'Civic Uses' land use as currently listed in Schedule 2 of ASP 6 – to 'Civic Use'. This minor change would make the land use reference consistent with DPS 2; and
- Introducing a land use definition for 'Pharmacy', which is one of the uses listed in the Special Use Zone in ASP 6. The definition introduced will be as follows:

*Premises used for the preparation and dispensing of drugs and other medicinal products and where this occurs other predominantly toiletry products may be displayed and offered for sale by retail.*

The 'Pharmacy' use was listed and defined in DPS 2 (the same as the above) prior to the approval of Amendment No. 172. However, this land use is no defined in the City's planning framework. 'Pharmacy' was removed from DPS 2 as its activities were consistent with the 'Shop' model provision definition, which was introduced into the local planning scheme. In considering Amendment No. 38 to ASP 6, a 'Pharmacy' activity, and not a broader 'Shop' activity, was determined to be a more suitable activity in the ASP 6 Special Use Zone, hence why 'Pharmacy' remains in the structure plan.

As the subdivision and development envisaged for Lot 594 through Amendment No. 38 has not yet occurred, no other material changes to the structure plan text or mapping are being sought in relation to Lot 594 (30) Ranworth Road at this time.

## 6.7 Local Development Plans

The City has approved 12 DAP's or LDP's on land within the subject area. DAP's and LDP's are effectively the same planning instrument, and therefore will be referred to as LDP's in this sub-section.

**Appendix 5** contains a table that provides the status of the LDP's situated on land also affected by ASP 6; including the approval date, expiry date and detail contained within each plan. None of the LDP's relate to land affected by ASP 42.

Part 6 of the deemed provisions stipulates how LDP's function in the planning framework. Under Clause 57 of the deemed provisions, the approval of an LDP generally has effect for a period of ten years from when the local government approves the plan. However, under the deemed provisions, an LDP that was approved before 19 October 2015 is taken to be approved on that day.

The lots affected by each of the 12 LDP's are mostly developed, with a small number of vacant lots remaining. Ten of the 12 LDP's are due to expire in October 2025, with the two remaining LDP's expiring before 30 June 2027. Unless the City extends the approval period, the effect of the LDP's will lapse on expiry. Until such time that the LDP's expire, the deemed provisions allow the LDP's to operate with or without ASP 6 being in place.

As most of the lots within the LDP areas have been developed, the LDP's are becoming less relevant instruments in the City's planning framework. Clause 58 of the deemed provisions provides the following should the City consider revoking the LDP's:

*The local government must not revoke approval of a local development plan unless this Scheme is amended so that the development to which the plan relates is a non-conforming use.*

The above deemed provision does not assist the City in pursuing any revocation of the LDP's within the ASP 6 area at this time. There are no other legal mechanisms to revoke the LDP's; and as such, the City considers that they must all remain in place until their expiry.

In preparing Amendment No. 206, the City took into consideration the provisions contained within superseded or current LDP's. In particular, the City considered the following:

- The LDP titled 'Detailed Area Plan No. 6 – Faranda Estate Hocking Stage 2' identifies seven lots (Lots 103-109 Vignerons Loop, Hocking) as having an R40 density code. Much of the development on those lots was then subsequently undertaken to an R40 standard. However, the correct R-coding for these lots is R30 – as shown on the ASP 6 Structure Plan Map (in **Figure 1**) and as established through Amendment No. 29 to ASP 6 (approved by the WAPC in December 2014). Taking into consideration of the factors mentioned above, Amendment No. 206 imposes an R-coding of R40 over Lots 103-109 Vignerons Loop.
- The original version of 'Detailed Area Plan – Lot 9104 (123) Kemp Street, Pearsall', approved in October 2011, identified all its subject lots as having an R-coding of R30. The current LDP, which amended the original and was approved in June 2013, removed mention of R-codings. However, the R-coding of some of the lots does not align with lot boundaries as shown on Issue Maps 7 included in **Appendix 2**. Issue Maps 7 was prepared based on the review of the R-Codings which were approved through Amendment No. 13 to ASP 6.

The City considered it appropriate that an R30 R-coding be applied over Lots 405-406 and Lots 410-414 Pinot Loop through Amendment No. 206. The City recognised that



these lots are between 328m<sup>2</sup> and 364m<sup>2</sup> in area (more consistent with R30) – and noted the provisions identifying these lots as R30 on the original LDP.

It is anticipated that the City will consider and approve more LDP's in the ASP 6 area in the future. In particular, the approval of Amendment No. 38 to ASP 6 introduced a provision into the structure plan relating to the formulation of LDP's on land subject to the amendment.

## **6.8 WAPC Consideration to Amend ASP 6**

The Regulations (r. 35A) make provision for when an amendment to a local planning scheme affects a structure plan area, the amendment includes either of the following as a statement, that when the amendment takes effect:

- (a) the approval of the structure plan is to be revoked; or
- (b) the structure plan is to be amended in accordance with the statement; or
- (c) the approval of the structure plan is not affected.

As a result, a statement has been included within the Amendment No. 206 proposal prescribing that ASP 6 will need to be amended by the WAPC pursuant to Regulation 35A(b). Detail justifying the inclusion of such a statement regarding ASP 6, and the amendments proposed, is included throughout this report.

The amendment to ASP 6 should then be undertaken by the WAPC pursuant to Clause 29A(2) of the deemed provisions, following the approval of Amendment No. 206. Neither Clause 29A(2) of the deemed provisions, or Regulation 35A(b) limit the extent of the amendments to a structure can be undertaken in this instance. As documented in this report, the City considers the amendment to ASP 6 as an opportunity to resolve inconsistencies and remove redundant text from the structure plan, regardless of whether it directly relates to the elements of the Amendment No. 206 proposal or not.

## **6.9 Extension of the ASP 6 Approval Duration Period**

Under Clause 28 of the deemed provisions, a structure plan has effect for a period of ten years, unless another period of time is determined by the WAPC. For structure plans approved prior to 19 October 2015 (which ASP 6 was), the approval duration under the deemed provisions is set to expire on 19 October 2025.

The deemed provisions outline the possibility for the duration of a structure plan to be extended. In this case, and as outlined in Section 4.12 above, the City will seek the WAPC's approval for the approval duration of ASP 6 to be extended by a further five years, to 30 June 2033. This will allow additional time for the subdivision of the undeveloped areas to occur.

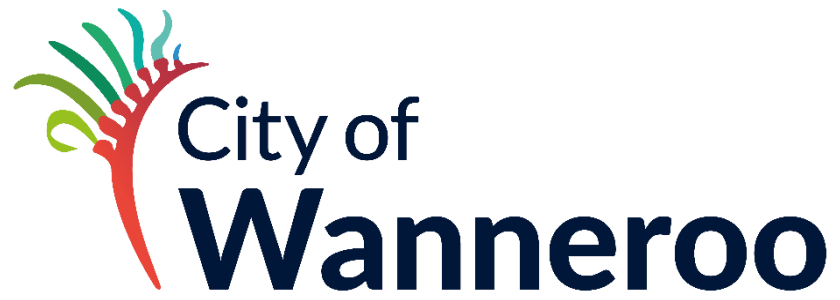
## **7.0 Conclusion**

Amendment No. 206 has been prepared as a 'standard' amendment in the context of the *Planning and Development (Local Planning Schemes) Regulations 2015*. Amendment No. 206 seeks to address normalise the zoning and R-coding of established areas within ASP 6.

The Amendment No. 206 proposal also utilises provisions from the Regulations, by including a statement prompting a subsequent amendment to ASP 6 to be undertaken by the WAPC. The amendments to ASP 6 are recommended to modify the structure plan map and text to coincide with Amendment No. 206 – and to adjust the ASP 6 text to resolve inconsistencies and remove redundant text.

The statement will also prompt the WAPC consider the revocation of ASP 42, which is now redundant and no longer needed to be included within the City's local planning framework.

The City is hopeful that this Report assists the WAPC in explaining the purpose and detail of Amendment No. 206 (and the subsequent actions needed to the relevant structure plans) – and assists in providing for a prompt and favourable consideration of what is proposed.



## **APPENDIX 1**

Track Change Version of ASP 6 Text

**AGREED LOCAL STRUCTURE PLAN  
EAST WANNEROO CELL 4  
(HOCKING AND PEARSALL)**

**(As Amended)**

**Structure Plan No. 6  
Finally Adopted: 24.6.02**

**This Structure Plan was prepared under the Provisions of the City of  
Wanneroo District Planning Scheme No. 2**



## PART 1 – IMPLEMENTATION

### Subject Area

The Structure Plan area includes approximately 104 private landholdings comprising approximately 394 hectares.

#### 1. ZONES

Plan 1 : 'The Zoning Map'.

#### 2. LOCAL STRUCTURE PLAN

Plan 2 : The 'Local Structure Plan'.

#### 3. RETAIL FLOORSPACE (NLA)

Retail floorspace (NLA) for the Structure Plan will be in accordance with the Scheme following Schedule 1.

#### SCHEDULE 1; RETAIL FLOORSPACE PROVISION

<u>NEIGHBOURHOOD CENTRE</u>	<u>MAXIMUM NETT LETTABLE AREA USED FOR RETAIL PURPOSES (ROUNDED TO THE NEAREST 50m<sup>2</sup>)</u>
<u>Hocking Neighbourhood Centre</u>	<u>5500 m<sup>2</sup></u>
<u>Cell 4 Neighbourhood Centre (south)</u>	<u>2100 m<sup>2</sup></u>
<u>Cell 4 East Road Local Centre</u>	<u>700 m<sup>2</sup></u>

No additional retail tenancies where they exceed 4,250m<sup>2</sup> NLA permitted retail floorspace shall be occupied until the car park has been modified to the satisfaction of the City of Wanneroo.

#### 4. PROVISIONS

##### 4.1 RESIDENTIAL PRECINCT:

The permissibility of uses are to be in accordance with the Residential Zone as specified under the scheme. Rural development involving high capital investment, offensive trades, mushroom farms and/or of a long-term nature will generally be discouraged. Other Rural uses may be considered. Unless otherwise identified on Plan 2 'The Local Structure Plan' the residential density to apply to this precinct is R20.

This section relates to the 'Residential Precinct' where shown on Plan 2 (Zoning Plan). Unless otherwise identified on Plan 1 (Structure Plan), the residential density to apply in this precinct is R20.

In the context of this structure plan, the Residential Precinct does not relate to land which is zoned Residential under the Scheme.

The permissibility of uses in the 'Residential Precinct' is to be in accordance with the Residential Zone as specified under the Scheme. Rural development involving high-capital investment, offensive trades, mushroom farms and/or of a long term nature will not be supported. Other rural uses may be considered.

### **Objectives**

To promote residential development whilst allowing for rural uses and development if it is considered that such uses will not compromise the intention to develop the precinct for residential purposes in the medium and longer term.

In assessing a rural use application within this precinct, consideration will be given to:

- a) referring the applicants to areas set aside for ~~General~~ Rural under the scheme;
- b) imposing a time limit on the period for which the approved development may be carried out and the preparation and execution of a legal agreement, at the landowner/s expense, between the landowner/s and Council to the effect; and/or
- c) refusing the application if it is considered likely to prejudice the future planned use of the land;
- d) proximity of urban development to the subject land;
- e) the ability of the land to be used for residential purposes in the immediate future in light of servicing and other constraints;
- f) other appropriate factors.

#### ~~4.2 COMMERCIAL ZONE:~~

- ~~a) The permitted uses and the development standards within this zone shall be those permitted in the Commercial Zone of the Scheme and the development shall conform to the Detailed Area Plan.~~
- ~~b) When Lot 25 Kemp Street is developed, or the extension of Willespie Drive to Brooklyn Avenue is carried out, whichever occurs first, the intersection of Willespie Drive, Brooklyn Avenue and Boboli Way must be treated as shown in the Detailed Area Plan for Lots 25 and 26 Kemp Street, Pearsall dated 20 June 2007 – Plan No. 2982-4-001B Revision.~~

#### ~~4.3 CENTRE ZONE~~

~~In accordance with the provisions of 'The Centre Zone' under the Scheme, no subdivision or development should be commenced or carried out in a Centre Zone until a Structure Plan for the land included in the Centre Zone has been prepared and adopted under the provisions of the Scheme. The permissibility of uses in the Centre Zone shall be determined in accordance with the provisions of the Agreed Structure Plan.~~

#### ~~4.4 SPECIAL RESIDENTIAL PRECINCT~~

~~The permissibility of land uses and general provisions for this zone are the same as those which apply under the provisions for the Residential Zone under the Scheme except where indicated to the contrary by the following criteria.~~

##### ~~Objectives~~

~~It is intended that the Special Residential Precinct will provide for a low density residential subdivision, serving as an effective buffer between Special Rural Zones and Residential areas and encouraging compatible development.~~

Within this precinct;

- a) ~~The minimum lot size shall be 5,000 square metres;~~
- b) ~~All buildings are to be contained within nominated Building Envelopes of a maximum size of 1,000 square metres with minimum front setbacks of 20 metres and minimum side and rear setbacks of 10 metres, the location of which shall be generally in accordance with the Streetscape Concept Plan (Plan 3);~~
- c) ~~Except to the extent necessary for the construction of approved buildings and driveways or in accordance with an approved revegetation plan, no land shall be cleared of vegetation without prior approval of the Council;~~
- d) ~~Electricity shall be provided by means of underground cables to all buildings;~~
- e) ~~The Council may, as a condition of any approval granted under special provisions (b) and (c), require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs;~~
- f) ~~At the subdivision stage, the subdivider shall construct the stormwater drainage systems necessary to contain the 1:100 24-hour duration storm event wholly within the Special Residential lots to the specification and satisfaction of the Council;~~
- g) ~~For the Special Residential lots west of the Public Open Space, at least the first 300 mm above the design ground level of the dividing fence along the boundary with the adjoining Residential R20 lots shall be of brick or masonry construction to ensure that no water runoff to the Residential R20 lots occurs. The 300 mm brick or masonry section of the dividing fence shall be constructed by the subdivider at the subdivision stage. The balance of the fence to be constructed on top of the brick/masonry section may be constructed by the subdivider but, if it is not, must be constructed when a dwelling is first built on the lot.~~
- h) ~~The owners of the land within the Special Residential Precinct shall comply with any Revegetation Plan for the Precinct approved by the City prior to any of the lots within the Precinct being sold, unless another alternative satisfactory to the City is agreed.~~

#### **4.52 SPECIAL ZONES – ADDITIONAL USES**

~~Notwithstanding~~ Notwithstanding anything contained in the Zoning Table, the land specified in Schedule 21 may only be used for the specific use or the uses that are listed in addition to any uses permissible in the zone in which the land is situated.

#### **SCHEDULE 21 – SPECIAL USE ZONE**

<b>No.</b>	<b>Location</b>	<b>Permitted Uses</b>	<b>Special Use Conditions</b>
4	<del>204 (Lot 50) Shiraz Boulevard, Pearsall</del>	<del>Service Station Convenience Store Car Wash Drive-Through Food Outlet</del>	<del>a) External open air storage of automotive parts or service yards visible to the public shall not be permitted.  b) The maximum gross floor area of a Drive-Through Food Outlet shall be 25m<sup>2</sup>.</del>

<p><u>21</u></p>	<p>Portion 30 (Lot 594) Ranworth Road, Hocking</p>	<p>Bulky goods showroom Consulting rooms Medical centre Pharmacy Office Veterinary centre Child care premises Civic uses</p>	<p>a) No access or egress is permitted from Wanneroo Road.</p> <p><u>b) The permitted use of 'Pharmacy' as listed in this table is defined as follows:</u></p> <p><i><u>Premises used for the preparation and dispensing of drugs and other medicinal products and where this occurs other predominantly toiletry products may be displayed and offered for sale by retail.</u></i></p> <p>b)c) A Local Development Plan is required to be approved prior to development. The Local Development Plan must address:</p> <ul style="list-style-type: none"> <li>i. Demonstrated high quality building design and use of materials that integrates with, and does not detract from, surrounding residential development;</li> <li>ii. Uniform design of buildings and their frontage to Wanneroo Rd;</li> <li>iii. A rear interface designed to transition to residential development, with consideration of separation distances, screening and pedestrian access;</li> <li>iv. Demonstrated high quality landscaping to</li> </ul>
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			<p>the development frontage on Wanneroo Road and to all visible areas;</p> <p>v. Access to and from Kirkstall Drive and car parking provided in accordance with the standards set by the City of Wanneroo.</p>
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#### **4.63 PRIVATE COMMUNITY PURPOSES ZONE**

- a) The permissibility of uses is to be in accordance with the Private Community Purposes Zone as specified under the Scheme.

#### **5. ENVIRONMENTAL PROVISIONS**

- a) Prior to undertaking any earthworks or development of land located within Cell 4, the landowners shall undertake a Soil Contamination Assessment of the land, at the landowner's cost, to determine the presence or absence of soil contamination to the satisfaction of the Department of Water and Environmental Protection Regulation.
- b) Should any soil contamination be identified in the soil contamination assessment, as Site Remediation and Validation Report for the subject land shall be prepared at the landowner's cost by the developer / subdivider and remediation works shall be undertaken at the landowner's cost for all identified contamination and should be validated as being free of contamination above acceptance guidelines to the satisfaction of the Department of Water and Environmental Protection Regulation, prior to undertaking any earthworks or development of the land.
- c) The inclusion of environmental provisions to provide for the appropriate disposal of surface water drainage within the Cell and to minimize any impacts on water quality in nearby significant wetlands, including potential surface water contamination.

#### **6. INFRASTRUCTURE CONTRIBUTIONS**

- a) The contributions to be made by an owner for the implementation of the Cell Works shall be determined in accordance with the scheme.
- b) Cell Costs shall be reviewed in accordance with the relevant Scheme provisions relating to the 'Revision of Cell Costs'.
- c) Current rate of contribution for Cell 4 and the associated breakdown of costs ~~are as per the following Schedule 2~~ can be obtained from the City of Wanneroo.

#### **7. PUBLIC OPEN SPACE (POS) PROVISION**

The following Schedule ~~3-2~~ details the Public Open Space (POS) which is to be provided by landholders for each lot within Cell 4. The POS allocation reflects the distribution of POS on the Agreed Local Structure Plan for Cell 4.

**SCHEDULE 3-2 PUBLIC OPEN SPACE (POS) PROVISION: CELL 4**

<b>Public Open Space</b>	<b>Lot No.</b>	<b>Area (ha)</b>
4A	Lot 23 Elliot Road Lot 24 Elliot Road Lot 25 Elliot Road  <b>Sub Total</b>	0.8942 1.5465 0.6693 <b>3.1100</b>
4B	Reserve 44351 Lot 21 Elliot Road Lot 16 Elliot Road  <b>Sub Total</b>	1.884 1.3688 0.9272 <b>4.1800</b>
4C	Lot 48 Elliot Road Lot 49 Elliot Road Lot 50 Elliot Road Lot 54 Nicholas Road Lot 55 Nicholas Road Lot 56 Nicholas Road  <b>SubTotal</b>	0.4062 0.4062 0.4062 1.1372 1.1372 1.1372 <b>4.6302</b>
4D	Lot 83 Gungurru Avenue Lot 183 Nicholas Road Pt Lot 10 Wanneroo Road  <b>Sub Total</b>	1.6341 0.8009 1.0608 <b>3.4958</b>
4E	Res 44912 Heacham Avenue Lot 414 Heacham Avenue Lot 262 Heacham Avenue  <b>Sub Total</b>	2.2481 1.2449 1.4094 <b>3.4958</b>
4F	Lot 21 East Road Lot 22 East Road Lot 23 East Road  <b>Sub Total</b>	0.5258 3.1323 0.2529 <b>3.9110</b>
4G	Lot 21 East Road Pearsall Lot 25 Kemp Street  <b>Sub Total</b>	3.1100 0.2200 <b>3.3300</b>
4H	Lot 2 East Road Lot 48 East Road  <b>Sub Total</b>	1.5361 0.5586 <b>2.0947</b>
4I	Pt Lot 1 Wanneroo Road Lot 14 East Road Lot 15 East Road Lot 16 East Road Lot 177 Willespie Drive Lot 50 Archer Street Lot 49 Archer Street Pt Lot 8 Wanneroo Road  <b>Sub Total</b>	0.3189 0.1925 0.1925 0.1925 0.3039 1.9378 0.4757 0.8077 <b>4.4215</b>

Public Open Space	Lot No.	Area (ha)
4J	Lot 34 Kemp Street	0.2354
	Lot 10 Kemp Street	0.3446
	Lot 41 Mary Street	0.2354
	Lot 42 Mary Street	0.3446
	<b>Sub Total</b>	<b>1.1600</b>
4K	Pt Lot 5 Mary Street	0.5400
	<b>Sub Total</b>	<b>0.5400</b>
4L	Lot 594 Ranworth Road	1.1640
	<b>Sub Total</b>	<b>1.1640</b>
Community Purpose Site	Southern Community Purpose Site	0.5000
	<b>Total Community Purpose Sites</b>	<b>0.5000</b>
<b>Total POS Provision</b>		<b>37.4200</b>

## 8. DEVELOPMENT REQUIREMENTS

The City of Wanneroo Local Planning Policy 4.19 Medium Density Housing Standards (R-MD) (LPP 4.19) sets out acceptable variations to the deemed-to-comply provisions of the Residential Design Codes (R-Codes) for Lots coded R25-R60. The variations set out in LPP 4.19 apply for the development of lots within areas designated as 'subject to R-MD development standards' on the structure plan map and thereby constitute acceptable development within the structure plan area.

