



# BENLIN HOMES

sales@benlinhomes.com.au  
P.O. Box 64 Guildford,  
Western Australia 6935

PH: (08) 9379 9220  
MOB: 0417 771 028 or 0419 960 314

Prop FJ & JM Trager Pty Ltd  
Reg Builder BC5942 ACN 008 709 135  
ABN 30 920 892 335

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JOB # 24011

CLIENT

KLARICH FAMILY

ADDRESS  
LOT 177 #39 SOVEREIGN DRIVE,  
TWO ROCKS (6037)

CITY OF WANNEROO

VARIATIONS

- REV 0
- REV 1
- REV 2
- REV 3
- REV 4
- REV 5

THESE ARE THE PLANS REFERRED TO IN THE BUILDING CONTRACT  
CLIENT:

CLIENT:

BUILDER:

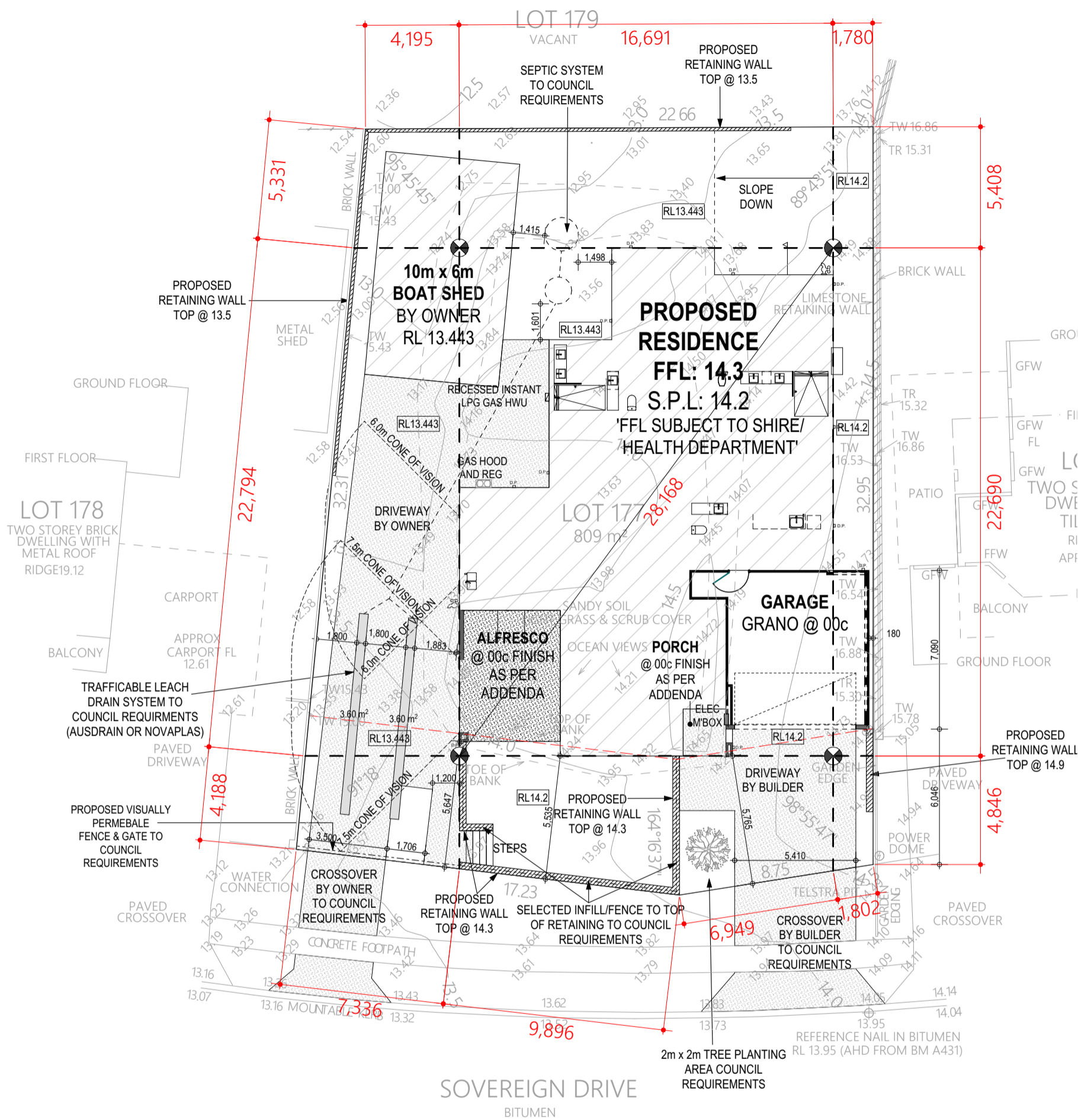
DATE:

