

LOT 2050



SETOUT LINE DIMENSIONS

LOCATION	GRAND m ²	B/PAVED m ²
Vidals, Porches, Patios & Paths	00.00	00.00
C/ports, Garages & Drives	00.00	61.46

STORMWATER DISPOSAL BY OWNER TO COUNCIL REQUIREMENTS

NOTE:
CHECK RESTRICTIVE COVENANT SECTION 136D OF THE TLA SEE DOCUMENT

REV	VO #	DRN	DATE	CHK
		NS	15/11/02	LH

Sub-contractors to verify all dimensions on site.

SOIL DESCRIPTION

Sandy
Light Grass Cover

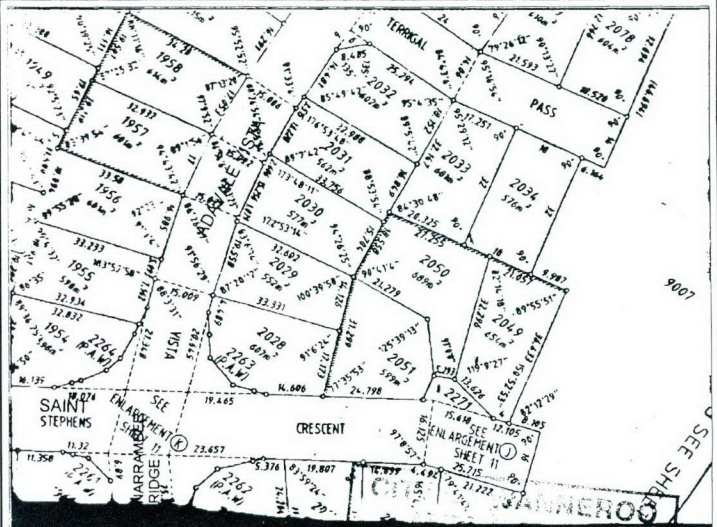
NOTE:
LOT MISCLOSE (0.000 m)

Plans are subject to change pending structural engineer's requirements.
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.
DATED:

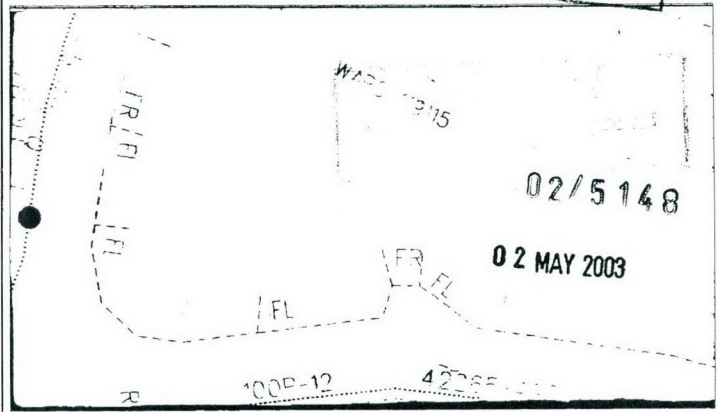
OWNER: WITNESS:
OWNER: WITNESS:
BUILDER: WITNESS:

WARNING:
PLAN/DIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

CLIENT: **George** CONTRACT / JOB NO: **54276**
MAP REF: **191/18/21**
SITE SURVEY: **LOT 2050** COASTAL NO
Saint Stephens Crescent
Suburb: **Carramar**
Loc Auth: **WANNEROO**
D Plan: **33450** Volume: Folio:
Location: **Check Title**



Elec.	U/ground	Water	Yes	Sewer	Yes (to be adv.)
Gas	Check Alinta	Phone	Yes	Footpath	Yes
Road	Bitumen/Brick	Kerb	Mountable	Drainage	Good



NOTE: ATTACHE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

NOTE: FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS / FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

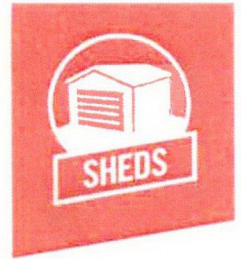


NOTE: BEWARE/ADVISE TRADES
O/Head power lines
NOTE: All Sewer details plotted from information supplied by Water Corporation.