## 9. LOT 594 (30) RANWORTH ROAD, HOCKING

These provisions apply to Lot 594 (30) Ranworth Road, Hocking.

Land use permissibility shall be in accordance with the corresponding zone or reserve under District Planning Scheme No. 2.

### 9.1 Residential Density Code Plan

- a) Lot specific residential densities, within the defined residential density ranges, are to be subsequently assigned in accordance with a Residential Density Code Plan approved by the WAPC.
- b) A Residential Density Code Plan is to be submitted at the time of subdivision.
- c) Approval of a Residential Density Code Plan shall then form part of the Structure Plan and shall be used for a determination of future development applications.

### 9.2 Locational Criteria

- a) R25-R60 Range

Residential density generally in accordance with the location depicted on Plan [4-3](#) 'Concept Plan – Lot 594 Ranworth Road, Hocking', or modified in accordance with the circumstances described below:

- i. The higher R60 density code will apply where the lot is created abutting, interfacing or with an outlook toward Public Open Space;
- ii. The medium density code of R40 will apply as a transition from R60 density code in proximity to St Elizabeth's Catholic Primary and Secondary School, Public Open Space and land zoned 'Special Use';

- iii. The medium density code of R30 will apply as a second transitional interface between existing residential areas and higher density coded areas; and
- iv. The low density R25 code will apply to lots interfacing with existing residential areas along the northern boundary and fronting Kirkstall Drive and balance of the site.

### **9.3 Local Development Plans**

- a) Local Development Plan (LDPs) shall be required as a condition of subdivision approval and shall be prepared in accordance with Part 6 of the *Planning and Development (Local Planning Scheme) Regulations 2015*. LDPs will generally be required in the following circumstances:
  - i. Lots abutting, interfacing or with an outlook toward Public Open Space;
  - ii. Lots that are designed to accommodate a grouped or multiple dwelling development;
  - iii. Lots that obtain vehicle access from a laneway or right-of-way;
  - iv. Lots that are zoned 'Special Use';
  - v. Lots with an area of 260m<sup>2</sup> or less; and
  - vi. Lots abutting a Pedestrian Access Way (PAW);
  - vii. Lots where specific control is required in order to retain an identified significant tree.
- b) LDPs will generally be prepared to address one or more of the following:
  - i. Building orientation;
  - ii. Building design and setbacks;
  - iii. Overlooking and/or privacy;
  - iv. Vehicle access;
  - v. Car parking;
  - vi. Private open space;
  - vii. Bushfire protection provisions (if any); and
  - viii. Any such information considered relevant by the proponent and/or determining authority to achieve the intended design outcome of the Concept Plan.





## **APPENDIX 2**

Variances Explained between  
Amendment No. 206 and ASP 6

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 385 (99) Stockholm Road, Wanneroo	5601	Special Residential	Special Residential	Special Residential, consistent with Amendment No. 22 to ASP 6.	Vacant	<p>It is the position of the WAPC that the Special Residential Zone be phased out and replaced with a Residential Zone to a low R-Coding. As a result, the Scheme now zones this lot Residential (R2) following the approval of Amendment No. 172.</p> <p>The approval of Amendment No. 172 also included this lot into the Restricted Uses 'R5' area on the Scheme Map. However, the Scheme Text provides a 'Description of Land' and 'Conditions' for 'R5' pertaining to land in the Banksia Grove and Carramar localities.</p> <p>Amendment No. 206 proposes to apply a new Restricted Use area (R7) for the four R2 coded lots in the ASP 6 area. This will resolve the anomaly with Lot 385 being included in the Restricted Use (R5) area. Conditions derived from the relevant development provisions of ASP 6 are proposed to be introduced into the Scheme Text as Restricted Use conditions.</p> <p>Further discussion is provided in Section 4.6 of the Scheme Amendment Report.</p>
Lot 386 (117) Stockholm Road, Wanneroo	5094	Special Residential	Special Residential	Special Residential, consistent with Amendment No. 22 to ASP 6.	Single House (and ancillary development)	<p>As opposed to Lot 385, Amendment No. 172 did not apply a Residential (R2) Zone or a Restricted Use area over these lots.</p> <p>Consistent with Lot 385, Amendment No. 206 proposes to zone these lots Residential (R2) and incorporate the lots into the Restricted Use area R7.</p> <p>Further discussion is provided in Section 4.6 of the Scheme Amendment Report.</p>
Lot 376 (21) Stockholm Road, Wanneroo	5000				Single House (under construction)	
Lot 375 (51) Paltara Way, Wanneroo	5000					
Lot 221 (35) Wattle Mews, Hocking	602	Residential R30	Residential R30	Refer to <b>Issues Map 1</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density codes currently shown in ASP 6 are understood to be incorrect.	Two Grouped Dwellings (with common property) assessed as R30 – refer DA2006/0269	Apply Residential R30 over the entire lot.

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 223 (39) Wattle Mews, Hocking	602	Residential R30	Residential R30	Refer to <b>Issues Map 1</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density codes currently shown in ASP 6 are understood to be incorrect.	Single House. Unclear as to what density it was assessed as. Refer BA2011/385.	Apply Residential R30 over the entire lot.
Lot 224 (41) Wattle Mews	563				Single House assessed as Residential R30 – refer to BA2005/1389	Apply Residential R30 over the entire lot.
Lot 219 (43) Wattle Mews	742				Single House assessed as Residential R20 – refer to BA2006/3602	Apply Residential R30 over the entire lot. This is noting that the battleaxe leg to Lot 219 is also shared with Lot 218, which has two grouped dwellings built to an R30 density. It would not be orderly to have different density codes for lots served by a common battle-axe leg.
Lot 218 (45) Wattle Mews, Hocking	780				Two Grouped Dwellings (with common property) assessed as R30 – refer DA2007/0185	Apply Residential R30 over the entire lot, given the density of the development onsite.
Lot 217 (53) Wattle Mews	965				Single House. Unclear as to what density it was assessed as. Refer BA2006/1038.	Although these lots should mostly be zoned Residential (R20), it is recommended that the R30 density code be applied over these lots – as all other lots serviced by the adjoining disconnected accessway are also coded R30.
Lot 216 (59) Wattle Mews	582				Single House assessed as Residential R20 – refer to BA2006/0388	
Lot 215 (61) Wattle Mews	582				Single House assessed as Residential R30 – refer to BA2004/5757	
Lot 16 (36) Vignerons Loop, Hocking	1583	Residential R30	Residential R30	Residential R30, consistent with the approval of Amendment No. 29 to ASP 6	Drainage swale on Crown Land.	Apply the 'Local Scheme Reserve – Drainage/Waterway', consistent with the use of the site.
Lot 500 (56) Vignerons Loop, Hocking	285	Residential R40	Residential R40	Residential R20, as maps provided with Amendment No. 29 to ASP 6 did not have any shading over the PAW's to indicate an R40 density coding.	Pedestrian accessways (footpaths)	Apply an R40 density code, for uniformity with the adjoining lots – in the event the PAW's are ever closed and the land used for residential development.
Lot 499 (76) Vignerons Loop, Hocking	285					

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 103 (55) Vignerons Loop, Hocking	279	Residential R30	Residential R30	Residential R30, as approved through Amendment No. 29 to ASP 6. This has come into question, as these lots are identified as R40 on Local Development Plan No. 6 (Faranda Estate Hocking Stage 2).	Single House assessed as Residential R40 (BA2018/781)	Apply Residential R40 over these lots, consistent with the LDP and how the built form over most of the lots was subsequently considered by the City.
Lot 104 (53) Vignerons Loop, Hocking	284				Vacant	
Lot 105 (51) Vignerons Loop, Hocking	287				Single House assessed as Residential R40 (BA2018/2847)	
Lot 106 (49) Vignerons Loop, Hocking	290				Single House constructed and owned by Department of Housing (City did not issue approval).	
Lot 107 (47) Vignerons Loop, Hocking	291				Single House assessed as Residential R40 (BA2017/2239)	
Lot 108 (45) Vignerons Loop, Hocking	295				Single House assessed as Residential R20 (BA2017/2037)	
Lot 109 (43) Vignerons Loop, Hocking	270				Single House assessed as Residential R40 (BA2018/2134)	
Lot 430 (33) Wyatt Road, Hocking	548	Residential R40	Residential R20	Refer to <b>Issues Map 2</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density codes currently shown in ASP 6 are understood to be incorrect.	Single House assessed as Residential R20 (BA2004/3660)	Apply Residential R40 over these lots.
Lot 433 (24) Auckland Way, Hocking	535				Single House assessed as Residential R20 (BA2005/0058)	
Lot 469 (30) Auckland Way, Hocking	557	Residential R20	Residential R20		Single House assessed as Residential R20 (BA2005/2266)	Apply Residential R20 over these lots.
Lot 468 (32) Auckland Way, Hocking	556				Single House assessed as Residential R20 (BA2005/4371)	
Lot 467 (26) Verona Street, Hocking	586				Single House. Unclear as to what density it was assessed as. Refer BA2005/1471.	
						Apply Residential R40 over this lot. The majority of the land area of this lot was coded R40 through Amendment No. 2 to ASP 6; which was inconsistent with what currently shown on the ASP 6 mapping.

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 856 (27) Verona Street, Hocking	590	Residential R20	Residential R20	Refer to <b>Issues Map 2</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density codes currently shown in ASP 6 are understood to be incorrect.	Single House. Unclear as to what density it was assessed as. Refer BA2005/34.	Apply Residential R20 over these lots.
Lot 852 (26) Phoenix Terrace, Hocking	594				Single House assessed as Residential R20 (BA2005/7027)	
Lot 819 (25) Phoenix Terrace, Hocking	609				Single House. Unclear as to what density it was assessed as. Refer BA2005/4064.	
Lot 814 (18) Vermont Approach, Hocking	609				Single House assessed as Residential R20 (BA2006/5175)	
Lot 797 (19) Vermont Approach, Hocking	618				Single House assessed as Residential R20 (BA2016/1164)	
Lot 792 (45) Sacramento Parade, Hocking	611				Single House assessed as Residential R20 (BA2005/7276)	
Lot 604 (22) Sacramento Parade, Hocking	573	Residential R40	Residential R40	Refer to <b>Issues Map 2</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density code of R40 over the entire site (as currently shown in ASP 6) is understood to be incorrect.	Two Grouped Dwellings, assessed as Residential R40 (DA2007/767)	Apply Residential R40 over the entire lot, given the density of the development onsite.
Lot 1002 (188) Nicholas Road, Hocking	295	<ul style="list-style-type: none"> <li>• Neighbourhood Centre R40 (on ASP 6)</li> <li>• Commercial R40 (on ASP 42)</li> </ul>	Commercial R40	Commercial R40, as shown in ASP 42	Vacant	Rezone to 'Mixed Use (R40)', for reasons as discussed in Section 4.11 of the Scheme Amendment Report.
Lot 1003 (186) Nicholas Road, Hocking	300					
Lot 1004 (184) Nicholas Road, Hocking	296					



## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 888 (25) Siderno Rise, Hocking	6456	Residential R40	Residential R40	Residential R40, as shown on the ASP 6 maps and as currently zoned in DPS 2	21 Grouped Dwellings with common property (refer DA2003/1138)	Apply an R40 density code, to restore an error that has occurred through the approval of Amendment No. 172 to DPS 2, which removed density coding detail over this land.
Lot 167 (10) Siderno Rise, Hocking	4251	Residential R40	Residential R40	Residential R40, as shown on the ASP 6 maps and as currently zoned in DPS 2	13 Grouped Dwellings with common property (refer DA2002/93)	Apply an R40 density code over the entire land parcel. This will restore an error that has occurred through the approval of Amendment No. 172 to DPS 2, which applied a density code of R20 over a portion of this land.
Lot 3000 (37) Toledo Drive, Hocking	486	Residential R30	Residential R30	Residential R30, consistent with the approval of Amendment No. 25 to ASP 6	Drainage sump on Crown Land.	Apply the 'Local Scheme Reserve – Drainage/Waterway', consistent with the use of the site.
Lot 192 (32) Goundrey Drive, Pearsall	303	Residential R30	Residential R30	Refer to <b>Issues Map 4</b> , outlining the density codings that have been in place since Amendment No. 24 to ASP 6. The density codes shown in the current ASP 6 mapping are understood to be incorrect.	Single House. Unclear as to what density it was assessed as. Refer BA2014/3663.	Apply Residential R30 over this lot, given its lot size – notwithstanding that this density code was not applied over the majority of the lot through Amendment No. 24.
Lot 193 (36) Goundrey Drive, Pearsall	1339				Three Grouped Dwellings and common property. Dwellings approved individually as Residential R30 development – DA2021/59, DA2021/611 & DA2021/196	
Lot 185 (37) Goundrey Drive, Pearsall	500				Single House assessed as Residential R30 (BA2013/4016)	
Lot 176 (30) Cornelia Vista, Hocking	500				Single House. Unclear as to what density it was assessed as. Refer BA2015/1150.	
Lot 165 (43) Cornelia Vista, Hocking	517				Residential R20	
Lot 151 (29) Archer Street, Pearsall	383	Residential R30	Residential R30		Single House. Unclear as to what density it was assessed as. Refer BA2013/3495.	
Lot 152 (27) Archer Street, Pearsall	329				Single House. Unclear as to what density it was assessed as. Refer BA2013/4478.	
Lot 153 (25) Archer Street, Pearsall	329				Single House. Unclear as to what density it was assessed as. Refer BA2013/2062.	
Lot 154 (23) Archer Street, Pearsall	329				Single House. Unclear as to what density it was assessed as. Refer BA2013/2406.	

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 155 (21) Archer Street, Pearsall	328	Residential R30	Residential R30	Refer to <b>Issues Map 4</b> , outlining the density codings that have been in place since Amendment No. 24 to ASP 6. The density codes shown in the current ASP 6 mapping are understood to be incorrect.	Single House. Unclear as to what density it was assessed as. Refer BA2013/2731.	Apply Residential R30, as the approval of Amendment No. 24 to ASP 6 showed the majority of the land comprising these land parcels being coded as such.
Lot 156 (19) Archer Street, Pearsall	328				Single House. Unclear as to what density it was assessed as. Refer BA2013/2549.	
Lot 157 (17) Archer Street, Pearsall	328				Single House. Unclear as to what density it was assessed as. Refer BA2013/2664.	
Lot 158 (15) Archer Street, Pearsall	328				Single House. Unclear as to what density it was assessed as. Refer BA2013/2605.	
Lot 159 (13) Archer Street, Pearsall	382				Single House. Unclear as to what density it was assessed as. Refer BA2013/2601.	
Lot 6 (1) Archer Street, Pearsall	671	Residential R30	Part Residential R30; Part Other Regional Roads reservation	Part Residential R30, except for the portion of land reserved for 'Other Regional Roads' under the MRS.	Vacant.	Leave as Urban Development, as the City has identified this land as a road widening remnant – and that the land may be absorbed into the adjoining road reserve into the future.
Lot 8000 (14) Lamont Link	833	Residential R40	Residential R40	<p>This lot is shown as a road in the ASP map approved as part of Amendment No. 2. No subsequent amendment formally changed the ASP to show the current Residential R40 over Lot 8000 instead of a road.</p> <p>Pursuant to Section 4.1 of the ASP 6 text, unless otherwise identified on the structure plan map, the residential density to apply is R20. This includes over land depicted as roads in the ASP map.</p>	Drainage sump on Crown Land.	Apply the 'Local Scheme Reserve – Drainage/Waterway', consistent with the use of the site.

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 128 (16) Cullen Rise, Pearsall	461	Residential R40	Residential R40	Refer to <b>Issues Map 5</b> , outlining the density codings that have been in place since Amendment No. 20 to ASP 6. The density codes shown in the current ASP 6 mapping are understood to be incorrect.	Single House assessed as Residential R40 (BA2016/3326). Local Development Plan No. 1 (approved 8 August 2016) outlines the density code for this lot as being R40.	Apply Residential R40 over this lot, given it is consistent with the density code designated on the relevant Local Development Plan.
Lot 141 (8) Alkoomi Way, Pearsall	310			The areas shown as R20 on <b>Issues Map 5</b> were designated as local roads in the ASP map, shown in the approval of Amendments No. 2 and No. 20 to ASP 6.	Single House assessed as Residential R40 (BA2016/4357). Local Development Plan No. 1 (approved 8 August 2016) outlines the density code for this lot as being R40.	Apply Residential R40 over these lots, given: <ul style="list-style-type: none"> <li>It is consistent with the density code designated on the relevant Local Development Plan; and</li> <li>The size of the lots are more consistent with the R40 density code.</li> </ul>
Lot 142 (10) Alkoomi Way, Pearsall	275			Pursuant to Section 4.1 of the APS 6 text, unless otherwise identified on the structure plan map, the residential density to apply is R20. This includes over land depicted as roads in the ASP map.	Single House assessed as Residential R40 (BA2016/2904). Local Development Plan No. 1 (approved 8 August 2016) outlines the density code for this lot as being R40.	
Lot 143 (12) Alkoomi Way, Pearsall	275				Single House assessed as Residential R40 (BA2017/714). Local Development Plan No. 1 (approved 8 August 2016) outlines the density code for this lot as being R40.	
Lot 144 (14) Alkoomi Way, Pearsall	312				Single House assessed as Residential R40 (BA2016/4050). Local Development Plan No. 1 (approved 8 August 2016) outlines the density code for this lot as being R40.	
Lot 271 (125) Willespie Drive, Pearsall	5000	Neighbourhood Community Centre, Commercial Zone	Commercial R20	Neighbourhood Community Centre, Commercial Zone (of no R-Coding)	Pearsall Community Centre.	Apply the 'Local Scheme Reserve – Civic and Community', to coincide with the current use of the land.

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 267 (155) Willespie Drive, Pearsall	7810	Neighbourhood Community Centre, Commercial Zone	Commercial R20	Neighbourhood Community Centre, Commercial Zone (of no R-Coding)	Local centre commercial development.	Apply the Commercial Zone consistent with ASP 6; however with an R40 density code for the following reasons: <ul style="list-style-type: none"> <li>For consistency with the R40 density code being applied for the Hocking Neighbourhood Centre located further to the north; and</li> <li>As Single House and Grouped Dwellings are not permitted in the Commercial Zone under DPS 2, an R40 density code will better facilitate any future possible forms of residential development in the centre (such as multiple dwellings).</li> </ul>
Lot 231 (7) Matta Way, Pearsall	636	Residential R20	Residential R30	Residential R30, consistent with the approval of Amendment No. 30 to ASP 6	Single House assessed as Residential R30 (BA2020/2055)	Apply Residential R30 over this lot.
Lot 129 (2) Boboli Way, Pearsall	918	Residential R20	Residential R20	Refer to <b>Issues Map 6</b> , outlining the density codings that have been in place since Amendment No. 2 to ASP 6. The density codes shown in the current ASP 6 mapping are understood to be incorrect.	Three Grouped Dwellings, assessed as Residential R40 (DA2005/762)	Apply Residential R40 over these lots.
Lot 128 (44) Covert Fairway, Pearsall	1136				Temporary drainage sump, still in private ownership.	
Lot 127 (42) Covert Fairway, Pearsall	737				Single House assessed as Residential R20 (BA2004/1561)	Apply Residential R20 over these lots, as that density code was imposed over the majority of the land through Amendment No. 2 to ASP 6.
Lot 130 (6) Boboli Way, Pearsall	672				Single House assessed as Residential R20 (BA2005/5056)	
Lot 390 (19) Pinot Loop, Pearsall	296	Residential R30	Residential R30	Refer to <b>Issues Map 7</b> , outlining the density codings that have been in place since Amendment No. 13 to ASP 6. The density codes shown in ASP 6 are understood to be incorrect.	Single House (refer BA2013/1519). A previous version of Detailed Area Plan for Lot 9101 Hidcote Way Pearsall, which was valid at the time the dwelling was approved, outlined the density code for the lot as being R30. This detail was removed when amendments to this DAP were approved in June 2013.  As the initial DAP was in place at the time the Single House was approved, it is assumed that the dwelling was assessed as R30.	Apply Residential R30 over this lot.