SITE PLAN

# 1 of 5

SCALE 1:200 A3

PLANNING DRAWINGS  
PRINTED 26/03/2024



SOVEREIGN DRIVE  
BITUMEN

TW - TOP OF WALL  
TR - TOP OF RETAINING WALL

DIAL 1100 BEFORE YOU DIG	
POWER - UNDERGROUND	
WATER - YES	
SEWERAGE - NO	
GAS - NO	
TELSTRA - YES	
HYDRANTS - REFER TO WATER CORP E-PLAN	
DRAINAGE - GOOD	
ROAD - BITUMEN	
KERB - MOUNTABLE	
FOOTPATH - LOCATED	
VIEWS - OCEAN TO WEST	
OVERHANGING TREES - NONE	
SIGNIFICANT ENCROACHMENTS - NONE	
BUSH FIRE PRONE AREA - YES	

NOTE : NO BOUNDARY CORNER MARKS FOUND

## CONTOUR & FEATURE SURVEY OF LOT 177 #39 SOVEREIGN DRIVE, TWO ROCKS

PLAN	: 10776
C/T	: 1379-586
AUTHORITY	: CITY OF WANNEROO
TOTAL LOT AREA	: 809 m <sup>2</sup>
SCALE	: 1: 200 @ A3
SURVEY DATE	: 14-06-2023
JOB	: 19087

0 5 10	
1: 200 @ A3	
DRAFTED BY	: BH
DATE	: 16-06-2023
CHECKED BY	: DKM

HEIGHT DATUM A.H.D.