Saint Stephens Crescent

OTTAGE & ENGINEERING SURVEYS
119 CONSLAW ROAD, SHENTON PARK, 6008. Ph (08)9381 6211 Fax (08)9382 2533
OLD CHATSWOOD RD & PACIFIC HWY, SPRINGWOOD, 4127. Ph (07)3808 7244 Fax (07)3808 7244
Licensed Surveyors © J/No: 0208455 Drawn: N.Wells

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / FENCES / DRIVEWAYS / COVERTS / ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR PEGS. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



Site Plan

Job Reference
Sales Person
Client Name

Mr Doug Silversten
Peter Belton

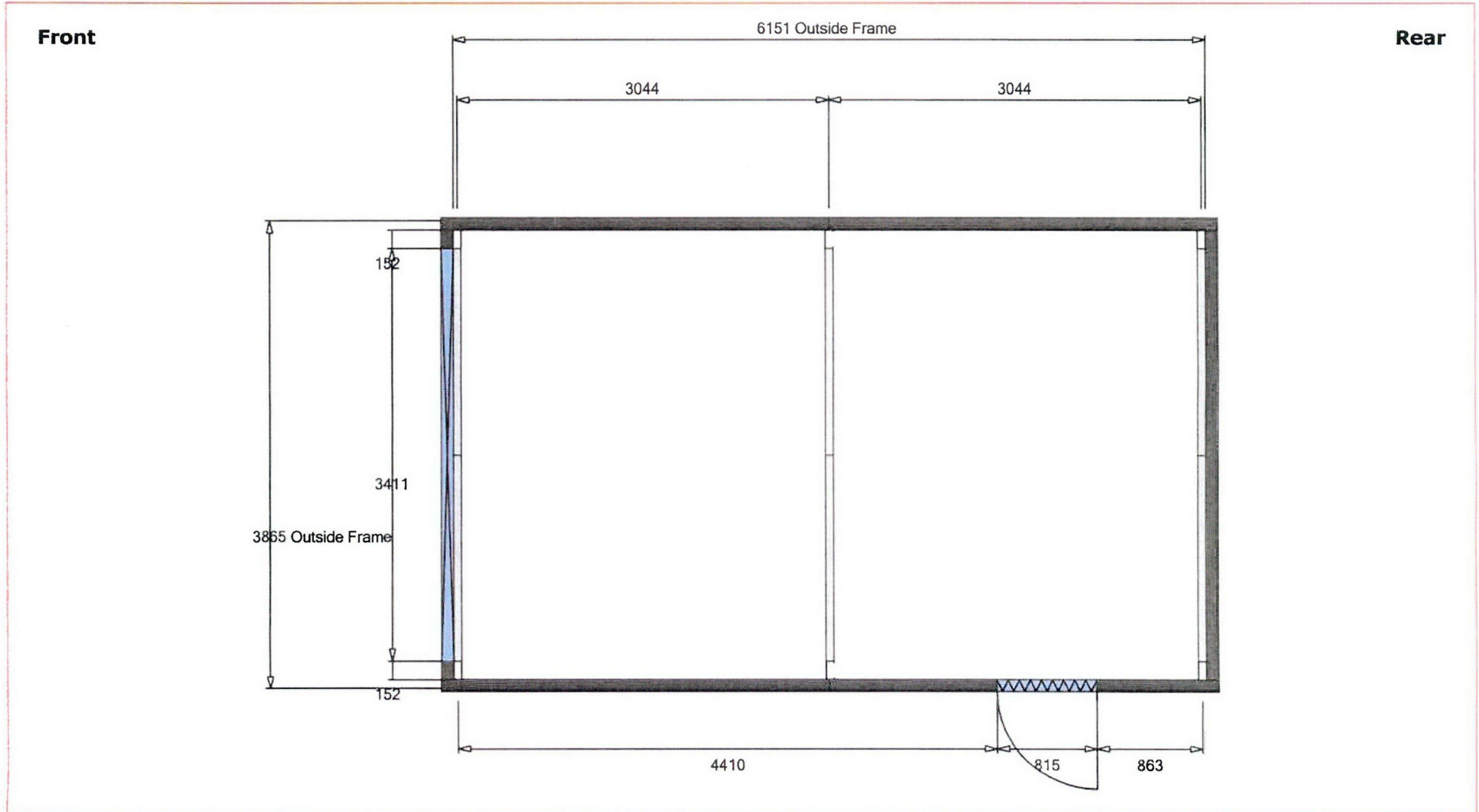
Site Address

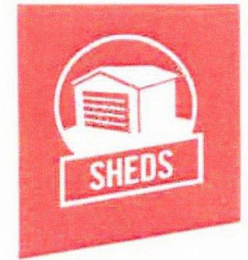
121 Stephens Cres Tapping Unknown

Design Number
Date

SQ295777
15/12/2023

Customer Signature





Elevations

Job Reference	Mr Doug Silversten	Site Address	121 Stephens Cres Tapping Unknown	Design Number	SQ295777	Customer Signature
Sales Person	Peter Belton			Date	15/12/2023	
Client Name						