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 391 (17) Pinot Loop, Pearsall	300	Residential R30	Residential R30	Refer to <b>Issues Map 7</b> , outlining the density codings that have been in place since Amendment No. 13 to ASP 6. The density codes shown in ASP 6 are understood to be incorrect.	Single House (refer BA2012/3243). Comments regarding the DAP for Lot 390 above relate to this lot.	Apply Residential R30 over these lots.
Lot 392 (15) Pinot Loop, Pearsall	300				Single House (refer BA2012/2940). Comments regarding the DAP for Lot 390 above.	
Lot 393 (13) Pinot Loop, Pearsall	300				Single House (refer BA2012/3327). Comments regarding the DAP for Lot 390 above.	
Lot 394 (11) Pinot Loop, Pearsall	300				Single House (refer BA2012/3371). Refer to comments regarding the DAP for Lot 390 above.	
Lot 395 (9) Pinot Loop, Pearsall	300				Single House assessed as Residential R30 (BA2013/279)	
Lot 396 (7) Pinot Loop, Pearsall	300				Single House (refer BA2012/1551). Comments regarding the DAP for Lot 390 above.	
Lot 397 (5) Pinot Loop, Pearsall	300				Single House (refer BA2013/780). Comments regarding the DAP for Lot 390 above.	
Lot 398 (3) Pinot Loop, Pearsall	300				Single House (refer BA2013/251). Comments regarding the DAP for Lot 390 above.	
Lot 405 (2) Pinot Loop, Pearsall	328	Residential R20	Residential R20	Refer to <b>Issues Map 7</b> , outlining the density codings that have been in place since Amendment No. 13 to ASP 6. The density codes shown in ASP 6 are understood to be incorrect.	Single House (refer BA2013/99). Comments regarding the DAP for Lot 390 above.	
Lot 406 (4) Pinot Loop, Pearsall	328				Single House assessed as Residential R30 (BA2012/3872)	
Lot 410 (59) Pinot Loop, Pearsall	329				Single House. Unclear as to what density it was assessed as. Refer BA2014/3245.	
Lot 411 (57) Pinot Loop, Pearsall	346				Single House. Unclear as to what density it was assessed as. Refer BA2014/4979.	

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 412 (55) Pinot Loop, Pearsall	340	Residential R20	Residential R20	Refer to <b>Issues Map 7</b> , outlining the density codings that have been in place since Amendment No. 13 to ASP 6. The density codes shown in ASP 6 are understood to be incorrect.	Single House. Unclear as to what density it was assessed as. Refer BA2014/4362.	Apply Residential R30 over these lots.
Lot 413 (53) Pinot Loop, Pearsall	336				Single House assessed as Residential R30 (BA2014/5571)	
Lot 414 (51) Pinot Loop, Pearsall	364				Single House assessed as Residential R30 (BA2014/4390)	
Lot 404 (129) Kemp Street, Pearsall	600				Vacant.	
Lot 403 (131) Kemp Street, Pearsall	600				Vacant.	Apply Residential R20 over these lots.
Lot 322 (11) Clairault Rise, Pearsall	421	Residential R20	Residential R30	Residential R30, consistent with Amendment No. 23 to ASP 6. The density codes shown in the current ASP 6 mapping are understood to be incorrect.	Single House assessed as Residential R30 (BA2021/2467)	Apply Residential R30 over these lots, consistent with what was approved through Amendment No. 23 to ASP 6.
Lot 323 (12) Clairault Rise, Pearsall	433	Residential R20	Residential R25		Single House assessed as Residential R25 (DA2019/446)	
Lot 336 (11) Grenacre Chase, Pearsall	435				Single House assessed as Residential R25 (BA2021/1432)	
Lot 337 (12) Grenacre Chase, Pearsall	441				Single House assessed as Residential R25 (BA2014/1784)	
Lot 350 (48) Cabernet Loop, Pearsall	440				Single House assessed as Residential R25 (BA2015/3898)	
Lot 48 (3) Clairault Rise, Pearsall	429	Residential R20	Residential R30	Residential R30, consistent with Amendment No. 15 to ASP 6.	Single House assessed as Residential R30 (BA2017/2911)	Apply Residential R30 over these lots, consistent with what was approved through Amendment No. 15 to ASP 6.
Lot 49 (5) Clairault Rise, Pearsall	429				Single House. Unclear as to what density it was assessed as. Refer BA2010/4391.	
Lot 50 (7) Clairault Rise, Pearsall	429				Single House. Unclear as to what density it was assessed as. Refer BA2010/4285.	
Lot 51 (9) Clairault Rise, Pearsall	428				Single House assessed as Residential R30 (BA2017/3172)	
Lot 55 (4) Clairault Rise, Pearsall	433				Single House. Unclear as to what density it was assessed as. Refer BA2010/2909.	



## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 54 (6) Clairault Rise, Pearsall	433	Residential R20	Residential R30	Residential R30, consistent with Amendment No. 15 to ASP 6.	Single House. Unclear as to what density it was assessed as. Refer BA2011/2264.	Apply Residential R30 over these lots, consistent with what was approved through Amendment No. 15 to ASP 6.
Lot 53 (8) Clairault Rise, Pearsall	433				Single House. Unclear as to what density it was assessed as. Refer BA2010/4847.	
Lot 52 (10) Clairault Rise, Pearsall	433				Single House. Unclear as to what density it was assessed as. Refer BA2010/4762.	
Lot 61 (3) Grenache Chase, Pearsall	435				Single House. Unclear as to what density it was assessed as. Refer BA2010/4897.	
Lot 62 (5) Grenache Chase, Pearsall	435				Single House. Unclear as to what density it was assessed as. Refer BA2010/4450.	
Lot 63 (7) Grenache Chase, Pearsall	435				Single House. Unclear as to what density it was assessed as. Refer BA2010/4772.	
Lot 64 (9) Grenache Chase, Pearsall	435				Single House. Unclear as to what density it was assessed as. Refer BA2010/4926.	
Lot 67 (6) Grenache Chase, Pearsall	441				Single House. Unclear as to what density it was assessed as. Refer BA2010/4614.	
Lot 66 (8) Grenache Chase, Pearsall	441				Single House. Unclear as to what density it was assessed as. Refer BA2010/5123.	
Lot 65 (10) Grenache Chase, Pearsall	441				Single House assessed as Residential R30 (BA2010/5127)	
Lot 75 (54) Cabernet Loop, Pearsall	441				Single House assessed as Residential R30 (BA2010/1310)	
Lot 76 (52) Cabernet Loop, Pearsall	441				Single House. Unclear as to what density it was assessed as. Refer BA2015/1157.	
Lot 77 (50) Cabernet Loop, Pearsall	441				Single House assessed as Residential R30 (BA2010/1992)	

## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 68 (4) Grenache Chase, Pearsall	441	Residential R20	Residential R30	<p>Refer to <b>Issues Map 8</b>, outlining the density codings that have been in place since Amendments No. 2 and/or No. 15 to ASP 6. The density codes shown in ASP 6 are understood to be incorrect.</p> <p>The areas shown as R20 on <b>Issues Map 8</b> were designated as local roads in the ASP map, approved as part of Amendment No. 15 to ASP 6.</p> <p>Pursuant to Section 4.1 of the APS 6 text, unless otherwise identified on the structure plan map, the residential density to apply is R20. This includes over land depicted as roads in the ASP map.</p>	Single House lodged by the applicant as Residential R20 (BA2010/4884)	Apply Residential R30 over these lots, given that majority of the land in these parcels were coded as such since the approval of Amendment No. 2 to ASP 6.
Lot 74 (56) Cabernet Loop, Pearsall	441				Single House assessed as Residential R30 (BA2015/1990)	
Lot 73 (45) Scamills Road, Pearsall	315				Single House assessed as Residential R30 (DA2010/1366)	Apply Residential R30 over these lots, given the size of the lots is consistent with this density code.
Lot 72 (43) Scamills Road, Pearsall	315				Single House assessed as Residential R30 (DA2010/1344)	
Lot 71 (41) Scamills Road, Pearsall	315				Single House assessed as Residential R30 (DA2010/1293)	
Lot 70 (39) Scamills Road, Pearsall	315				Single House assessed as Residential R30 (DA2011/135)	
Lot 69 (37) Scamills Road, Pearsall	315				Single House assessed as Residential R30 (DA2010/1333)	
Lot 60 (33) Scamills Road, Pearsall	310				Single House assessed as Residential R30 (DA2011/348)	
Lot 59 (31) Scamills Road, Pearsall	310				Single House assessed as Residential R30 (DA2010/740)	
Lot 58 (29) Scamills Road, Pearsall	310				Single House assessed as Residential R30 (DA2010/606)	
Lot 57 (27) Scamills Road, Pearsall	310				Single House assessed as Residential R30 (DA2010/1003)	
Lot 56 (25) Scamills Road, Pearsall	310				Single House assessed as Residential R30 (DA2010/609 & DA2010/778)	
Lot 47 (21) Scamills Road, Pearsall	382				Single House. Unclear as to what density it was assessed as. Refer BA2010/1413.	
Lot 46 (19) Scamills Road, Pearsall	382				Single House. Unclear as to what density it was assessed as. Refer BA2010/2885.	

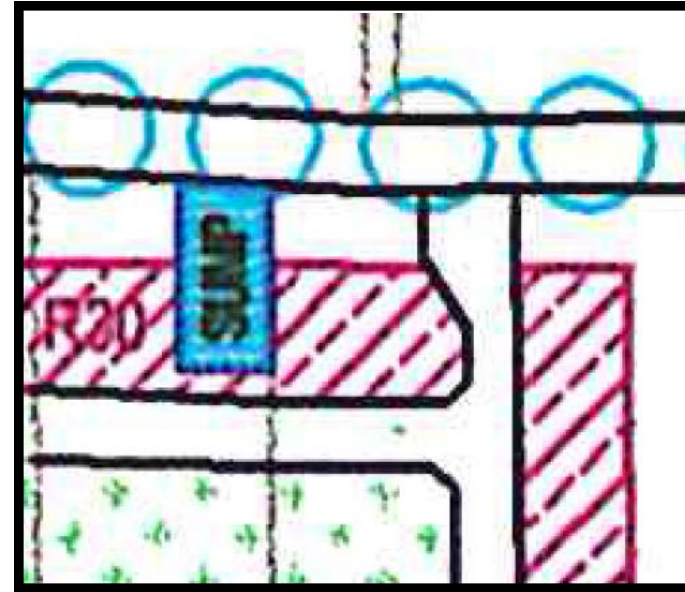
## Justification of Variances between ASP 6 and Proposed Amendment No. 206 to DPS 2

Property Detail	Land Area (sqm)	ASP Map Showing?	City IntraMaps Showing?	What it should be in ASP 6 and why?	Development on Property	Solution for Amendment No. 206 to DPS 2
Lot 78 (2) Voyager Link, Pearsall	5400	Public open space	Residential R20	Mostly public open space, but with some Residential (R20), as determined through Amendment No. 2 and No. 15 to ASP 8 – and as shown on <b>Issue Maps 8</b> .	Public open space	Apply the 'Local Scheme Reserve – Public Open Space', consistent with the use of the site.
Lot 50 (204) Shiraz Boulevard, Pearsall	5574	Special Use Zone (permitting Service Station, Convenience Store, Car Wash and Drive-Through Food Outlet)	Special Zone (R20)	Special Use Zone (permitting a limited array of land uses).	Service Station, Car Wash and Drive-Through Food Outlet (each approved at various times)	Zone 'Service Commercial', with Restricted Uses as discussed further in Section 4.12 of the Scheme Amendment Report.




# Issue Maps 1 – Wattle Mews, Hocking

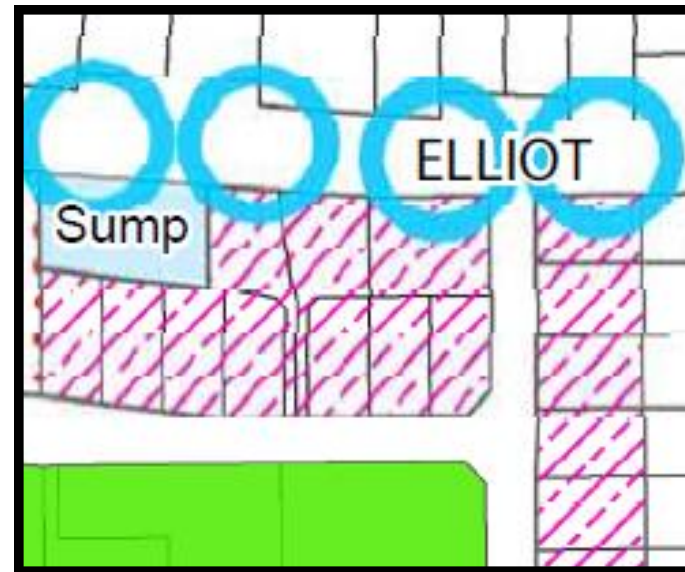


Assumed Correct Structure Plan Detail (see legend below)



Structure Plan Detail - Following Approval of Amendment No. 2

-  Residential R20
-  Residential R30
-  Sump



Current Structure Plan Detail



# Issue Maps 2 – St. Louis Avenue, Hocking

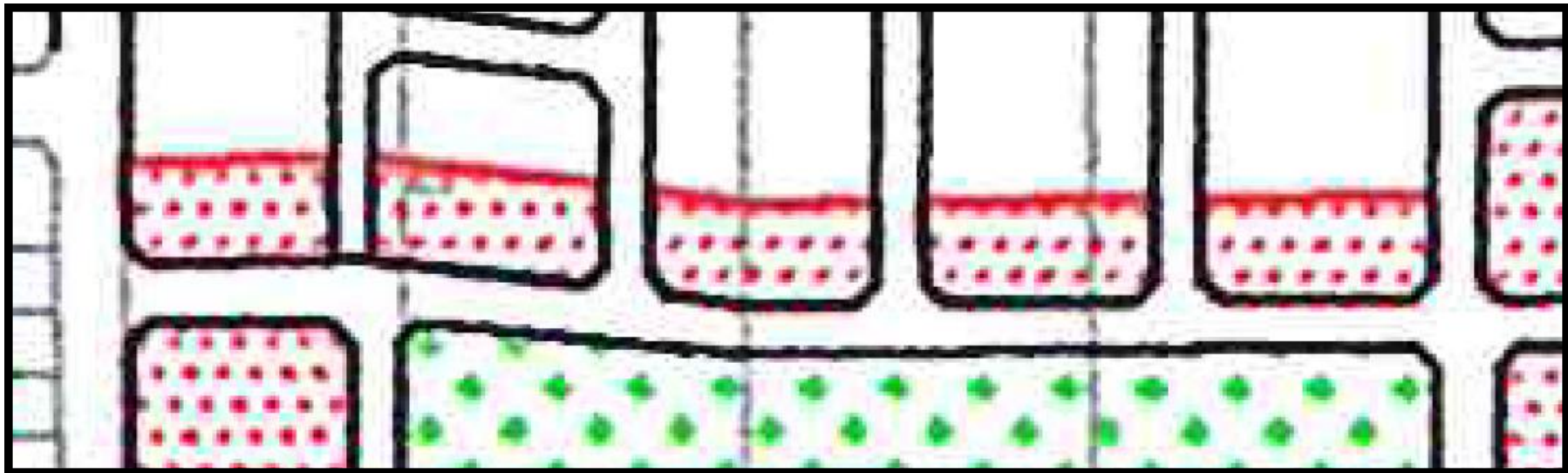


Assumed Correct Structure Plan Detail (see legend below)

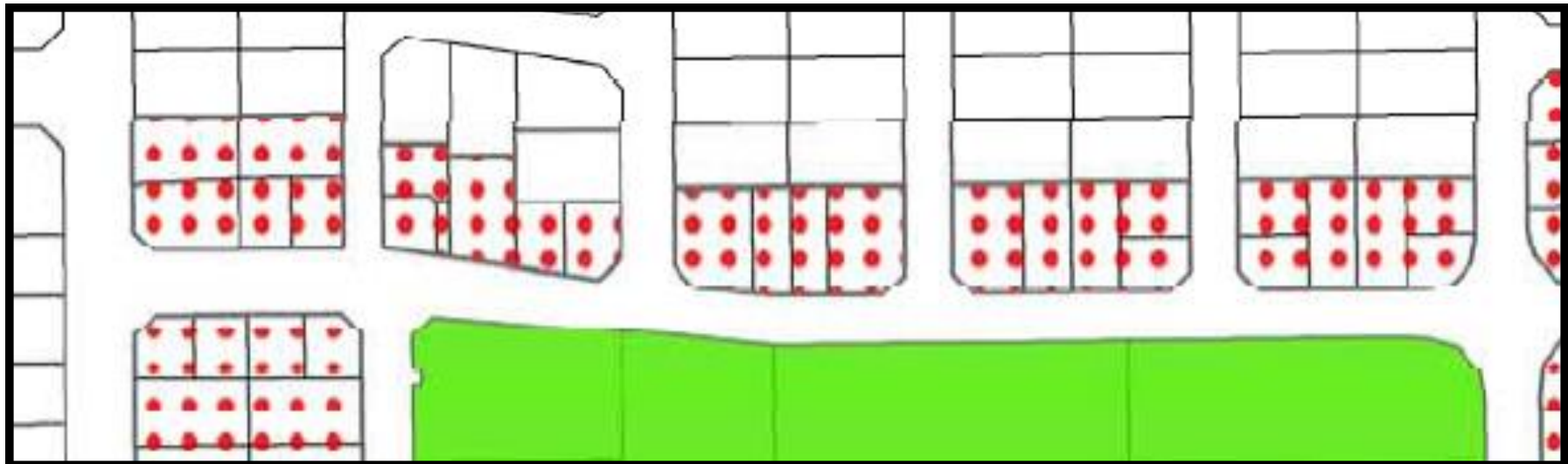
- Residential R20
- Residential R40



**Issue Maps 2 – St. Louis Avenue, Hocking**



**Structure Plan Detail - Following Approval of Amendment No. 2**



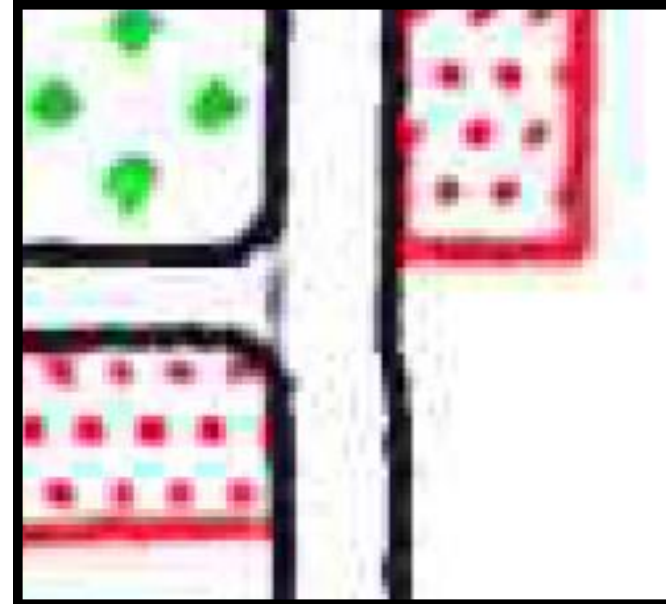
**Current Structure Plan Detail**





# Issue Maps 3 – 22 Sacramento Parade, Hocking

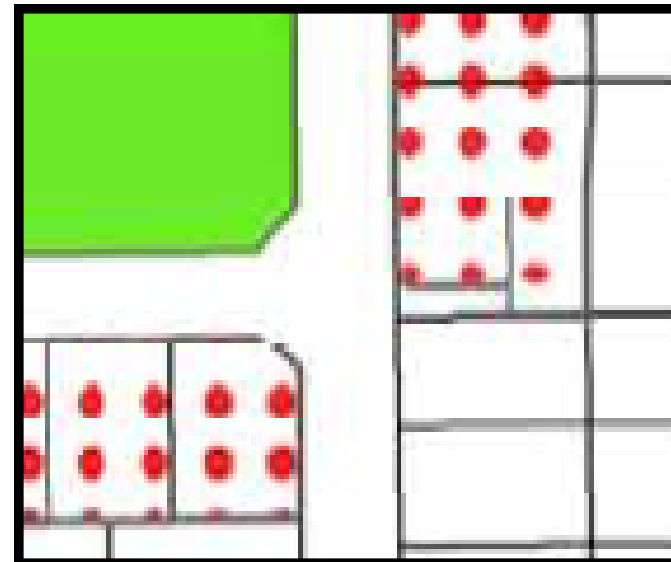


Assumed Correct Structure Plan Detail (see legend below)



Structure Plan Detail - Following Approval of Amendment No. 2

-  Residential R20
-  Residential R40





Current Structure Plan Detail

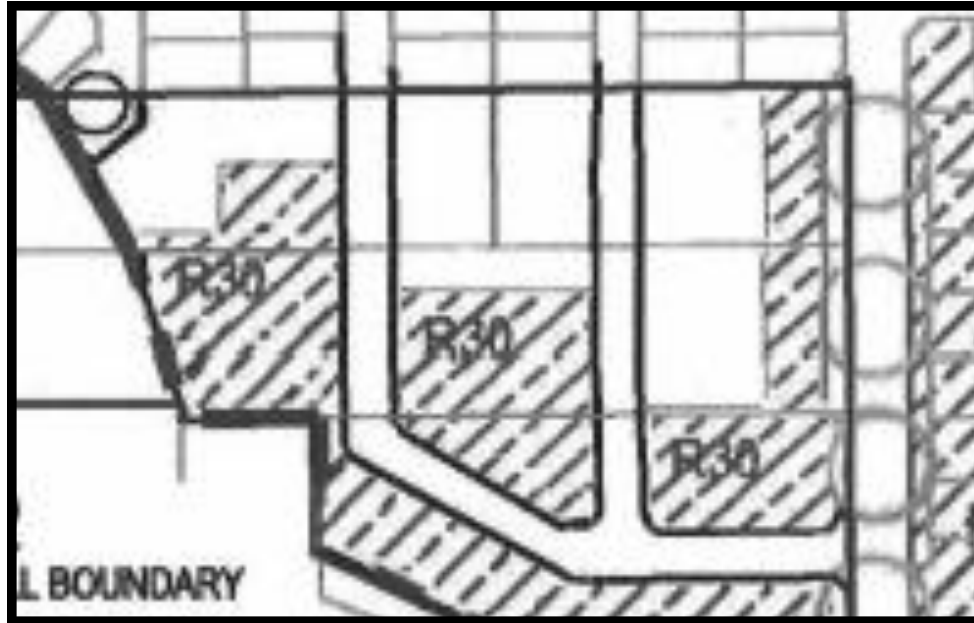
# Issue Maps 4 – Goundrey Drive/Archer Street, Pearsall