**SURVEYING SOLUTIONS WA**  
LICENSED LAND SURVEYORS  
9300 8137  
www.surveyingsolutionswa.com.au

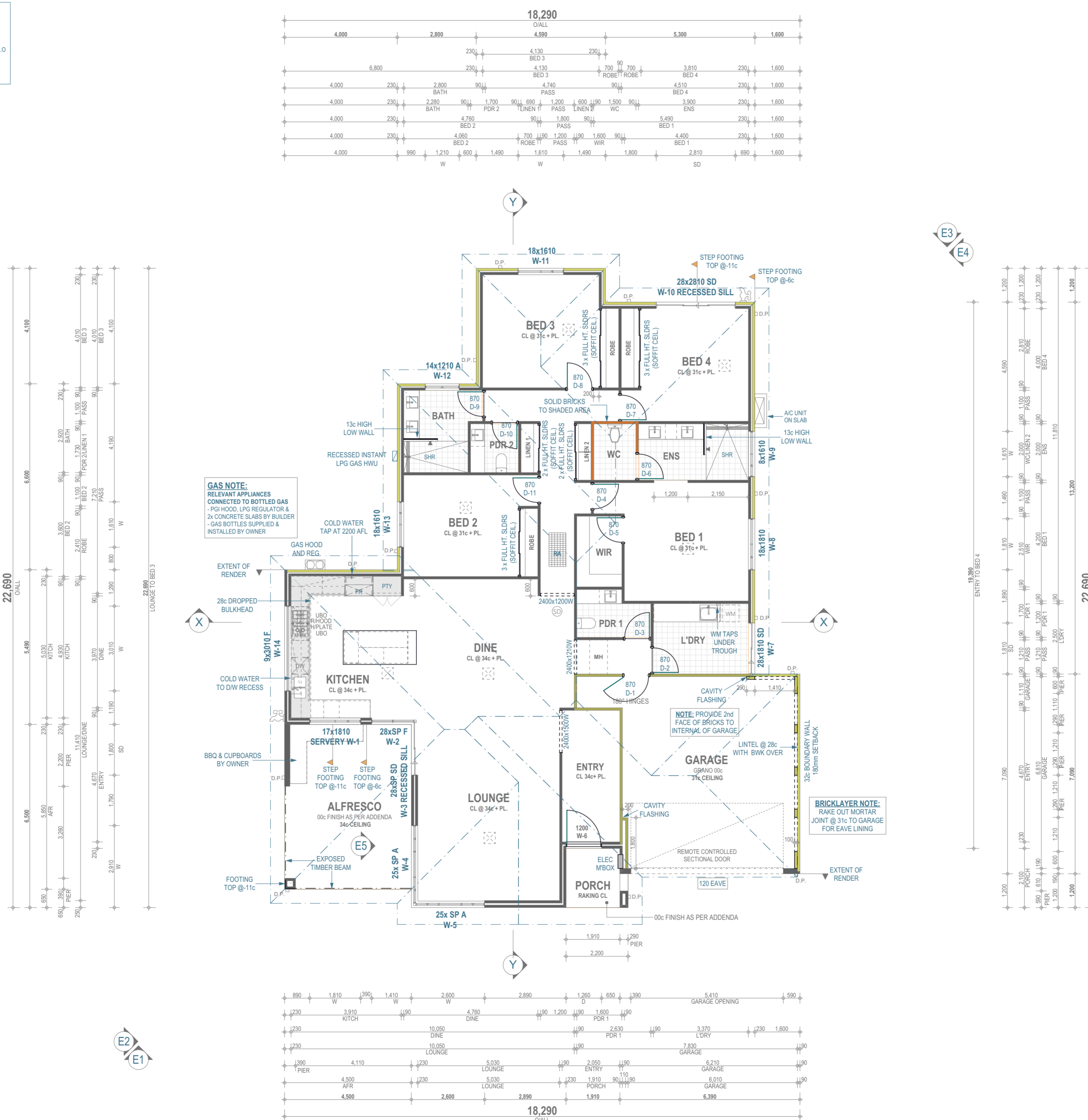
CHECK TITLE FOR EASEMENTS, RESTRICTIVE COVENANTS ETC.  
THIS SURVEY DOES NOT GUARANTEE THE CORRECT POSITION OF BOUNDARY PEGS FOUND OR FENCE POSITIONS SHOWN, UNLESS A BOUNDARY RE-ESTABLISHMENT SURVEY HAS BEEN UNDERTAKEN BY SURVEYING SOLUTIONS WA. ALL FEATURES AND BUILDING POSITIONS ARE APPROXIMATE ONLY, AS THEY HAVE BEEN POSITIONED FROM MEASUREMENTS TAKEN FROM EXISTING PEGS, FENCES & WALLS.  
A BOUNDARY RE-ESTABLISHMENT SURVEY IS RECOMMENDED PRIOR TO UNDERTAKING ANY SITE WORKS OR CONSTRUCTION.  
INFORMATION SHOWN ON THIS SURVEY IS CURRENT AT THE DATE SHOWN. SURVEYING SOLUTIONS WA ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES THAT HAVE OCCURRED AFTER THIS DATE, TO SITE LEVELS AND FEATURES OR BUILDINGS. CADASTRAL BOUNDARY DIMENSIONS SHOWN HAVE BEEN OBTAINED FROM SURVEY PLANS AND ARE SUBJECT TO FIELD SURVEY UNLESS SHOWN OTHERWISE.