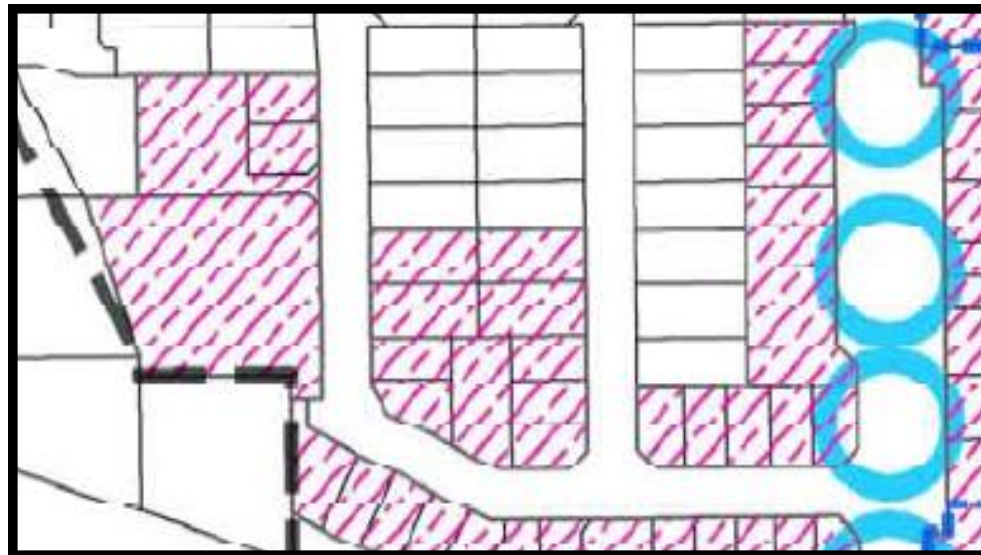
Assumed Correct Structure Plan Detail (see legend below)

-  Residential R20
-  Residential R30

**Issue Maps 4 – Goundrey Drive/Archer Street, Pearsall**



**Structure Plan Detail - Following Approval of Amendment No. 24**



**Current Structure Plan Detail**



# Issue Maps 5 – Cullen Rise/Alkoomi Way, Pearsall



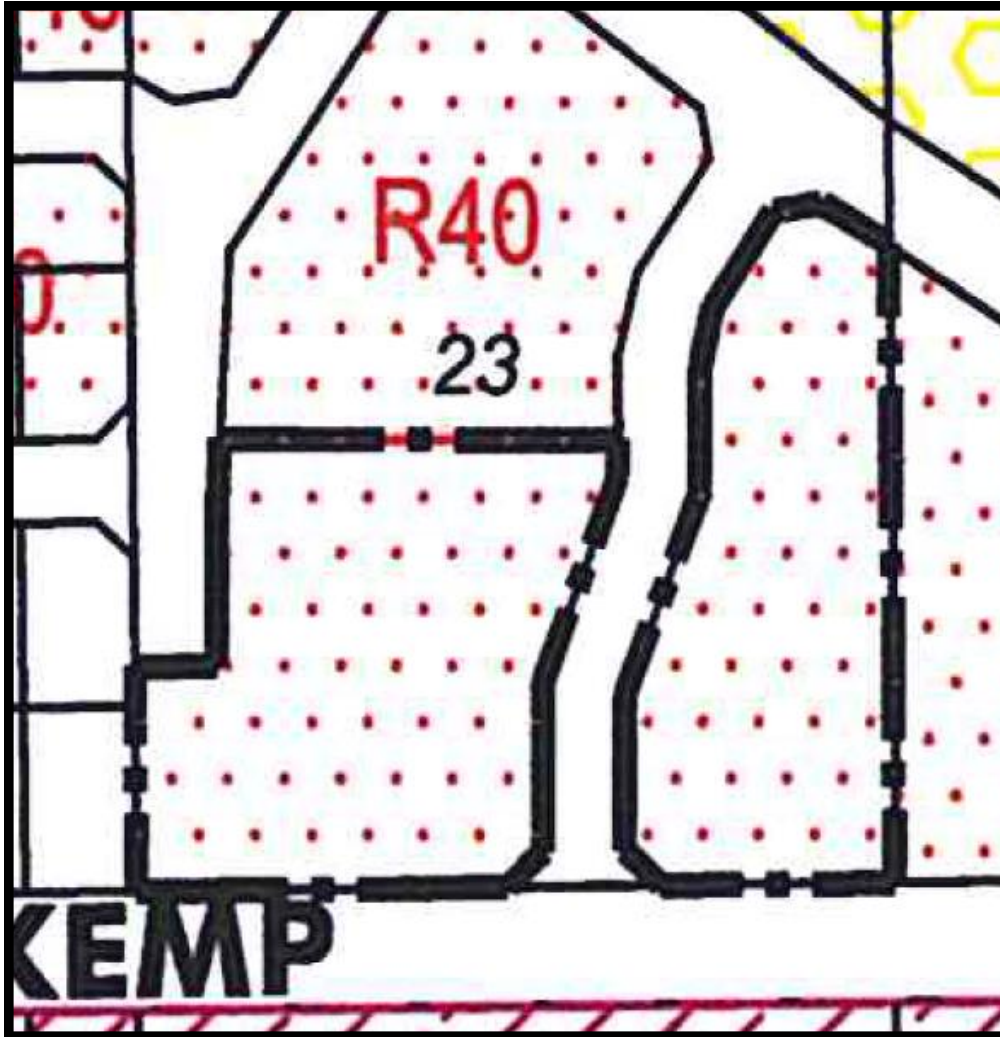
 Residential R20

 Residential R40

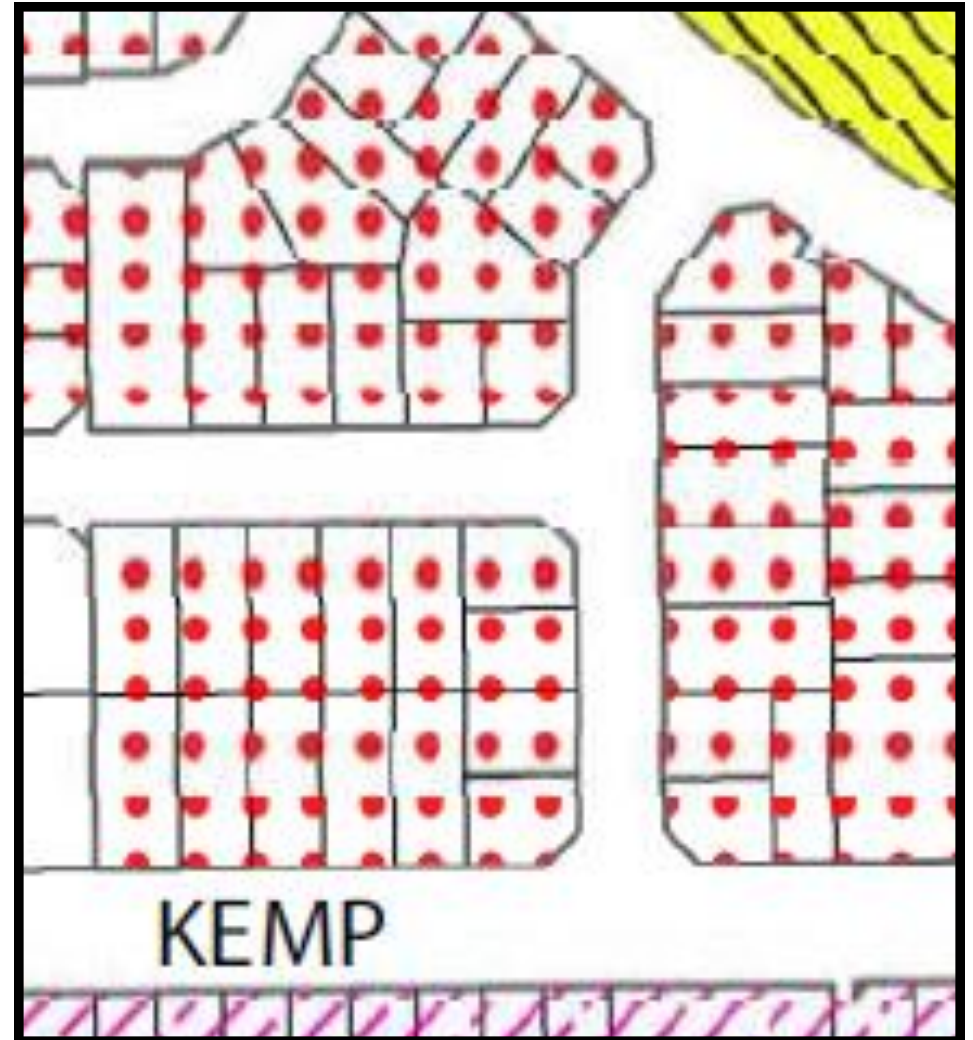
Assumed Correct Structure Plan Detail (see legend)



Issue Maps 5 – Cullen Rise/Alkoomi Way, Pearsall

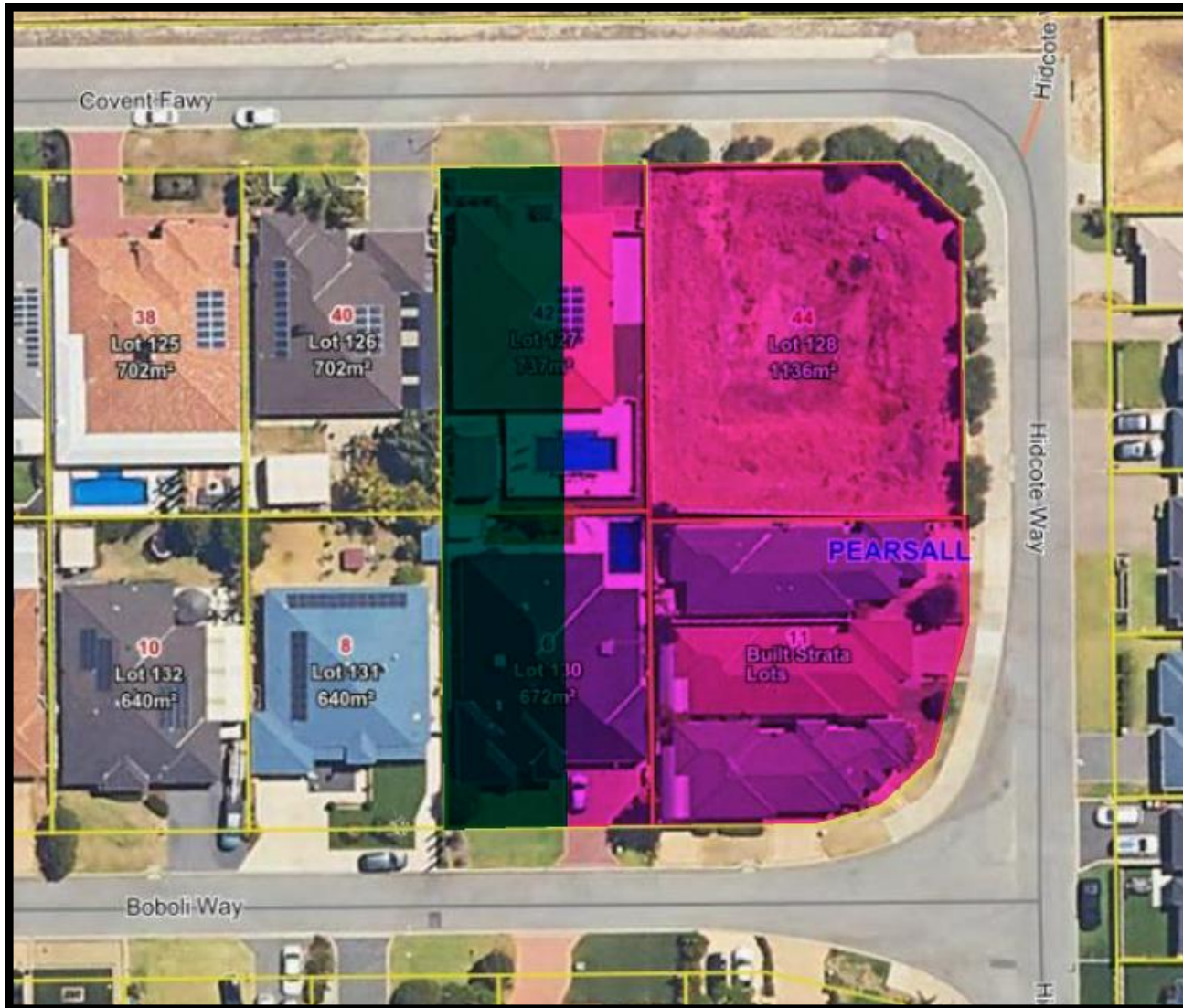


Structure Plan Detail - Following Approval of Amendment No. 20



Current Structure Plan Detail

## Issue Maps 6 – Hidcote Way, Pearsall



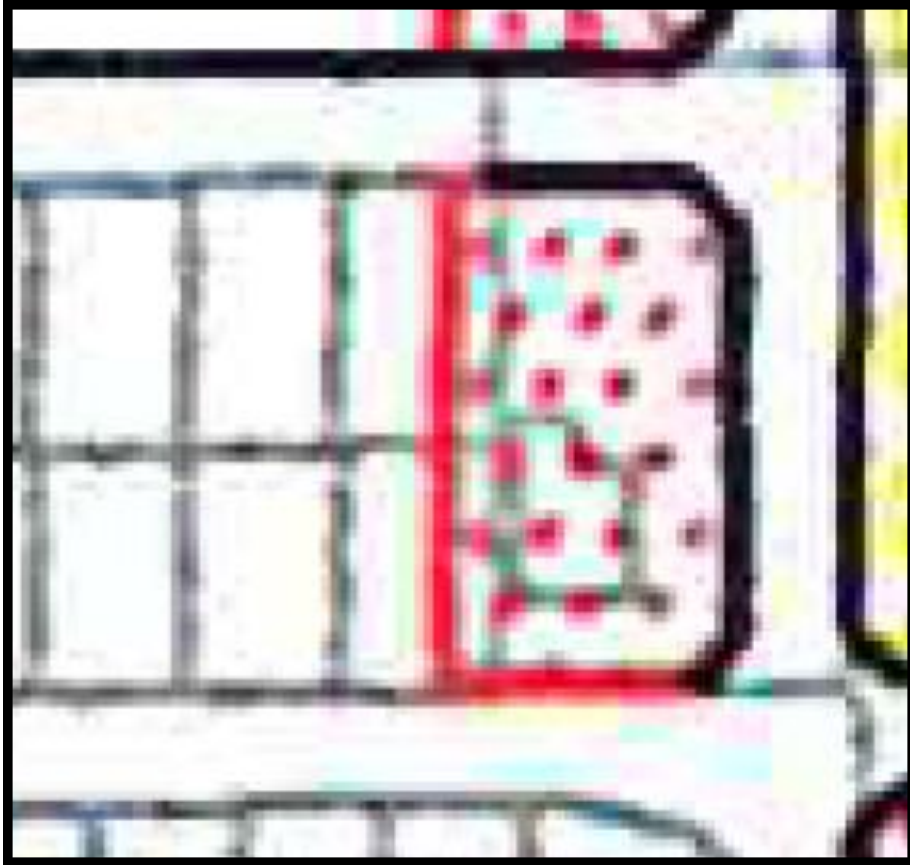
 Residential R20

 Residential R40

Assumed Correct Structure Plan Detail (see legend)



**Issue Maps 6 – Hidcote Way, Pearsall**



**Structure Plan Detail - Following Approval of Amendment No. 2**



**Current Structure Plan Detail**

# Issue Maps 7 – Pinot Loop, Pearsall

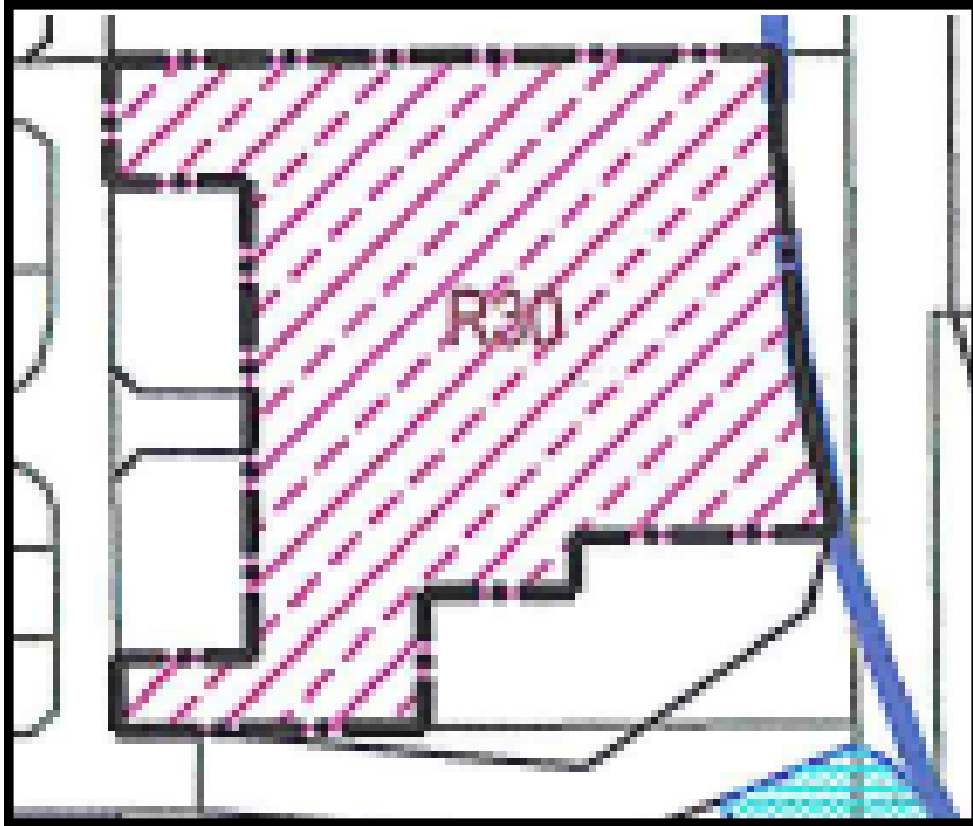


- Residential R20
- Residential R30

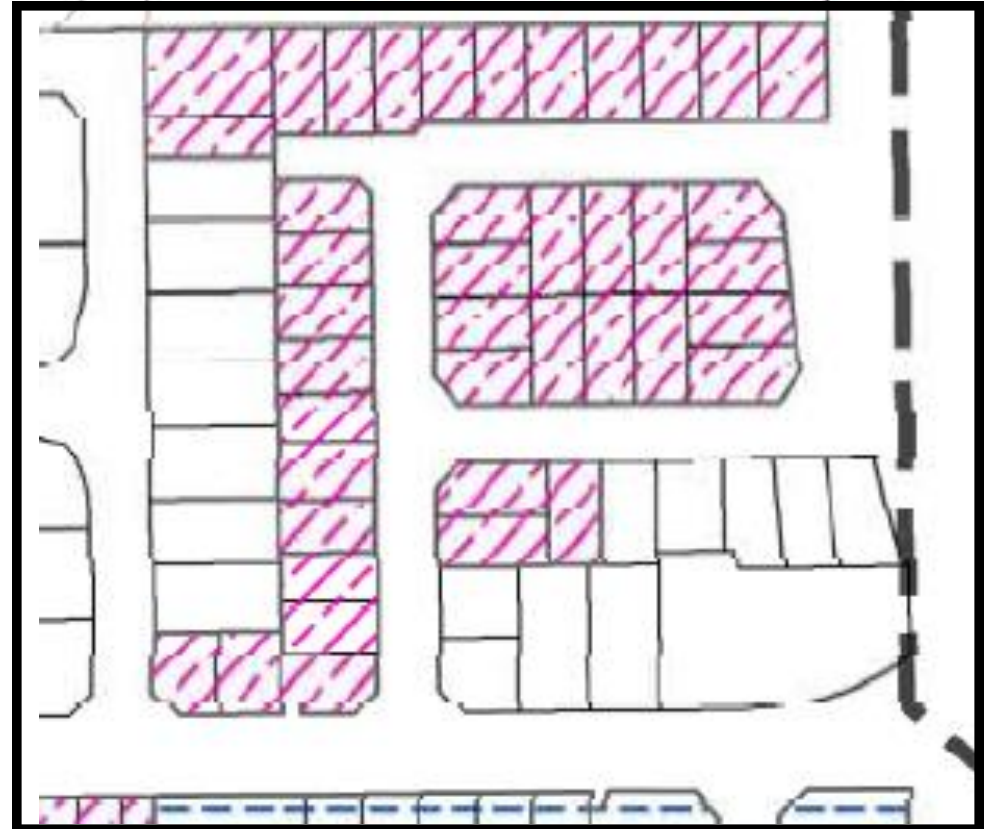
Assumed Correct Structure Plan Detail (see legend)



**Issue Maps 7 – Pinot Loop, Pearsall**



**Structure Plan Detail - Following Approval of Amendment No. 13**



**Current Structure Plan Detail**



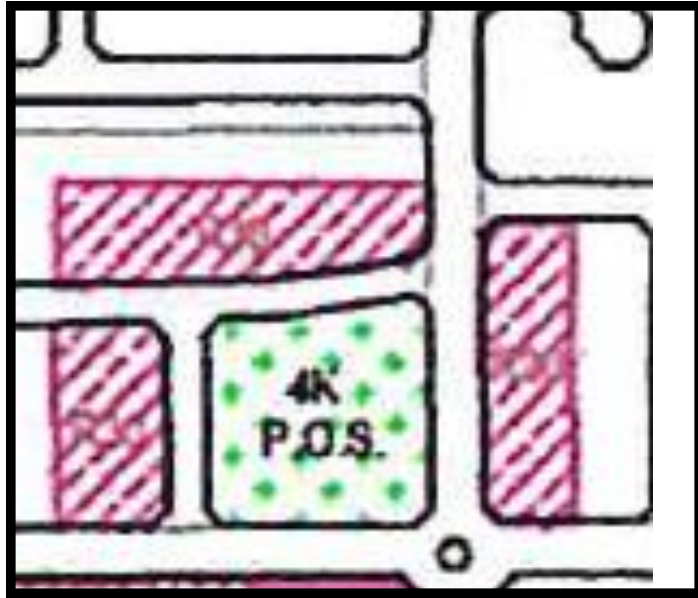
# Issue Maps 8 – Scamills Road, Pearsall



- Residential R20
- Residential R30
- Public Open Space

Assumed Correct Structure Plan Detail (see legend)

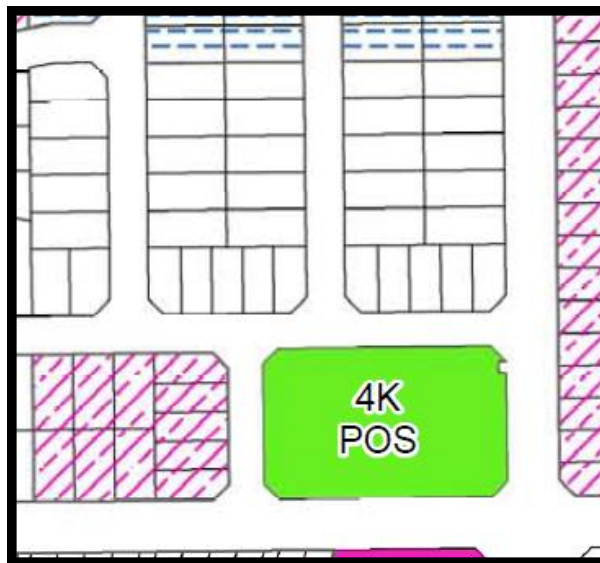
**Issue Maps 8 – Scamills Road, Pearsall**



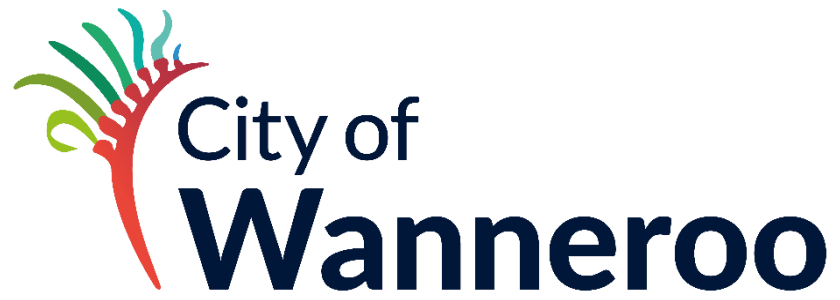
Structure Plan Detail - Following Approval of Amendment No. 2



Structure Plan Detail - Following Approval of Amendment No. 15



Current Structure Plan Detail



## **APPENDIX 3**

Review of Objectives for ASP 6 Special Residential Precinct

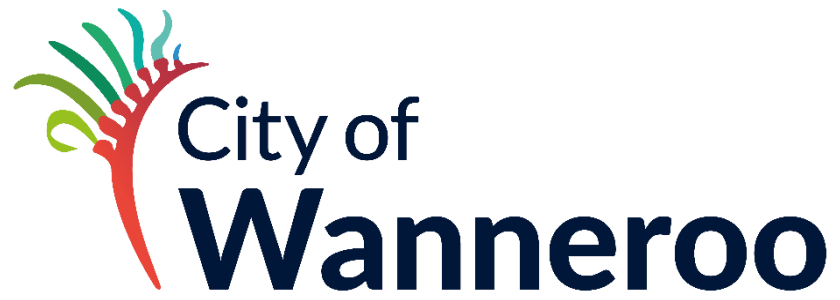


## Review of ASP 6 Provisions for Special Residential Precinct

ASP 6 Provision	City Response and Action for Amendment No. 206
a) The minimum lot size shall be 5,000 square metres.	The four lots created in the ASP 6 Special Residential Precinct ( <b>four lots</b> ) all exceed 5,000m <sup>2</sup> . Lot sizes of at least 5,000m <sup>2</sup> is consistent with the R2 density code, as prescribed in State Planning Policy 7.3: Residential Design Codes Volume 1 ( <b>R-Codes</b> ). No other specific provision to control lot sizes is needed to be introduced through Amendment No. 206.
b) All buildings are to be contained within nominated Building Envelopes of a maximum size of 1,000 square metres with minimum front setbacks of 20 metres and minimum side and rear setbacks of 10 metres, the location of which shall be generally in accordance with the Streetscape Concept Plan (Plan 3)	<p>The minimum front, side and rear setbacks prescribed in ASP 6 are consistent with those stipulated in the R-Codes for the R2 density code.</p> <p>The maximum size of the building envelope stipulated in ASP 6 is generally consistent with the open space requirements of the R-Codes for R2, which requires a minimum of 80% open space. In other words, on a lot with an area of 5,000m<sup>2</sup>, site cover would be limited to 1000m<sup>2</sup>.</p> <p>Development on land that is vegetated will also be restricted or controlled by provisions to be transferred into DPS 2, as discussed in (c) and (e) below.</p> <p>The City therefore considers that having a defined 'building envelope' and 'Streetscape Concept Plan' over the four lots is superfluous.</p>
c) Except to the extent necessary for the construction of approved buildings and driveways or in accordance with an approved revegetation plan, no land shall be cleared of vegetation without prior approval of the Council.	<p>On review of aerial photography, the four lots were fully cleared and bare of vegetation at the subdivision stage. Over time, revegetation occurred on Lots 375 and 376, consistent with a Revegetation Plan provided to the City through the subdivision process.</p> <p>This requirement is proposed to be transferred into DPS 2 as a Restricted Use condition (for R7), to protect revegetation that has occurred to date. The Restricted Use condition could also apply to protecting further vegetation that regenerates on the four lots in the future.</p>
d) Electricity shall be provided by means of underground cables to all buildings.	This provision is proposed to be transferred into DPS 2 as a Restricted Use condition (for R7), to prohibit above-ground wires and poles which may be unsightly and pose a safety risk.
e) The Council may, as a condition of any approval granted under special provisions (b) and (c), require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs.	<p>In relation to planting and maintaining vegetation, the City has proposed to include the following as a Restricted Use condition:</p> <p><i>The local government may, as a condition of any approval granted, require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs.</i></p>
f) At the subdivision stage, the subdivider shall construct the stormwater drainage systems necessary to contain the 1:100 24-hour duration storm event wholly within the Special Residential lots to the specification and satisfaction of the Council.	This requirement related to subdivision works and is now no longer enforceable. Further works to contain stormwater on site can be considered through further applications for development approval or building permit.

# Review of ASP 6 Provisions for Special Residential Precinct

ASP 6 Provision	City Response and Action for Amendment No. 206
<p>g) For the Special Residential lots west of the Public Open Space, at least the first 300 mm above the design ground level of the dividing fence along the boundary with the adjoining Residential R20 lots shall be of brick or masonry construction to ensure that no water runoff to the Residential R20 lots occurs. The 300 mm brick or masonry section of the dividing fence shall be constructed by the subdivider at the subdivision stage. The balance of the fence to be constructed on top of the brick/masonry section may be constructed by the subdivider but, if it is not, must be constructed when a dwelling is first built on the lot.</p>	<p>A more simplified provision which aims to control and retain stormwater on Lot 375 and Lot 376 is proposed to be introduced into DPS 2 as a Restricted Use condition (for R7). The proposed Restricted Use condition is as follows:</p> <p><i>For development on Lot 375 and Lot 376, at least the first 300mm above the design level of the dividing fence along the southern boundary shall be of brick or masonry construction to ensure that water runoff is retained onsite.</i></p>
<p>h) The owners of the land within the Special Residential Precinct shall comply with any Revegetation Plan for the Precinct approved by the City prior to any of the lots within the Precinct being sold, unless another alternative satisfactory to the City is agreed.</p>	<p>The City received a Revegetation Plan in 2011, as it was required to meet conditions of subdivision that created the four lots. That plan showed the portions of the lots in which revegetation was meant to be undertaken.</p> <p>The Revegetation Plan has generally been followed for Lot 375 and Lot 376. Vegetation still exists on those lots within the revegetation area. However, revegetation seems to have not occurred (or at least properly maintained) on Lot 385 and Lot 386.</p> <p>As outlined above, the following is proposed to be introduced into DPS 2 as a Restricted Use condition (for R7):</p> <p><i>The local government may, as a condition of any approval granted, require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs.</i></p> <p>The provision to be introduced into DPS 2 will require revegetation to coincide with the development approval of new buildings where appropriate.</p>



## **APPENDIX 4**

Review of ASP 42 Provisions



## Review of Structure Plan Provisions – Hocking Neighbourhood Centre Local Structure Plan No. 42

Structure Plan Provision	City Comment and Consideration on Provision
<b>1.0 Structure Plan Area</b>	
The Structure Plan area comprises approximately 1.9882 ha and is described as Lot 20 Wyatt Road, Hocking.	Provision that outlines the extent of the ASP 42 area.
<b>2.0 Agreed Structure Plan</b>	
<p>The Structure Plan Map illustrates the Structure Plan area and R-Coding.</p> <p>The Structure Plan area is zoned Commercial and has a residential component which shall comply with the R40 Residential Density Code.</p>	Considered as provisions that inform the operation of the structure plan.
<b>3.0 Definitions</b>	
<p>The terms used shall be interpreted in accordance with the Scheme and as set out hereunder:</p> <p>'The Scheme' shall mean the City of Wanneroo District Planning Scheme No. 2 (as amended) or such amendments or modifications thereto that may be current.</p> <p>'Urban Edge' shall mean the facades of a building and/or additional structures that define the 'principle edge of a building or space. An urban edge shall also be an 'active' edge, meaning that it should be fine grained, sheltered, and be characterised by the dominance of windows and doors.</p>	Definitions to support the interpretation of provisions in the structure plan.
<b>4.0 The Scheme</b>	
Unless provided for by specific requirements in the Structure Plan, all requirements shall be in accordance with the Scheme.	Considered as provisions that inform the operation of the structure plan.
<b>5.0 Retail Floorspace</b>	
<p>The retail floorspace is limited to 5,500m<sup>2</sup> by the East Wanneroo Cell 4 Local Structure Plan No. 6.</p> <p>No additional retail tenancies where they exceed 4,250m<sup>2</sup> NLA permitted floorspace shall be occupied until the car park has been modified to the satisfaction of the City of Wanneroo.</p>	A response is provided in Section 4.10 of the Scheme Amendment Report.

## Review of Structure Plan Provisions – Hocking Neighbourhood Centre Local Structure Plan No. 42

Structure Plan Provision	City Comment and Consideration on Provision
<b>6.0 Provisions</b>	
The Structure Plan Area is intended to accommodate a wide mix of uses including retail, professional offices, business services, dwellings and home businesses. The permissibility of land uses shall be as set out for the Commercial zone, in Table 1 of the Scheme.	Considered as a preamble to the objectives and criteria that follow. Should the zoning of the land be normalised and structure plan revoked, the Scheme will have binding provisions for land use permissibility over the land.
<b>6.1 Objectives</b>	
<p>The general objectives of the Commercial Land Use Area are:</p> <ul style="list-style-type: none"> <li>• To create Gungurru Avenue and Wyatt Road as an active focus for the community with a diversity of retail and commercial uses that generate day and evening activity;</li> <li>• To allow appropriate business to locate and develop in close proximity to residential areas for the convenience of the community;</li> <li>• Encourage high standards of built form and an active urban edge to Gungurru Avenue and Wyatt Road to create an attractive façade to the street for visual amenity and interaction;</li> <li>• Provide efficient vehicle access and circulation with pedestrian priority;</li> <li>• Encourage a high level of passive surveillance onto the surrounding areas; and</li> <li>• Provide mixed-use development that allows surveillance onto the Commercial Development.</li> </ul>	The objectives are not considered as requirements (as per the 'criteria' in Section 6.2); but rather to provide guidance on the outcomes expected of development in the structure plan area.
<b>6.2 Criteria</b>	
The provisions of the 'Commercial' zone in the Scheme shall apply to this Land Use Area unless otherwise specified in this section.	What has been carried over into DPS 2 through Amendment No. 206 is a combination of Commercial and Mixed Use zonings of the land subject to ASP 42. The rationale as to why some lots will be zoned Mixed Use (and not Commercial) through Amendment No. 206 is provided for in Section 4.11 of the Scheme Amendment Report.
The Commercial building shall be designed to have an active urban edge towards Gungurru Avenue and Wyatt Road, with no blank facades fronting the street and awnings and/or colonnades along these frontages, sufficient to give pedestrians protection from the weather.	These elements have been achieved in the design of the existing development of the centre.
The land use fronting Gungurru Avenue and Wyatt Road including the active urban edge, making entries to buildings, pedestrian walkways and car parking areas clearly defined elements.	Should the structure plan be revoked, the City can ensure (through its design review panel and development assessment) that design elements used in any future development are in uniformity or can integrate with existing development.
The Commercial building facade should be a maximum of two storeys high (8 metres) to create a well scaled streetscape.	
Street facing commercial retail buildings are to comprise a minimum 70% of windows.	

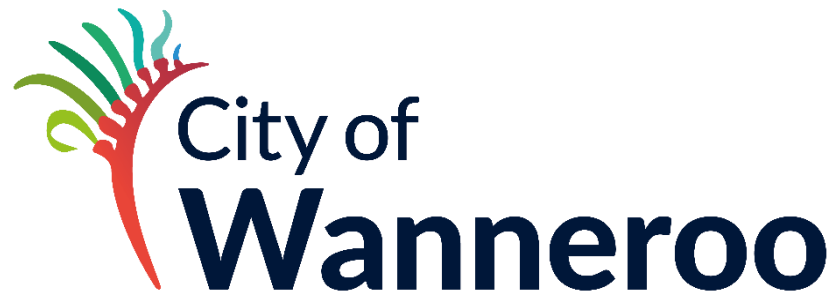
## Review of Structure Plan Provisions – Hocking Neighbourhood Centre Local Structure Plan No. 42

Structure Plan Provision	City Comment and Consideration on Provision
Car Parking areas shall be designed to provide pedestrian paths separate from vehicle flow.	These elements have been achieved in the design of the existing development of the centre. The remaining development that could occur in the centre will either provide:
The car park shall be designed to ensure slow speeds. Lengths of road exceeding 50 metres shall incorporate speed control devices such as minor level changes.	<ul style="list-style-type: none"> <li>• Minor extensions to the existing car parking, into adjoining vacant lots; or</li> <li>• Car parking separated from the remainder of the centre and accessed directly from Nicholas Road.</li> </ul>
Car Parks should be designed not to dominate the street and provide good pedestrian movement towards buildings. Landscaping requirements shall be in accordance with clause 4.17 of District Planning Scheme No. 2. The tree species shall be such that it has a high branch free stem to allow surveillance and visibility of shop fronts and a large canopy to achieve adequate shading of car parking areas.	Given the size and positioning of the vacant lots remaining in the centre, there will unlikely be any more internal roads built to a length exceeding 50 metres.
Roof Mounted mechanical equipment, if required, shall be screened from view by the roof form or parapet walls.	<p>This has been achieved in the design of the existing development of the centre.</p> <p>Should the structure plan be revoked, the City can ensure (through its design review panel and development assessment) that design elements used in any future development are in uniformity or can integrate with existing development.</p>
Buildings and all streets, parks and parking areas shall be well lit to encourage safe use after hours with light spill into neighbouring residential areas minimised.	<p>There are no public streets or parks in the structure plan area, so part of this provision is not applicable. However, buildings and car parking areas provide for ample lighting, which is designed to minimise light spill into neighbouring residential areas.</p> <p>Should the structure plan be revoked, the City can ensure (through its design review and development assessment) that design elements used in any future development is in uniformity with existing development.</p>
Convenient, safe and direct pedestrian access shall be provided throughout the Land Use Area and provide connections to the street path system.	<p>This has been achieved in the design of the existing development of the centre.</p> <p>Should the structure plan be revoked, the City can ensure (through its design review and development assessment) that design elements used in any future development is in uniformity with existing development.</p>



## Review of Structure Plan Provisions – Hocking Neighbourhood Centre Local Structure Plan No. 42

Structure Plan Provision	City Comment and Consideration on Provision
<p>Mixed-use development must comply with Clause 4.2 of the Residential Design Codes of Western Australia and conform with the Residential Density Code of R40.</p>	<p>There is no mixed use development in the structure plan area. However, Amendment No. 206 does propose to zone some of the structure plan area for 'Mixed Use' as discussed in Section 4.11 of the Scheme Amendment Report.</p> <p>The structure plan provision refers to the 2002 version of the Residential Design Codes (R-Codes), in which Clause 4.2 provided limited requirements for mixed use development.</p> <p>However, any mixed use development proposed after 1 September 2023 would need to satisfy the current requirements of the R-Codes, including Volume 2 if applicable.</p>
<p>Residential development shall be limited to 33% of the total site area of the Structure Plan, provided that the design of the residential development is well integrated with the centre design and it occurs either in conjunction with or after the centre development.</p>	<p>No residential development has been provided in the structure plan area to date; and therefore this structure plan provision has not been met.</p> <p>The recent approval of Amendment No. 172 to DPS 2 has made most forms of residential development (except for multiple dwellings) not permitted in the Commercial Zone. Therefore, as discussed in Section 4.11 of the Scheme Amendment Report, some of the land is proposed to be zoned Mixed Use through Amendment No. 206, partly to support residential development.</p> <p>In any event, the structure plan area is surrounded by residential development. Multiple dwellings (being the only form of residential development permissible in the Commercial Zone) are not required within the centre for it to be commercially viable. The City considers that it no longer requires this provision in the planning framework – and any future multiple dwelling development on Commercial-zoned land be considered on a case-by-case basis.</p>
<p>A suitable landmark building shall be designed and located on the corner of the site at the intersection of Wyatt Road and Gungurru Avenue.</p>	<p>The design of existing development on the corner of Wyatt Road and Gungurru Avenue was considered through a prior development assessment process. Therefore, this structure plan provision is now redundant.</p>



## **APPENDIX 5**

Review of Local Development Plans in  
ASP 6 Area

## Status of Local Development Plans in ASP 6 Area

LDP Name	Approval Date (Current Version)	Expiry Date	No. of lots	% of lots dev?	R-Code	LDP refer to RMD?	LDP Vary R-Codes?	Variations to R-Codes	Other Provisions on LDP	Other Notes
Detailed Area Plan – Archer Street, Pearsall	10 Apr 2013	19 Oct 2025	67	100%	R20 R30	NO	YES	<ul style="list-style-type: none"> <li>• Front setbacks</li> <li>• Garage setbacks to primary streets, secondary streets and private roads</li> <li>• Boundary wall setback from front</li> <li>• Open space reduction, subject to solar setback and OLA design.</li> <li>• Surveillance of primary and secondary streets.</li> </ul>	<ul style="list-style-type: none"> <li>• Approval exemptions for Single House</li> <li>• Bin pad locations</li> </ul>	<ul style="list-style-type: none"> <li>• Amends DAP approved on 19 January 2012 (12/6146).</li> <li>• At the time the DAP was approved, single houses on lots less than 350sqm required planning approval unless otherwise stated on an LDP.</li> </ul>
Detailed Area Plan – Lot 9104, 123 Kemp Street, Pearsall	14 June 2013	19 Oct 2025	47	100%	R20 R30	NO	YES	<ul style="list-style-type: none"> <li>• Front setbacks</li> <li>• Garage/carport setbacks to primary and secondary streets</li> <li>• Boundary wall setback from front</li> <li>• Open space reduction, subject to solar setback and OLA design.</li> <li>• Surveillance of primary and secondary streets.</li> </ul>	Approval exemptions for Single House	Amends DAP approved on 5 October 2011.
Detailed Area Plan – Lot 9000 Mary Street, Pearsall	19 Jan 2012	19 Oct 2025	59	100%	R30	NO	YES	<ul style="list-style-type: none"> <li>• Front setbacks</li> <li>• Garage setbacks to primary and secondary streets</li> <li>• Boundary wall setback from front</li> <li>• Open space reduction, subject to solar setback and OLA design.</li> <li>• Surveillance of primary and secondary streets</li> </ul>	<ul style="list-style-type: none"> <li>• Approval exemptions for Single House</li> <li>• Bin pad locations</li> </ul>	At the time the DAP was approved, single houses on lots less than 350sqm required planning approval unless otherwise stated on an LDP
Detailed Area Plan – Lot 25 & 26 Kemp Street, Pearsall	18 Aug 2010	19 Oct 2025	36	100%	R40	NO	YES	<ul style="list-style-type: none"> <li>• Open space reduction</li> <li>• Dwelling orientation</li> <li>• Nominated boundary walls</li> <li>• Primary street setback</li> </ul>	<ul style="list-style-type: none"> <li>• Carriageway treatments and street landscaping</li> <li>• Neighbourhood centre site layout</li> <li>• Approval exemptions for Single House</li> <li>• Footpaths</li> <li>• Visitor parking</li> <li>• Preferred garage locations</li> <li>• Commercial building articulation to adjoining roads (canopies, glazing, nil setback).</li> <li>• Uniform fencing</li> <li>• NLA for Neighbourhood centre</li> <li>• Verge, paving and asphalt</li> <li>• Access points into lots</li> <li>• Pedestrian access.</li> </ul>	<ul style="list-style-type: none"> <li>• Amends DAP's approved by the City on 31 October 2007 and 7 October 2009.</li> <li>• Two lots zoned Commercial with no R-Code. Remainder is Residential (R40).</li> <li>• At the time the DAP was approved, single houses on lots less than 350sqm required planning approval unless otherwise stated on an LDP.</li> </ul>
Local Development Plan No. 1 – East Wanneroo Cell 4, Kemp Street, Pearsall	8 Aug 2016	19 Oct 2025	40	100%	R40	NO	YES	<ul style="list-style-type: none"> <li>• Dwelling setback</li> <li>• Garage setback</li> <li>• Boundary walls</li> <li>• Open space reduction</li> </ul>	<ul style="list-style-type: none"> <li>• Location of primary school and drainage sites.</li> <li>• Primary and secondary streets to be determined based on design.</li> </ul>	Amends a DAP approved on 11 June 2014.