**GENERAL NOTES:**  
 GROUND FLOOR:  
 2c FACE BRICKWORK THROUGHOUT  
 31c CEILINGS THROUGHOUT U.N.O  
 34c CEILINGS TO KITCHEN, ENTRY, DINE, FAMILY & THEATRE  
 24° 43' PITCH ZINCALUME ROOF WITH 480w BOXED & LINED EAVES U.N.O  
 N3 WIND CLASSIFICATION AS PER AS4055  
 R4 CORROSION CLASSIFICATION  
 TRUSS ROOF CONSTRUCTION AS PER ENGINEER DETAILS AND RELEVANT AUSTRALIAN STANDARDS

**BUSHFIRE HAZARD AREA - BAL 19**  
 REFER TO BAL ASSESSMENT, ADDENDA, BAL CONSTRUCTION PLAN & CONSTRUCTION NOTES FOR REQUIREMENTS  
**ALL CONSTRUCTION IN ACCORDANCE WITH AS 3959-2009**

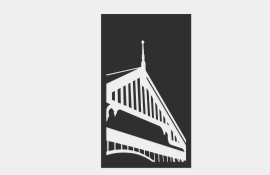
**GENERAL NOTES:**  
 • DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & SPECIFICATIONS  
 • REFER TO DETAIL SHEET FOR CONSTRUCTION DETAILS  
 • EXTRA GUTTER OVERFLOW PROVISION AS REQUIRED IN ACCORDANCE WITH NCC, TO ROOF PLUMBERS DISCRETION  
 • LOCATION OF DOWNPIPES TO ROOF PLUMBERS DISCRETION TO AS3550 REQUIREMENTS  
 • TOP OF FOOTINGS FOR PIER, POSTS & WALLS TO PORCH, VERANDAH & ALFRESCO TO BE -3c BELOW FFL  
 • CEILING VENTILATION IN ACCORDANCE WITH RELEVANT HEALTH & GAS PLUMBING CODES  
 • LIFT OFF HINGES TO ALL DOORS NOTED "WC"  
 • FLASHING REQUIRED ABOVE WINDOWS WHERE NO EAVES AND/OR MORE THAN 3c BRICKWORK ABOVE HEAD OF WINDOW & DOORS  
 • NOMINAL CEILING HEIGHTS MAY VARY BY +/- 25mm DUE TO TRUSS CONSTRUCTION  
 • ALL EXHAUST FANS, RANGEHOODS AND/OR FANLIGHT/HEATERS TO BE FLUMED EXTERNALLY & SEALED UNLESS NOTED OTHERWISE ON PLAN  
 • ALL DIMENSIONS STATED ON THESE DRAWINGS RELATE TO THE BRICK SETOUT ONLY. NO ALLOWANCE IS MADE FOR ADDITION OF PLASTER OR WALL FINISH WHERE APPLICABLE  
 • RANGEHOOD TO BE FLUED EXTERNALLY WITH DAMPER BULKHEADS 2400mm TO UNDERSIDE UNO  
 • COLD WATER TAKEN TO DISHWASHER POSITION  
 • HOT & COLD WATER IN CUPBOARD ADJACENT TO WASHING MACHINE LOCATION

**ROOF & FIXING CARPENTER NOTES:**  
 • ALL CONSTRUCTION TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS  
 • CUT OUT FOR MANHOLE 600mm x WIDTH OF PASSAGE  
 • 450w SHELF & RAIL TO ANY ROBES & WIR'S (U.N.O) REFER TO LAYOUTS FOR HEIGHTS  
 • 4 x 450w SHELVES TO ANY LINEN / WIL & PANTRY. REFER TO LAYOUTS FOR HEIGHTS



FLOOR AREAS		
	Area m <sup>2</sup>	Perimeter L/M
GROUND FLOOR	244.27	82.00
GARAGE	46.12	30.20
ALFRESCO	26.33	20.70
PORTICO / VERANDAH	4.01	8.02
<b>Total</b>	<b>320.73 m<sup>2</sup></b>	

ROOF AREA - FLAT		
	Area m <sup>2</sup>	Perimeter L/M
ROOF	357.20	85.16



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CITY OF WANNEROO

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 REV 2  
 REV 3  
 REV 4  
 REV 5