## Status of Local Development Plans in ASP 6 Area

LDP Name	Approval Date (Current Version)	Expiry Date	No. of lots	% of lots dev?	R-Code	LDP refer to RMD?	LDP Vary R-Codes?	Variations to R-Codes	Other Provisions on LDP	Other Notes
Detailed Area Plan No. 2 – East Wanneroo Cell 4	13 June 2014	19 Oct 2025	40	98%	R30	NO	YES	<ul style="list-style-type: none"> <li>Dwelling setback</li> <li>Garage setback</li> <li>Boundary walls</li> <li>Open space reduction</li> <li>Pedestrian access and orientation to Lot 4</li> </ul>	<ul style="list-style-type: none"> <li>Location of drainage sites.</li> </ul>	Amends a DAP approved on 14 June 2013.
Detailed Area Plan – Formerly Lot 47 Lenore Road, Pearsall	24 Dec 2014	19 Oct 2025	56	98%	R25 R30	NO	YES	<ul style="list-style-type: none"> <li>Open space reduction, subject to increased OLA size.</li> <li>Corner dwellings addressing primary and secondary streets</li> </ul>	Nominated corner lots	Lot 322 coded R30. Remainder coded R25.
Detailed Area Plan No. 4 – East Wanneroo Cell 4	13 Feb 2015	19 Oct 2025	16	100%	R40	NO	YES	<ul style="list-style-type: none"> <li>Primary street and rear setbacks</li> <li>Open space reduction subject to OLA design</li> <li>Boundary wall provisions</li> </ul>	Location of easements	
Detailed Area Plan No. 5 – Faranda Estate Hocking Stage 1	3 Aug 2015	19 Oct 2025	46	100%	R30 R40	NO	YES	<ul style="list-style-type: none"> <li>Open space reduction subject to OLA design and solar setback</li> <li>Dwelling and porch setback to primary and secondary street</li> <li>Garage and carport setback</li> <li>Carport width and enclosure limits</li> <li>Surveillance to the street</li> <li>Boundary wall and side setback relaxations</li> </ul>	<ul style="list-style-type: none"> <li>Quiet house design requirements</li> <li>Crossover locations</li> </ul>	<ul style="list-style-type: none"> <li>Amends a DAP approved on 24 April 2015.</li> <li>Prepared as a condition of subdivision.</li> </ul>
Detailed Area Plan No. 6 – Faranda Estate Hocking Stage 2	17 June 2016	19 Oct 2025	96	99%	R30 R40	NO	YES	<ul style="list-style-type: none"> <li>Open space reduction subject to OLA design and solar setback</li> <li>Dwelling and porch setback to primary and secondary street</li> <li>Garage and carport setback</li> <li>Carport width and enclosure limits</li> <li>Surveillance to the street</li> <li>Boundary wall and side setback relaxations</li> </ul>	<ul style="list-style-type: none"> <li>Quiet house design requirements</li> <li>Crossover locations</li> </ul>	<ul style="list-style-type: none"> <li>Prepared as a condition of subdivision.</li> <li>Amends a DAP approved on 3 August 2015.</li> <li>R-codings inconsistent with what is shown on structure plan map. SP map found to be in error.</li> </ul>
Local Development Plan No. 7 – Lot 78 Nicholas Road, Hocking	8 Feb 2016	8 Feb 2026	59	100%	R30	NO	YES	<ul style="list-style-type: none"> <li>Boundary walls</li> <li>Garage setbacks</li> <li>Garage width relaxations subject to dwelling design</li> <li>Open space reduction subject to OLA design</li> <li>Primary building orientation</li> </ul>	<ul style="list-style-type: none"> <li>Retaining walls</li> <li>Location of drainage reserve</li> </ul>	
Local Development Plan No. 9 – Lot 9005 East Road, Hocking	5 Dec 2019	30 June 2027	107	97%	R30 R40	See Notes	YES	<ul style="list-style-type: none"> <li>Single garage permitted where shown</li> <li>Garage setback to laneways</li> <li>Garage locations</li> </ul>	<ul style="list-style-type: none"> <li>Access restrictions</li> <li>No fencing permitted</li> </ul>	<ul style="list-style-type: none"> <li>The structure plan identifies the lots subject to the LDP as being subject to RMD. However, the LDP does not refer to RMD.</li> <li>Amends LDP approved on 30 June 2017</li> <li>Prepared as a condition of subdivision.</li> </ul>

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**PLANNING AND DEVELOPMENT ACT 2005**

**CITY OF WANNEROO**

**DISTRICT PLANNING SCHEME NO. 2 – AMENDMENT NO. 206**

The City of Wanneroo under and by virtue of the powers conferred upon it in that behalf by the *Planning and Development Act 2005* hereby amends the above local planning scheme by:

1. Rezoning various lots affected by the East Wanneroo Cell 4 (Hocking and Pearsall) Agreed Local Structure Plan No. 6 located in the Wanneroo, Hocking and Pearsall localities from ‘Urban Development’ to ‘Residential’ (R20, R25, R30 and R40), as shown on all Scheme (Amendment) Maps.
2. Rezoning all 0.1m pedestrian accessway lots (or portions of 0.1m pedestrian accessway lots) adjoining the land subject to (1) above to Residential, and to assign a density code for the 0.1m pedestrian accessway lots that correspond with what this amendment proposes for the adjoining residential lot.
3. Rezoning the following land parcels from ‘Urban Development’ to ‘Residential’ (R2), as shown on Scheme (Amendment) Map 1:
  - Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);
  - Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907); and
  - Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).
4. Amending the Scheme Map by applying a Restricted Use area (R7) to the following lots, as shown on Scheme (Amendment) Map 1:
  - Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);
  - Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907);
  - Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908); and
  - Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).
5. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to insert the following:

No.	Description of Land	Restricted Use	Conditions
R7	<ul style="list-style-type: none"> <li>• Lot 375 (51) Paltara Way, Wanneroo (on DP: 70907);</li> <li>• Lot 376 (21) Stockholm Road, Wanneroo (on DP: 70907);</li> <li>• Lot 385 (99) Stockholm Road, Wanneroo (on DP: 70908) and</li> <li>• Lot 386 (117) Stockholm Road, Wanneroo (on DP: 70908).</li> </ul>	‘P’ Uses: <ul style="list-style-type: none"> <li>• Home Office</li> <li>• Single House</li> </ul> ‘D’ Uses: <ul style="list-style-type: none"> <li>• Ancillary Dwelling</li> <li>• Bed and Breakfast</li> <li>• Civic Use</li> <li>• Holiday House</li> <li>• Home Business</li> <li>• Home Occupation</li> </ul> ‘A’ Uses: <ul style="list-style-type: none"> <li>• Commercial Vehicle Parking</li> <li>• Industry – Cottage</li> </ul>	<ol style="list-style-type: none"> <li>1. Except to the extent necessary for the construction of approved buildings and driveways, or in accordance with an approved revegetation plan, no land shall be cleared of vegetation without prior approval of the local government.</li> <li>2. The local government may, as a condition of any approval granted, require the owner and occupier of the land to plant and maintain to its satisfaction native trees and shrubs.</li> </ol>



		<ul style="list-style-type: none"> <li>• Residential Building</li> <li>• Telecommunications Infrastructure</li> </ul>	<p>3. Electricity shall be provided by means of underground cables to all buildings.</p> <p>4. For development on Lot 375 and Lot 376, at least the first 300mm above the design level of the dividing fence along the southern boundary shall be of brick or masonry construction to ensure that water runoff is retained onsite.</p>
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6. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to delete 'Lot 385 Stockholm Road, Wanneroo' from the description of land for Restricted Use area (R5).
7. Applying a density code of R20 for the following lots, as shown on Scheme (Amendment) Map 1:
  - Lot 377 (101) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 378 (103) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 379 (105) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 380 (107) Stockholm Road, Wanneroo (on DP: 68738);
  - Lot 381 (109) Stockholm Road, Wanneroo (on DP: 68738); and
  - Lot 382 (111) Stockholm Road, Wanneroo (on DP: 68738).
8. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Public Open Space', as shown on various Scheme (Amendment) Maps:
  - Portion Lot 12495 (13) Amery Road, Hocking (on P: 20264);
  - Lot 15308 (13) Amery Road, Hocking (on DP: 38680);
  - Lot 15307 (13) Amery Road, Hocking (on DP: 38680);
  - Lot 15581 (13) Amery Road, Hocking (on DP: 41047);
  - Lot 3001 (38) Barcelona Terrace, Hocking (on DP: 42362);
  - Lot 3002 (11) Chesterfield Avenue, Hocking (on DP: 42362);
  - Lot 3003 (21) Chesterfield Avenue, Hocking (on DP: 43647);
  - Lot 3004 (11) Chesterfield Avenue, Hocking (on DP: 43649);
  - Lot 3007 (11) Chesterfield Avenue, Hocking (on DP: 46866);
  - Lot 3006 (11) Chesterfield Avenue, Hocking (on DP: 46864);
  - Lot 3008 (25) Sacramento Parade, Hocking (on DP: 48972);
  - Lot 13174 (46) Gungurru Avenue, Hocking (on D: 95589);
  - Lot 14459 (46) Gungurru Avenue, Hocking (on P: 24233);
  - Lot 13414 (46) Gungurru Avenue, Hocking (on D: 95390);
  - Lot 93 (14) Hinckley Parkway, Hocking (on P: 24256);
  - Lot 300 (16) Hinckley Way, Hocking (on DP: 410457);
  - Lot 8002 (17) Copenhagen Drive, Hocking (on DP: 56911);
  - Lot 240 (50) Willespie Drive, Pearsall (on P: 23905);
  - Lot 3000 (58) Willespie Drive, Pearsall (on DP: 54213);
  - Lot 13635 (62) Willespie Drive, Pearsall (on P: 23214);
  - Lot 15058 (62) Willespie Drive, Pearsall (on P: 24125);
  - Lot 8000 (62) Willespie Drive, Pearsall (on DP: 42994);
  - Lot 756 (5) Salitage Link, Pearsall (on DP: 51894);
  - Lot 753 (5) Salitage Link, Pearsall (on DP: 43686);
  - Lot 8000 (5) Salitage Link, Pearsall (on DP: 61198);

- Lot 109 (10) Busch Parkway, Pearsall (on DP: 24468); and
  - Lot 78 (2) Voyager Link, Pearsall (on DP: 67113).
9. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Drainage/Waterway', as shown on Scheme (Amendment) Maps 2, 6 and 8:
- Lot 16 (36) Vignerons Loop, Hocking (on DP: 404645);
  - Lot 3000 (37) Toledo Drive, Hocking (on DP: 75489); and
  - Lot 8000 (14) Lamont Link, Pearsall (on DP: 404818).
10. Rezoning the following padmount lots from 'Urban Development' to 'Residential' (R20), as shown on Scheme (Amendment) Maps 2, 5, 7 and 8:
- Lot 435 (61F) Gungurru Avenue, Hocking (on P: 20263);
  - Lot 404 (2F) Rosedale Vista, Hocking (on P: 23453);
  - Lot 1595 (32F) Kirkstall Drive, Hocking (on P: 23584);
  - Lot 178 (1F) Goundrey Drive, Pearsall (on P: 23214); and
  - Lot 75 (36F) Amberley Way, Pearsall (on P: 21968).
11. Rezoning the following land parcels from 'Urban Development' to 'Mixed Use' (R40), as shown on Scheme (Amendment) Map 4:
- Lot 1002 (188) Nicholas Road, Hocking (on DP: 401961);
  - Lot 1003 (186) Nicholas Road, Hocking (on DP: 401961); and
  - Lot 1004 (184) Nicholas Road, Hocking (on DP: 401961).
12. Rezoning the following land parcels from 'Urban Development' to 'Commercial' (R40), as shown on Scheme (Amendment) Maps 4 and 8:
- Lot 1001 (74) Gungurru Avenue, Hocking (on DP: 401961);
  - Lot 1000 (100) Gungurru Avenue, Hocking (on DP: 401961);
  - Lot 1100 (174) Nicholas Road, Hocking (on DP: 401961);
  - Lot 1101 (166) Nicholas Road, Hocking (on DP: 401961);
  - Lot 267 (155) Willespie Drive, Pearsall (on DP: 61961); and
  - Lot 271 (125) Willespie Drive, Pearsall (on DP: 61961).
13. Adding the following into Schedule 7 (Centre and Commercial Zones) of the Scheme text:

<b>Locality</b>	<b>Description of Centre and Commercial Zones</b>	<b>NLA (m<sup>2</sup>)</b>
HOCKING	Lot 1001 on DP: 401961 Lot 1000 on DP: 401961 Lot 1100 on DP: 401961 Lot 1101 on DP: 401961	4250 <sup>1</sup>
PEARSALL	Lot 267 Willespie Drive on DP: 61961 Lot 271 Willespie Drive on DP: 61961	2100

14. Adding the following as a note at the end of Schedule 7 (Centre and Commercial Zones) of the Scheme text:

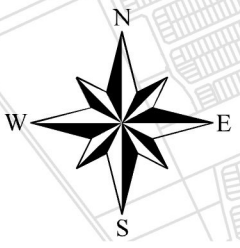
Notes:

1. A maximum retail NLA of 5,500m<sup>2</sup> can be considered if:
  - The easternmost crossover to Lot 1000 from Gungurru Avenue is modified to provide inward access only; or
  - The landowner can demonstrate to the satisfaction of the local government that the current or alternative access arrangements into, within and from the existing car park on Lot 1000 are satisfactory.
  
15. Amending the density code for portion Lot 167 (10) Siderno Rose, Hocking (on D: 97051) from R20 to R40, as shown on Scheme (Amendment) Map 5.
  
16. Applying a density code of R40 for Lot 888 (25) Siderno Rose, Hocking (on DP: 40157), as shown on Scheme (Amendment) Map 5.
  
17. Reclassifying the following land parcels from the 'Urban Development' zone to 'Local Scheme Reserve – Public Purposes', as shown on Scheme (Amendment) Maps 7 and 8:
  - Lot 241 (46) Willespie Drive, Pearsall (on P: 23905); and
  - Lot 76 (2) Ashbrook Avenue, Pearsall (on P: 22573).
  
18. Rezoning the following lots from 'Urban Development' to 'Service Commercial', as shown on Scheme (Amendment) Map 11:
  - Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987);
  - Portion Lot 56 (1435P) Ocean Reef Road, Pearsall (on P: 14380) which adjoins Lot 50 as listed above; and
  - Lot 55 (3P) Lenore Road, Pearsall (on D: 98987).
  
19. Amending the Scheme Map by applying the Restricted Use area (R8) to Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987), as shown on Scheme (Amendment) Map 11.
  
20. Amending Schedule 3 (Restricted Uses for Land in Scheme Area) of the Scheme text to insert the following:

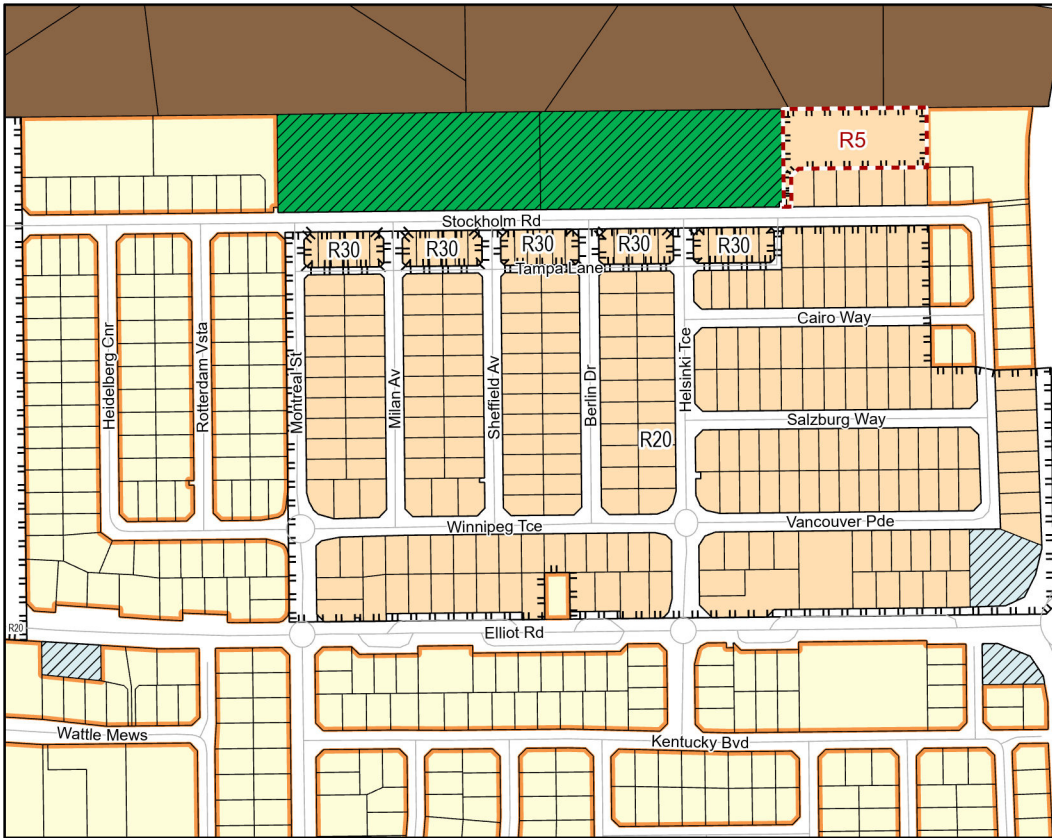
No.	Description of Land	Restricted Use	Conditions
R8	Lot 50 (204) Shiraz Boulevard, Pearsall (on D: 98987)	'D' Uses: Service Station Convenience Store Motor Vehicle Wash Fast Food Outlet	1. External open-air storage of automotive parts or service yards visible to the public shall not be permitted.  2. The maximum gross floor area of a Fast Food Outlet shall be 25m <sup>2</sup> .



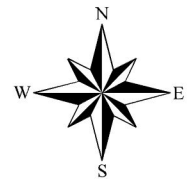
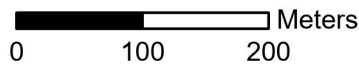
**CITY OF WANNEROO  
DISTRICT PLANNING SCHEME No. 2  
AMENDMENT NO. 206 - MAP INDEX**



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

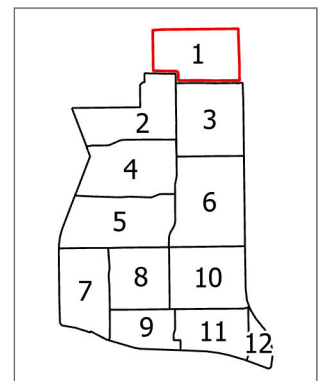
- R-CODE
- RESTRICTED USE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE
- RESIDENTIAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 1**

### LEGEND

- R-CODE
- RESTRICTED USE
- DPS2 ZONE**
- RESIDENTIAL

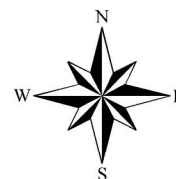
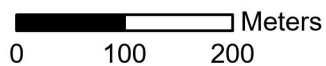




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

- R-CODE
- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

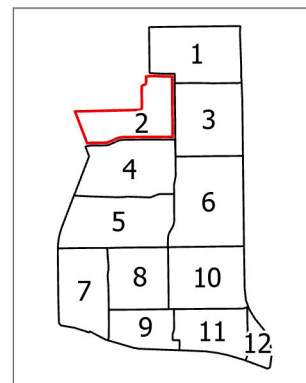
- CIVIC & COMMUNITY
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD
- MRS RESERVE
- PRIMARY REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 2**

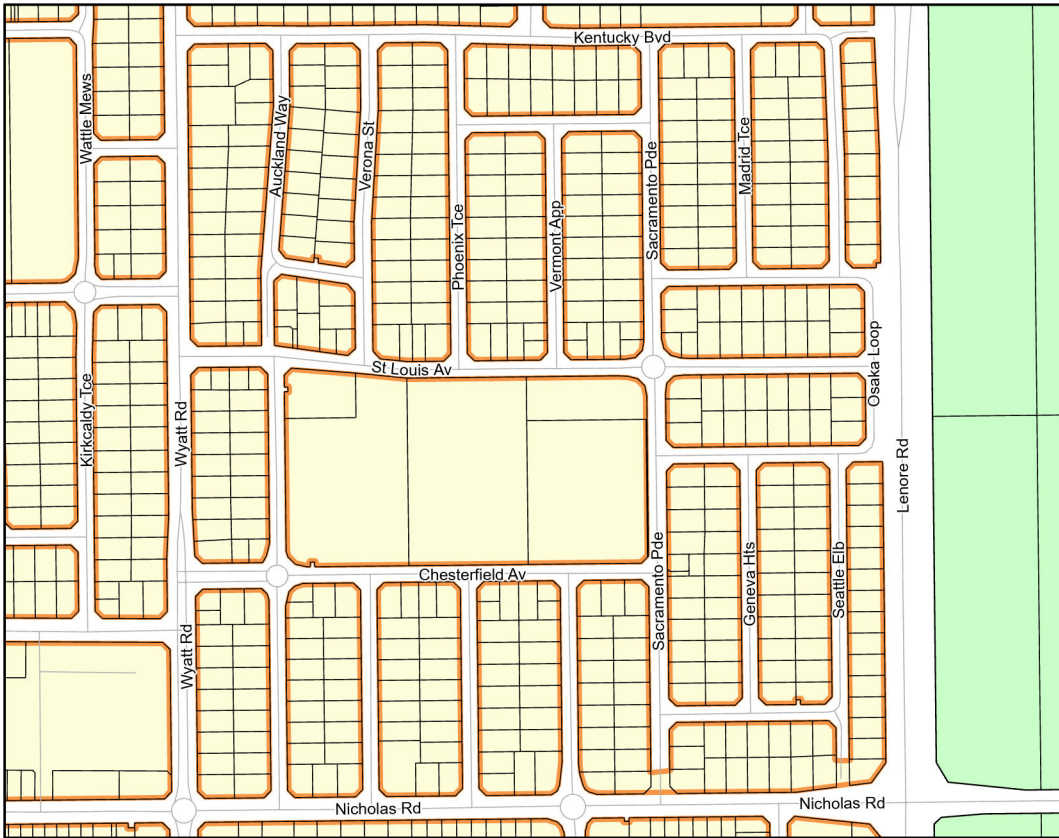
### LEGEND

- R-CODE
- RESIDENTIAL
- DPS2 ZONE**
- LOCAL SCHEME RESERVES
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE





# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206

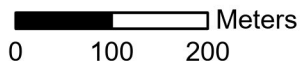


## LEGEND

### DPS2 ZONES & RESERVES

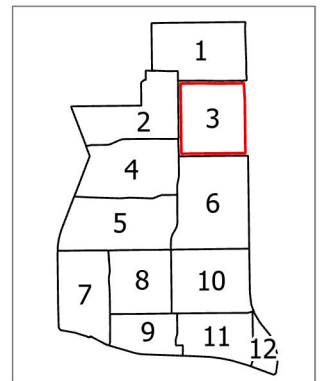
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD

EXISTING ZONE



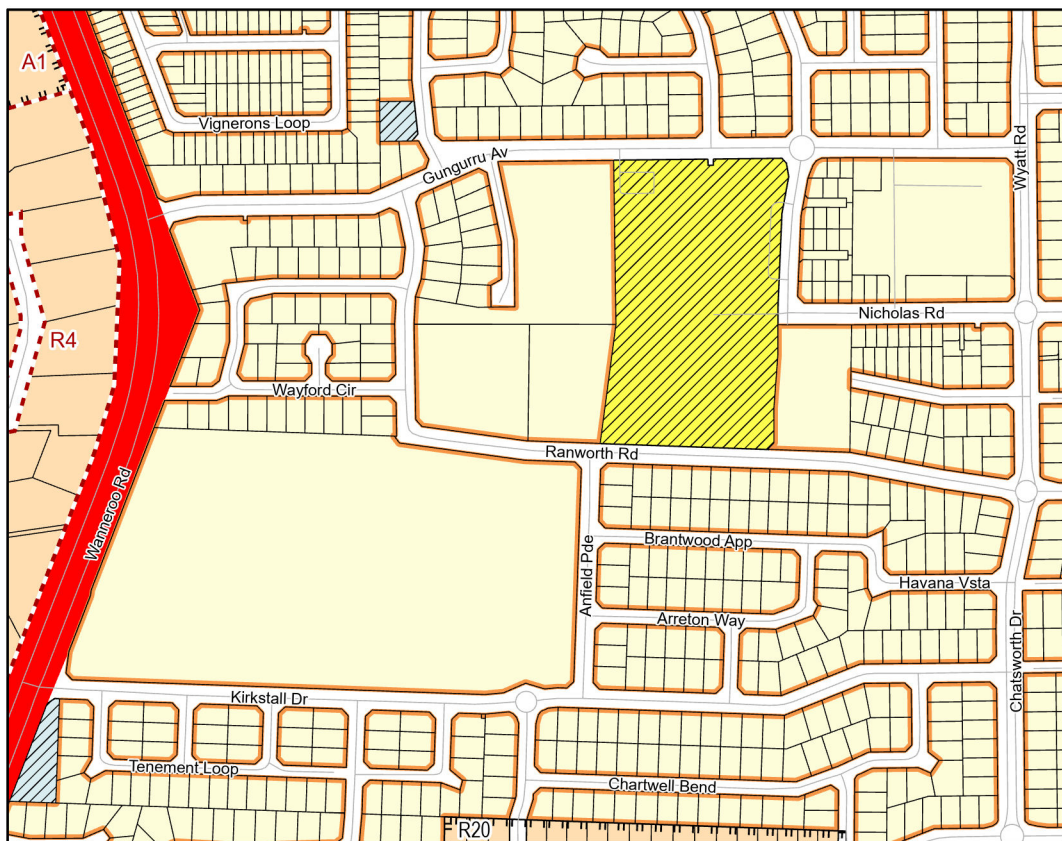
## LEGEND

- R-CODE
- RESIDENTIAL
- PUBLIC OPEN SPACE

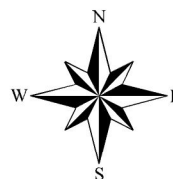
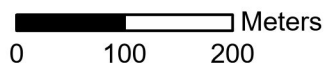


SCHEME (AMENDMENT) MAP 3

# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

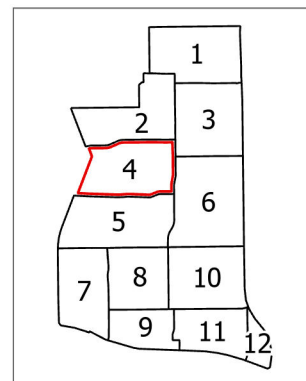
- R-CODE
- ADDITIONAL & RESTRICTED USE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD
- MRS RESERVE**
- PRIMARY REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 4**

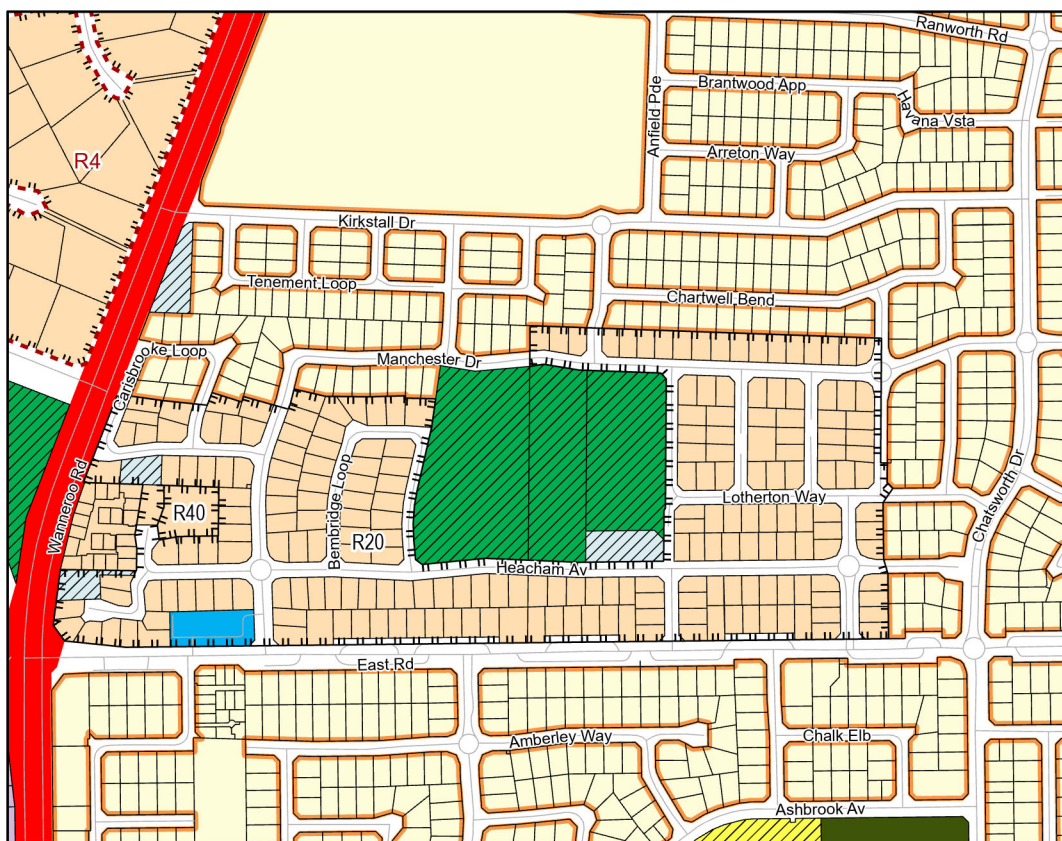
### LEGEND

- R-CODE
- DPS2 ZONES**
- RESIDENTIAL
- COMMERCIAL
- MIXED USE
- LOCAL SCHEME RESERVE**
- PUBLIC OPEN SPACE

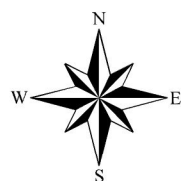
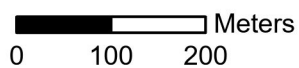




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

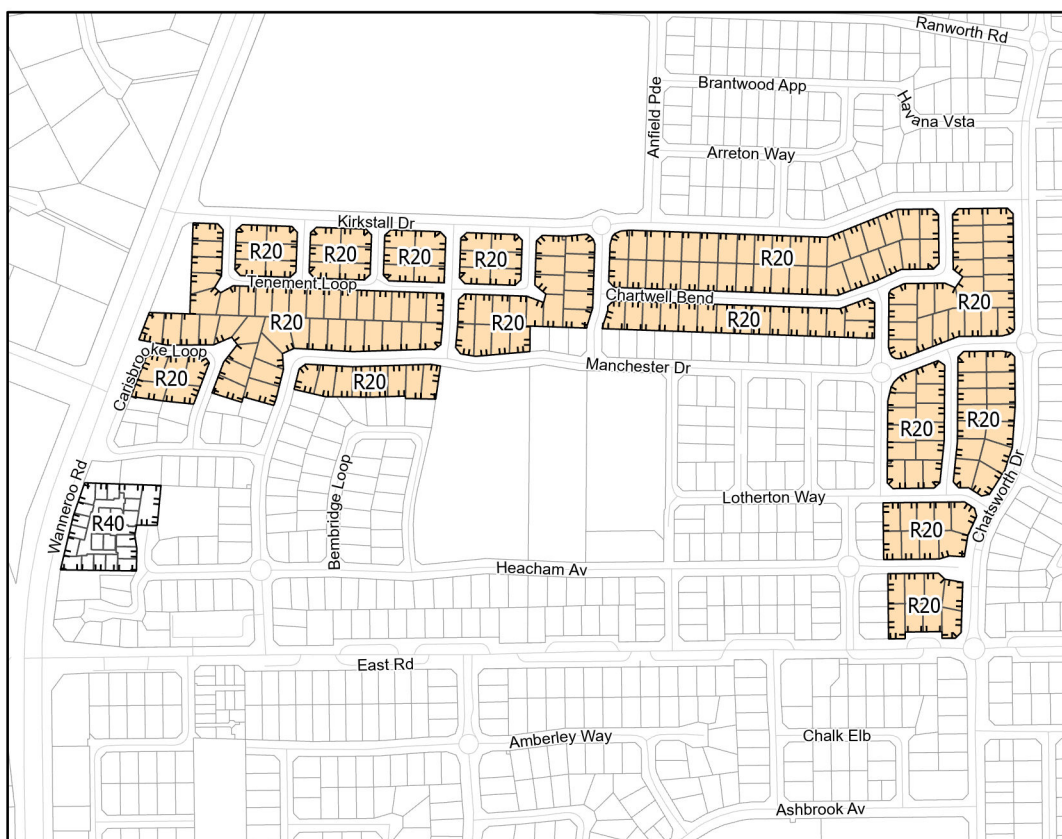
- R-CODE
- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

- COMMERCIAL
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT

### MRS RESERVE

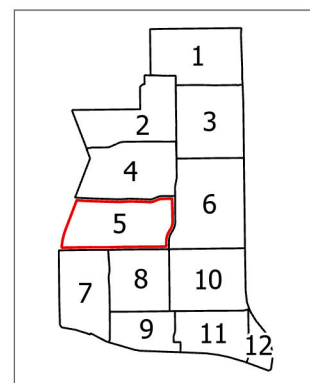
- PRIMARY REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 5**

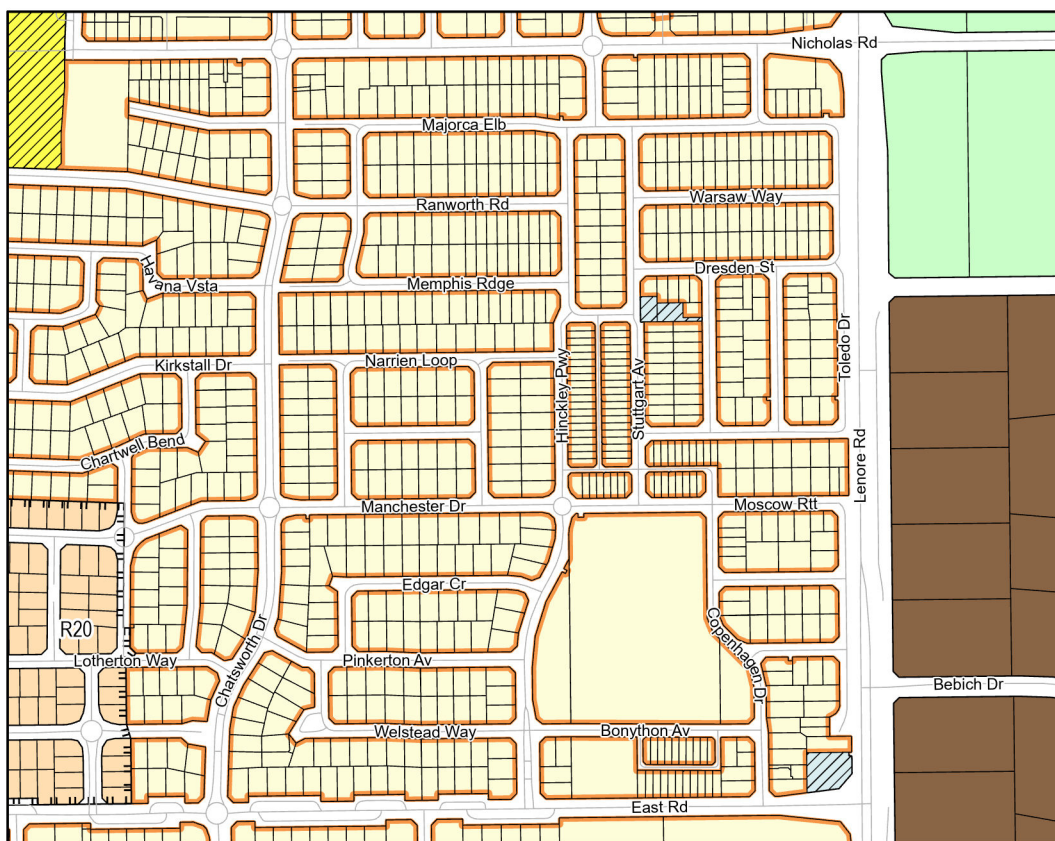
### LEGEND

- R-CODE
- RESIDENTIAL

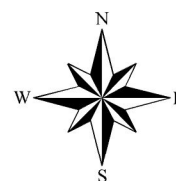
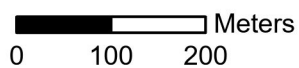




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

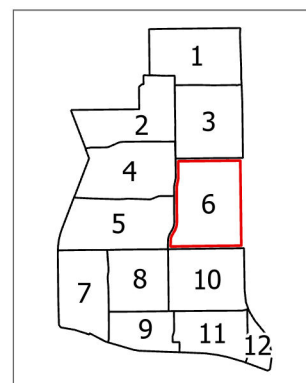
- R-CODE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC PURPOSES
- RESIDENTIAL
- RURAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 6**

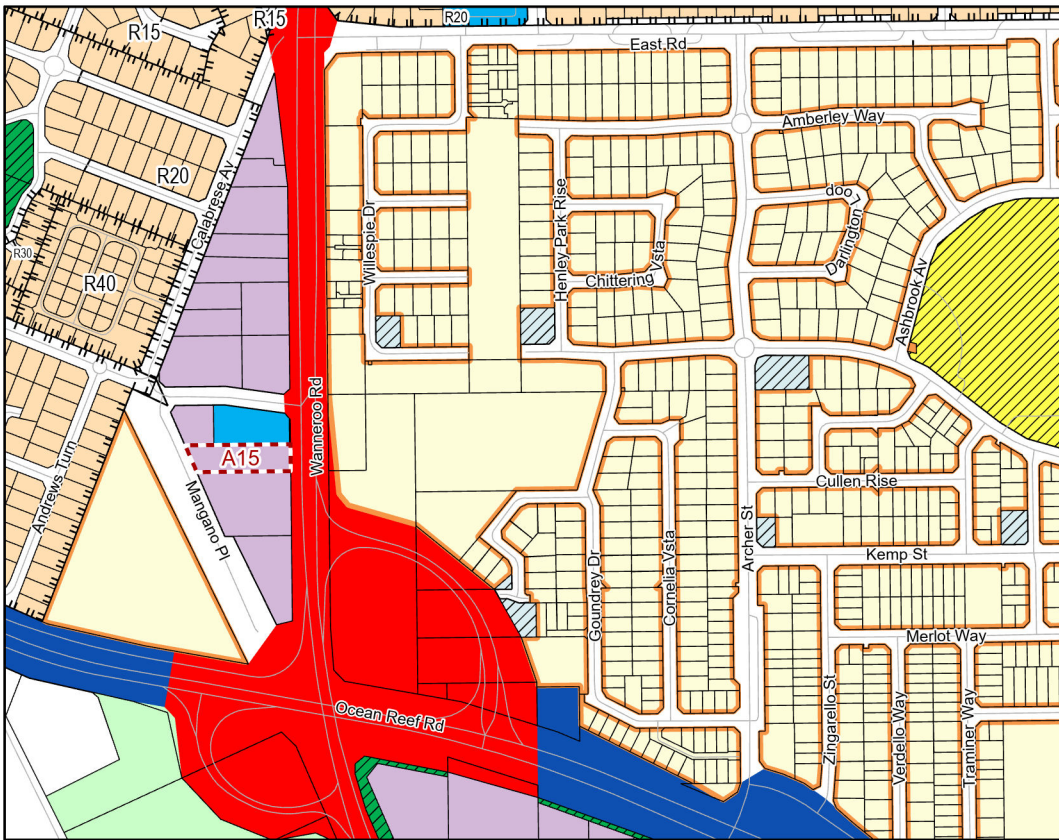
### LEGEND

- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC OPEN SPACE

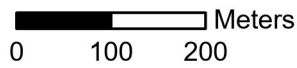




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

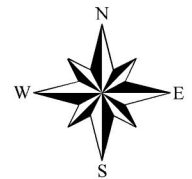
- R-CODE
- ADDITIONAL & RESTRICTED USE

### DPS2 ZONES & RESERVES

- COMMERCIAL
- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES
- RESIDENTIAL
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD