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FLOOR PLAN  
**2 of 5**

SCALE 1:100 A2

PLANNING DRAWINGS  
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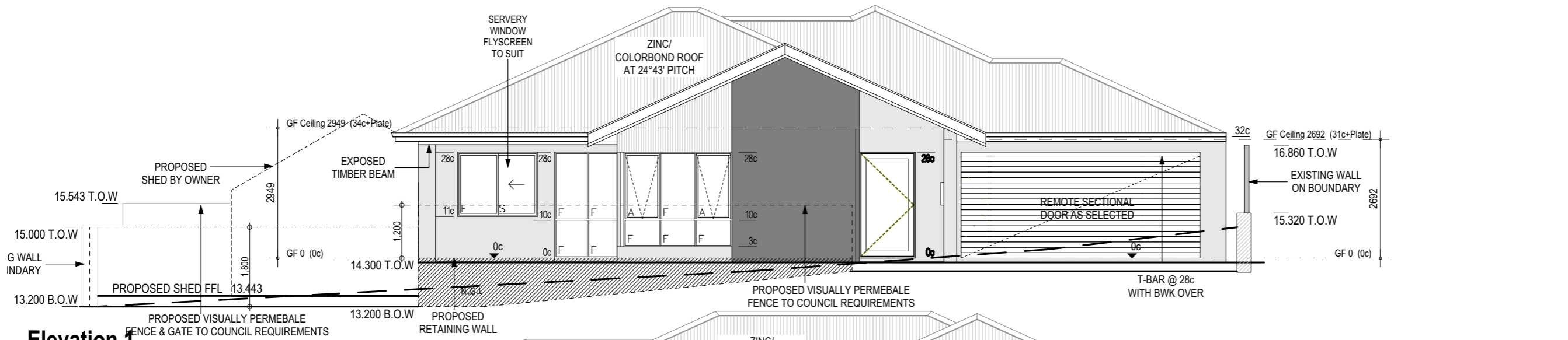
ELEVATIONS