### MRS RESERVES

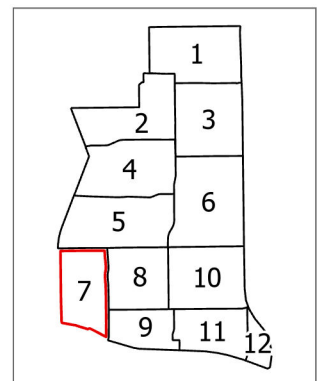
- PRIMARY REGIONAL ROADS
- OTHER REGIONAL ROADS



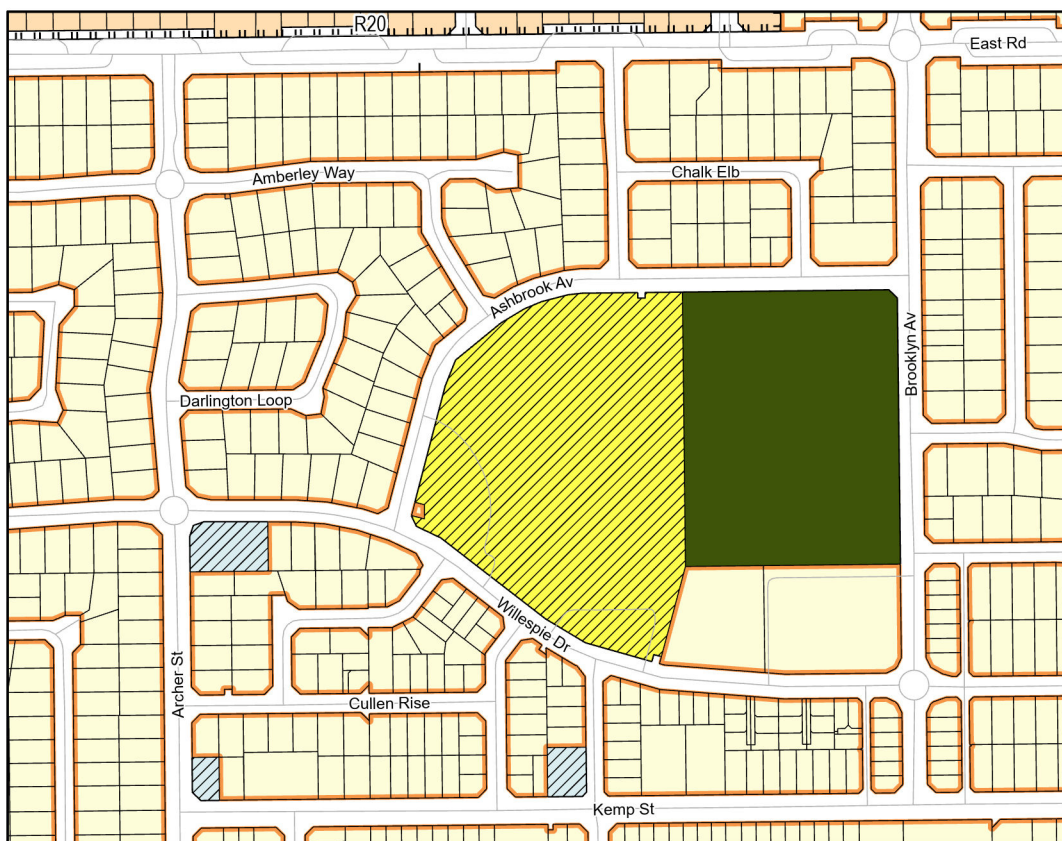
**SCHEME (AMENDMENT) MAP 7**

### LEGEND

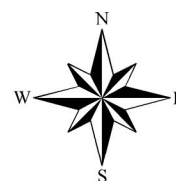
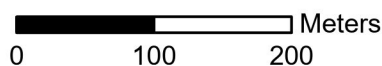
- R-CODE
- RESIDENTIAL
- DPS2 ZONE**
- LOCAL SCHEME RESERVES**
- PUBLIC OPEN SPACE
- PUBLIC PURPOSES



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



## LEGEND

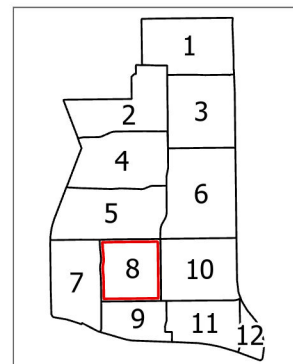
- R-CODE
- DPS2 ZONES & RESERVES**
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- PUBLIC PURPOSES
- RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 8**

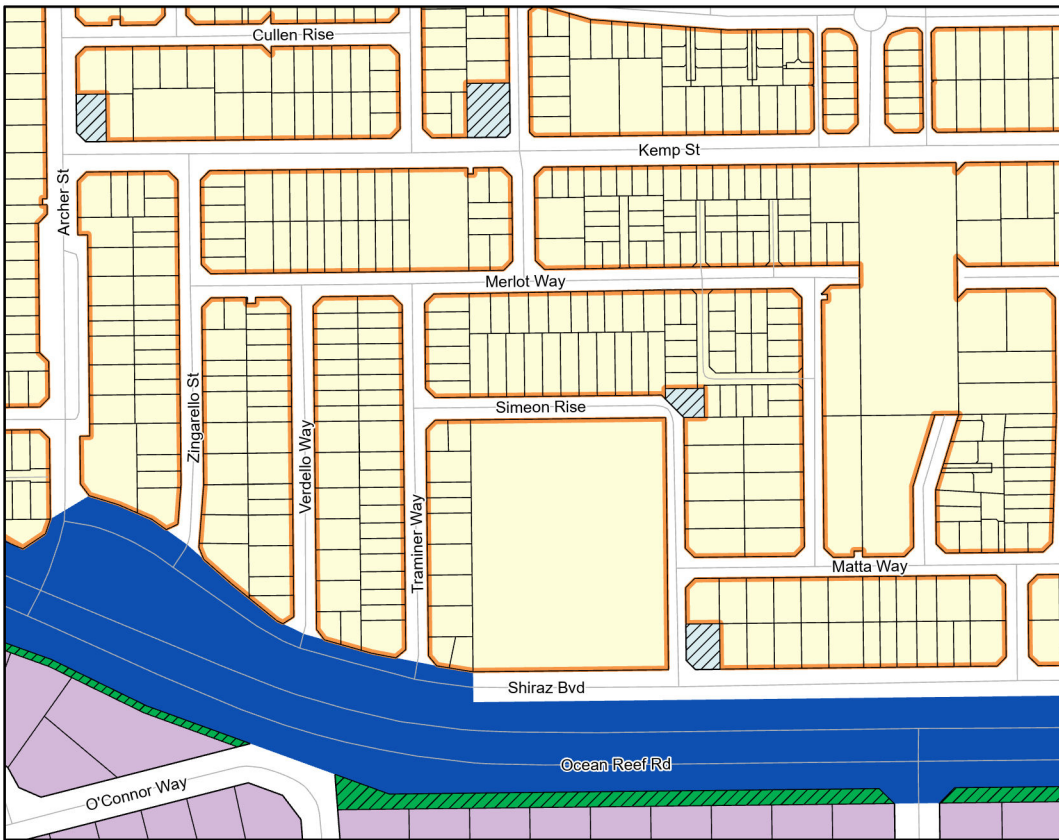
## LEGEND

- R-CODE
- DPS2 ZONES**
- RESIDENTIAL
- COMMERCIAL
- LOCAL SCHEME RESERVES**
- DRAINAGE/WATERWAY
- PUBLIC PURPOSES

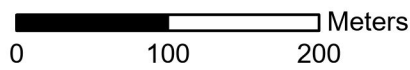




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



**LEGEND**

**DPS2 ZONES & RESERVES**

- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- URBAN DEVELOPMENT
- LOCAL ROAD

**MRS RESERVE**

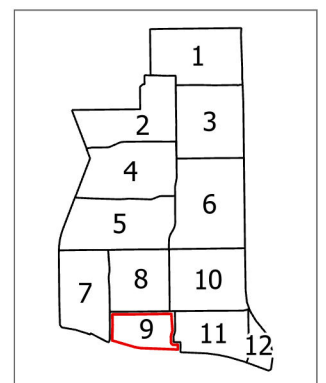
- OTHER REGIONAL ROADS



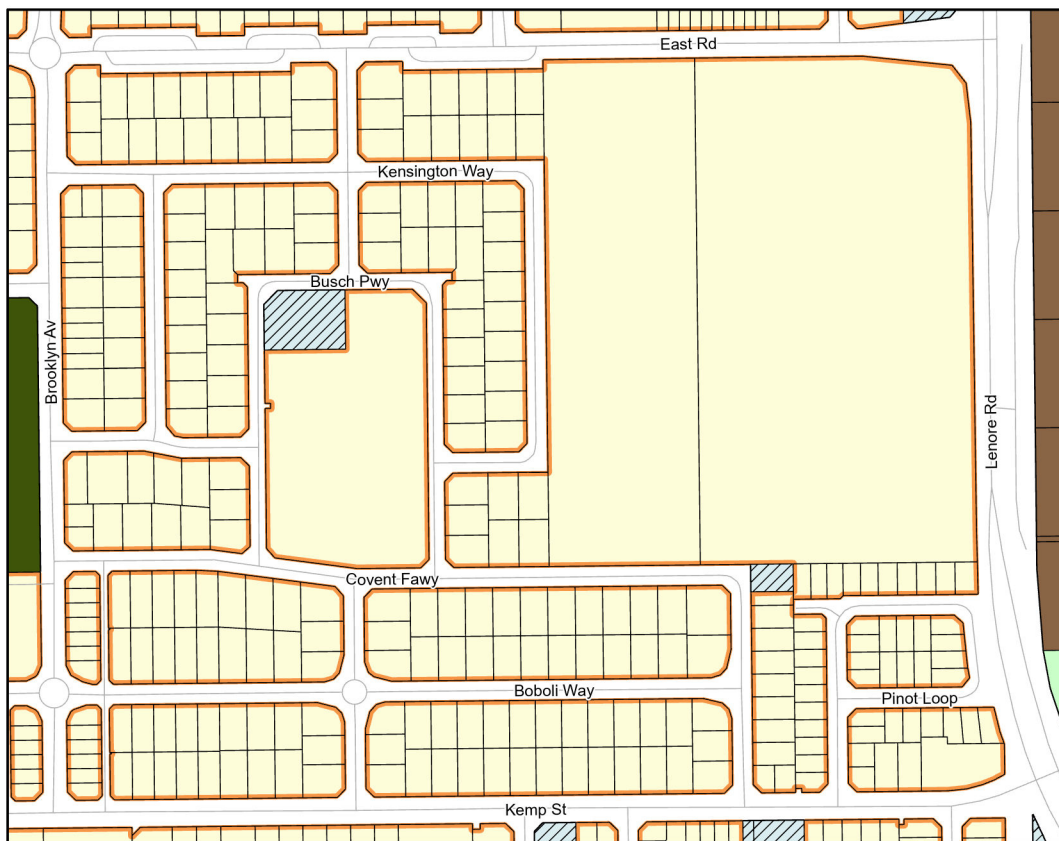
**SCHEME (AMENDMENT) MAP 9**

**LEGEND**

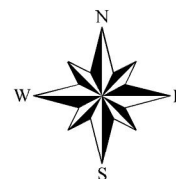
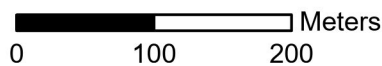
- R-CODE
- DPS2 ZONE**
- RESIDENTIAL
- LOCAL SCHEME RESERVE**
- PUBLIC OPEN SPACE



# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



## LEGEND

### DPS2 ZONES & RESERVES

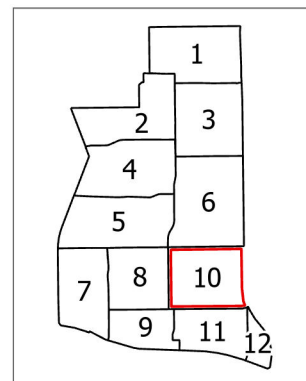
- DRAINAGE/WATERWAY
- ENVIRONMENTAL CONSERVATION
- RURAL
- RURAL RESIDENTIAL
- URBAN DEVELOPMENT
- LOCAL ROAD



**SCHEME (AMENDMENT) MAP 10**

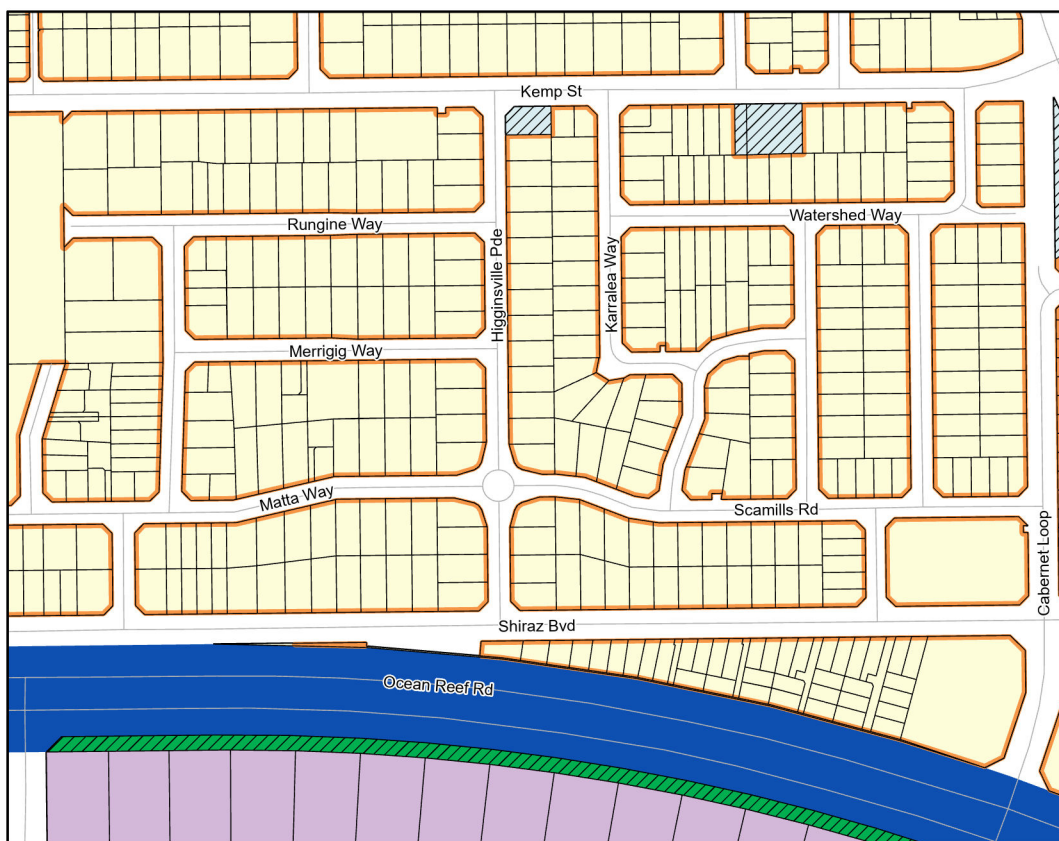
## LEGEND

- R-CODE
- DPS2 ZONE  
RESIDENTIAL
- LOCAL SCHEME RESERVE  
PUBLIC OPEN SPACE

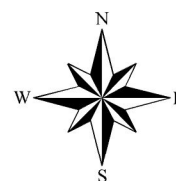
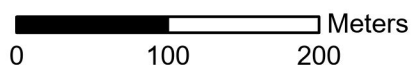




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

#### DPS2 ZONES & RESERVES

- DRAINAGE/WATERWAY
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- URBAN DEVELOPMENT
- LOCAL ROAD

#### MRS RESERVE

- OTHER REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 11**

### LEGEND

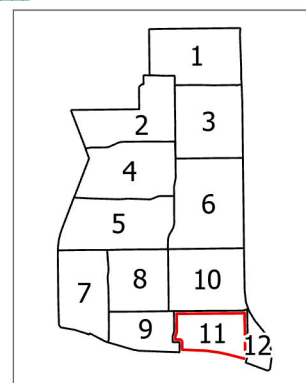
- R-CODE
- RESTRICTED USE

#### DPS2 ZONES

- RESIDENTIAL
- SERVICE COMMERCIAL

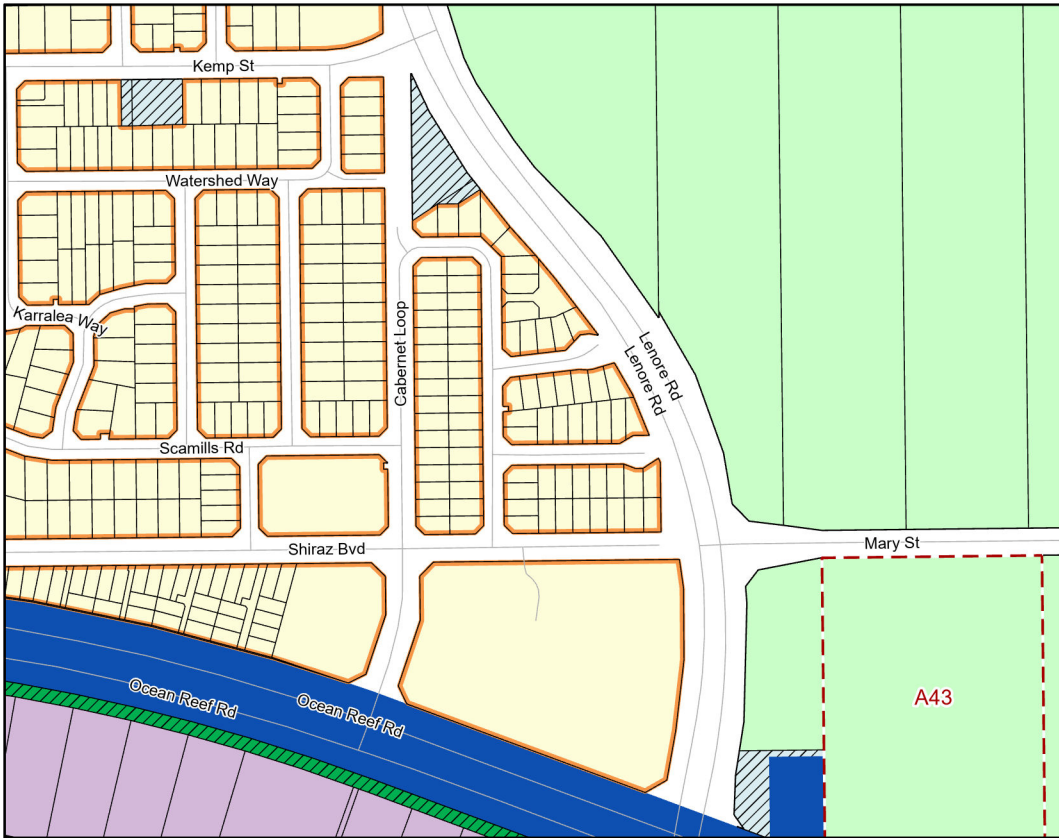
#### LOCAL SCHEME RESERVE

- PUBLIC OPEN SPACE

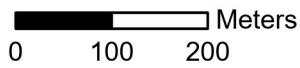




# CITY OF WANNEROO DISTRICT PLANNING SCHEME No. 2 AMENDMENT NO. 206



**EXISTING ZONE**



### LEGEND

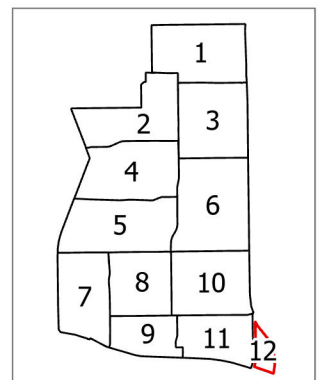
- A43 ADDITIONAL USE
- DPS2 ZONES & RESERVES**
- DRAINAGE & WATERWAYS
- LIGHT INDUSTRY
- PUBLIC OPEN SPACE
- RURAL
- URBAN DEVELOPMENT
- LOCAL ROAD
- MRS RESERVE**
- OTHER REGIONAL ROADS



**SCHEME (AMENDMENT) MAP 12**

### LEGEND

- R20 R-CODE
- DPS2 ZONE**
- RESIDENTIAL



**COUNCIL ADOPTION**

This Standard Amendment was prepared by resolution of the Council of the City of Wanneroo at the Ordinary Meeting of the Council held on the 12<sup>th</sup> day of September, 2023

.....  
MAYOR

.....  
CHIEF EXECUTIVE OFFICER

**COUNCIL RESOLUTION TO ADVERTISE**

By resolution of the Council of the City of Wanneroo at the Ordinary Meeting of the Council held on the 12<sup>th</sup> day of September, 2023, proceed to advertise this amendment.

.....  
MAYOR

.....  
CHIEF EXECUTIVE OFFICER

**COUNCIL RECOMMENDATION**

This Amendment is recommended for [support with/without modification or not support] by resolution of the City of Wanneroo at the Ordinary Meeting of the Council held on the [number] day of [month], 20[year], and the Common Seal of the City of Wanneroo was hereunto affixed by the authority of a resolution of the Council in the presence of:

.....  
MAYOR

.....  
CHIEF EXECUTIVE OFFICER

**WAPC RECOMMENDATION FOR APPROVAL**

.....  
DELEGATED UNDER S.16 OF  
PD ACT 2005

DATE .....

Approval Granted

.....  
MINISTER FOR PLANNING

DATE .....