# 3 of 5

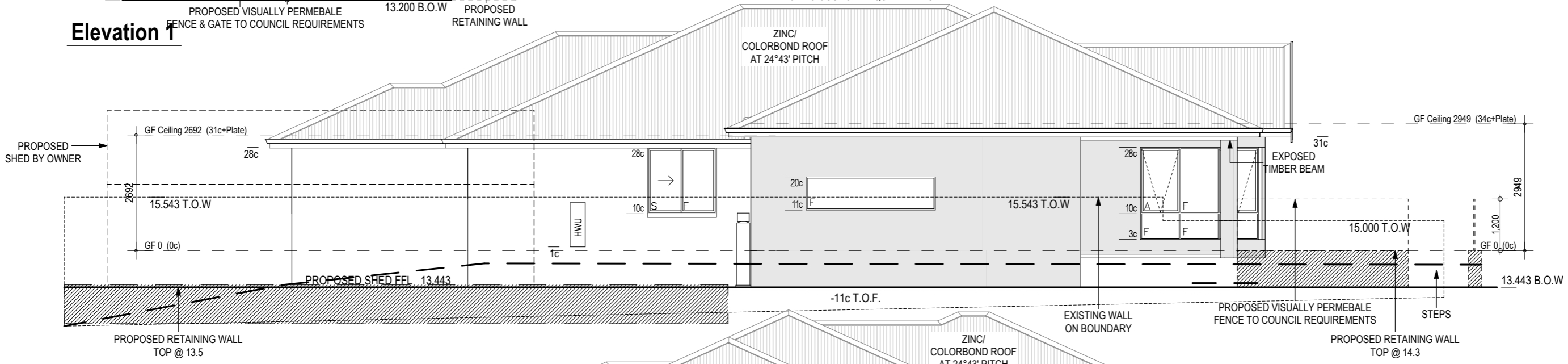
SCALE 1:100 A3

PLANNING DRAWINGS

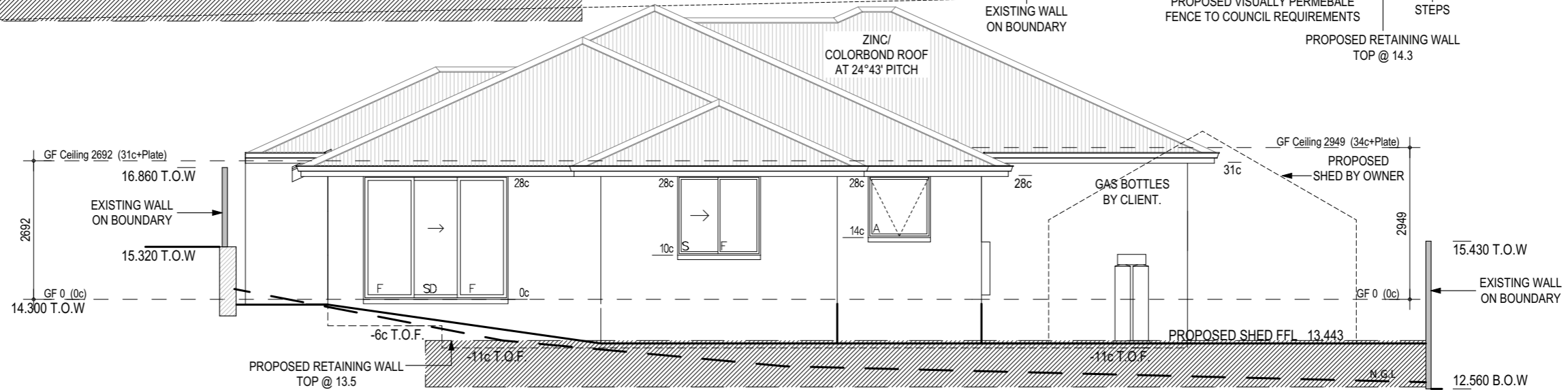
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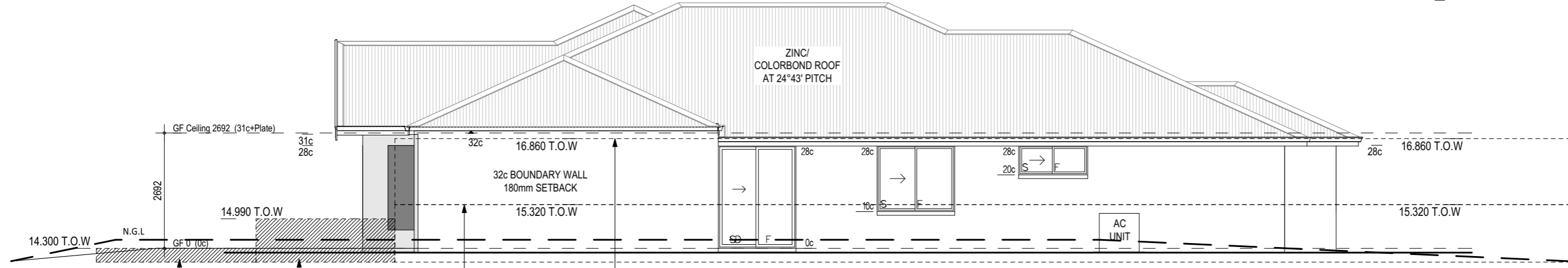
### Elevation 1



### Elevation 2



### Elevation 3



### Elevation 4



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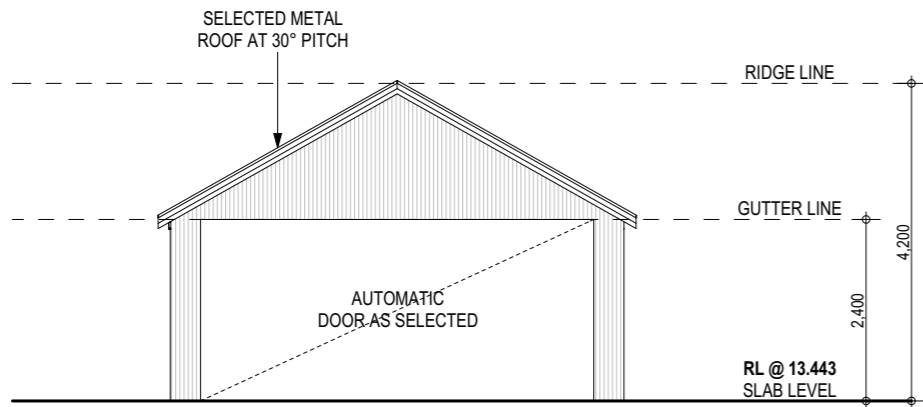
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# 4 of 5

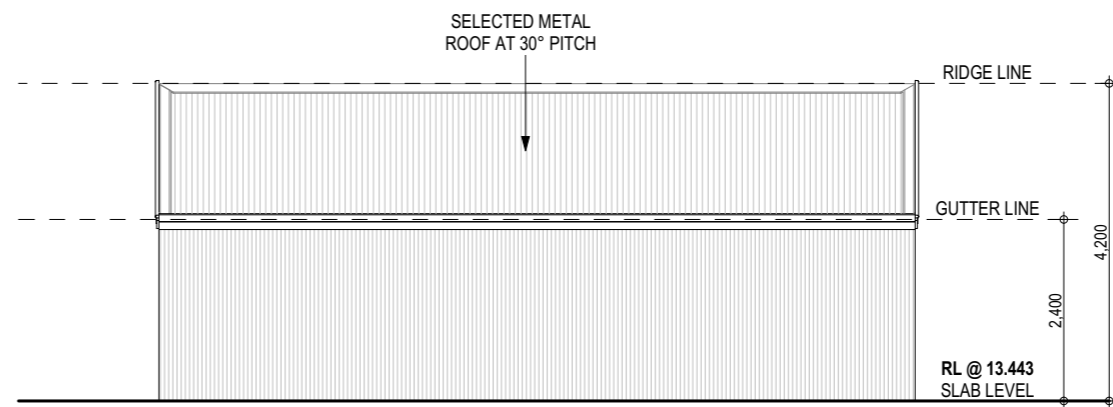
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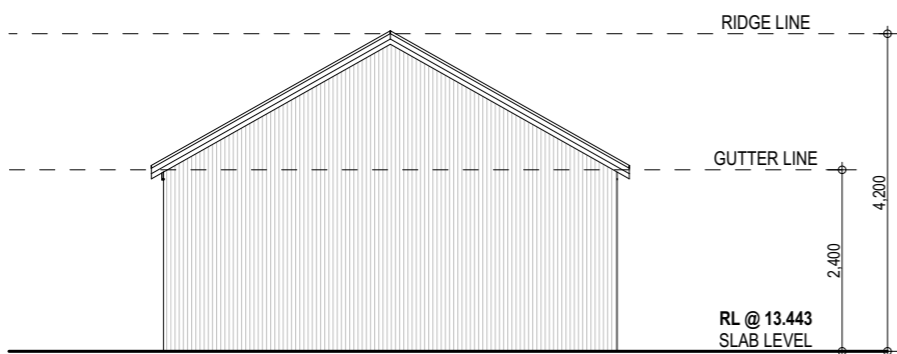
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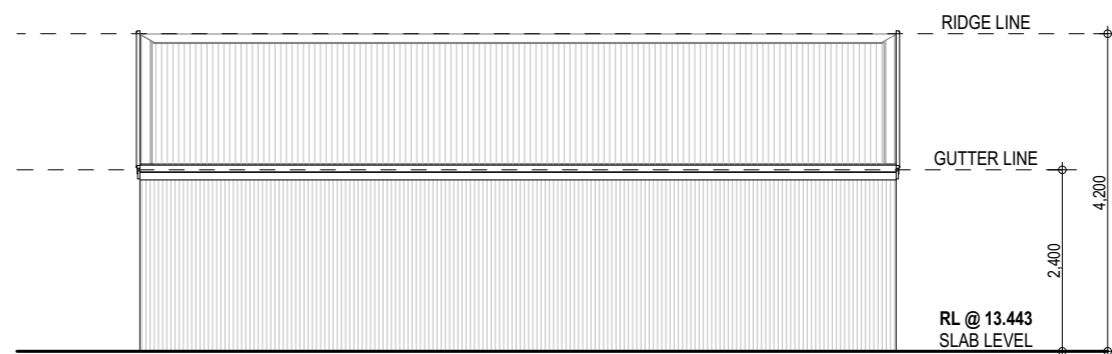
**Elevation 1**



**Elevation 2**



**Elevation 3**



**Elevation 4**



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PERSPECTIVE

5 of 5

SCALE 1:200 A3

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