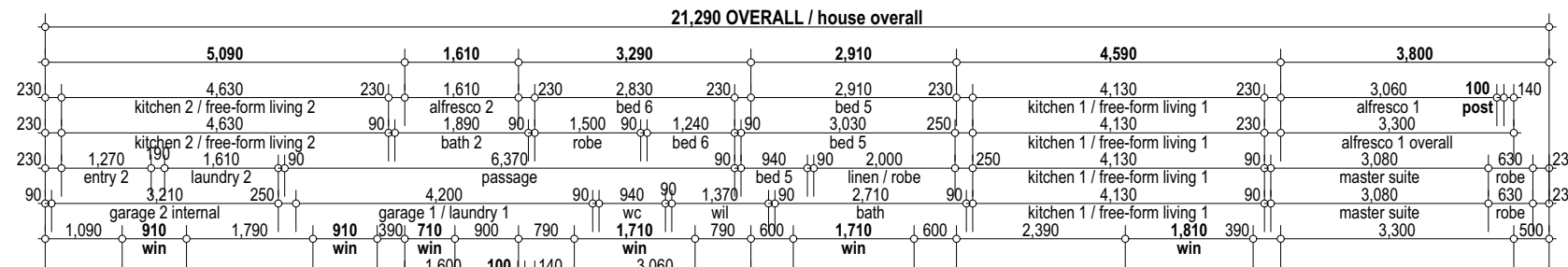
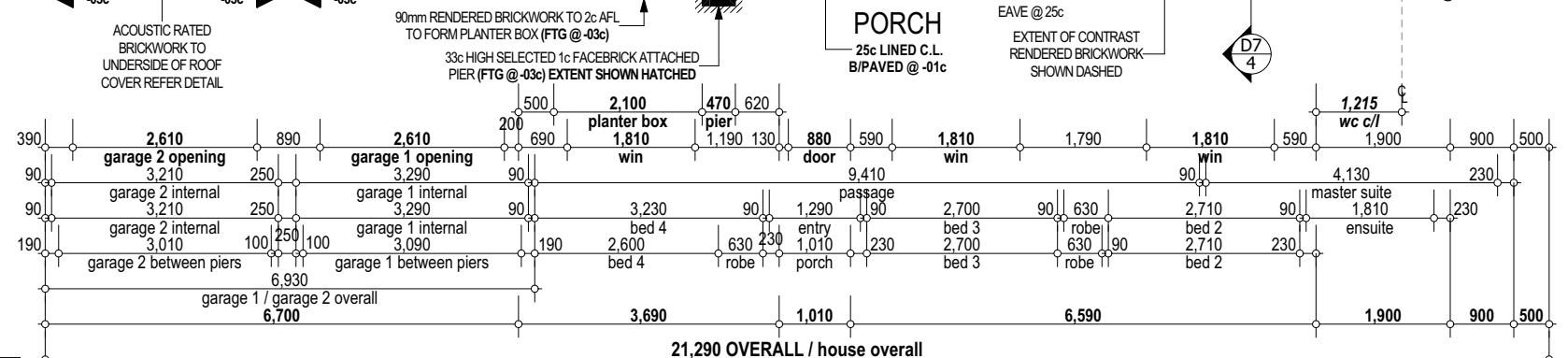
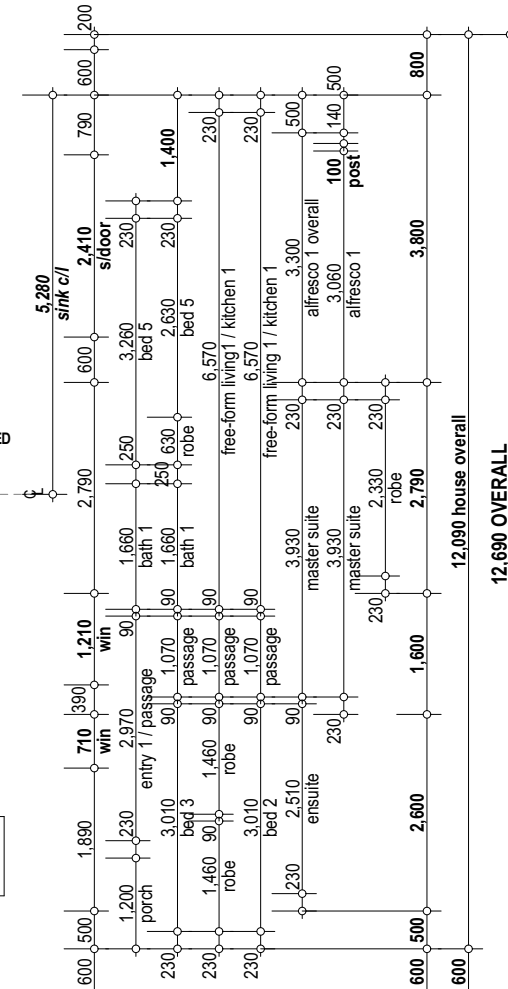
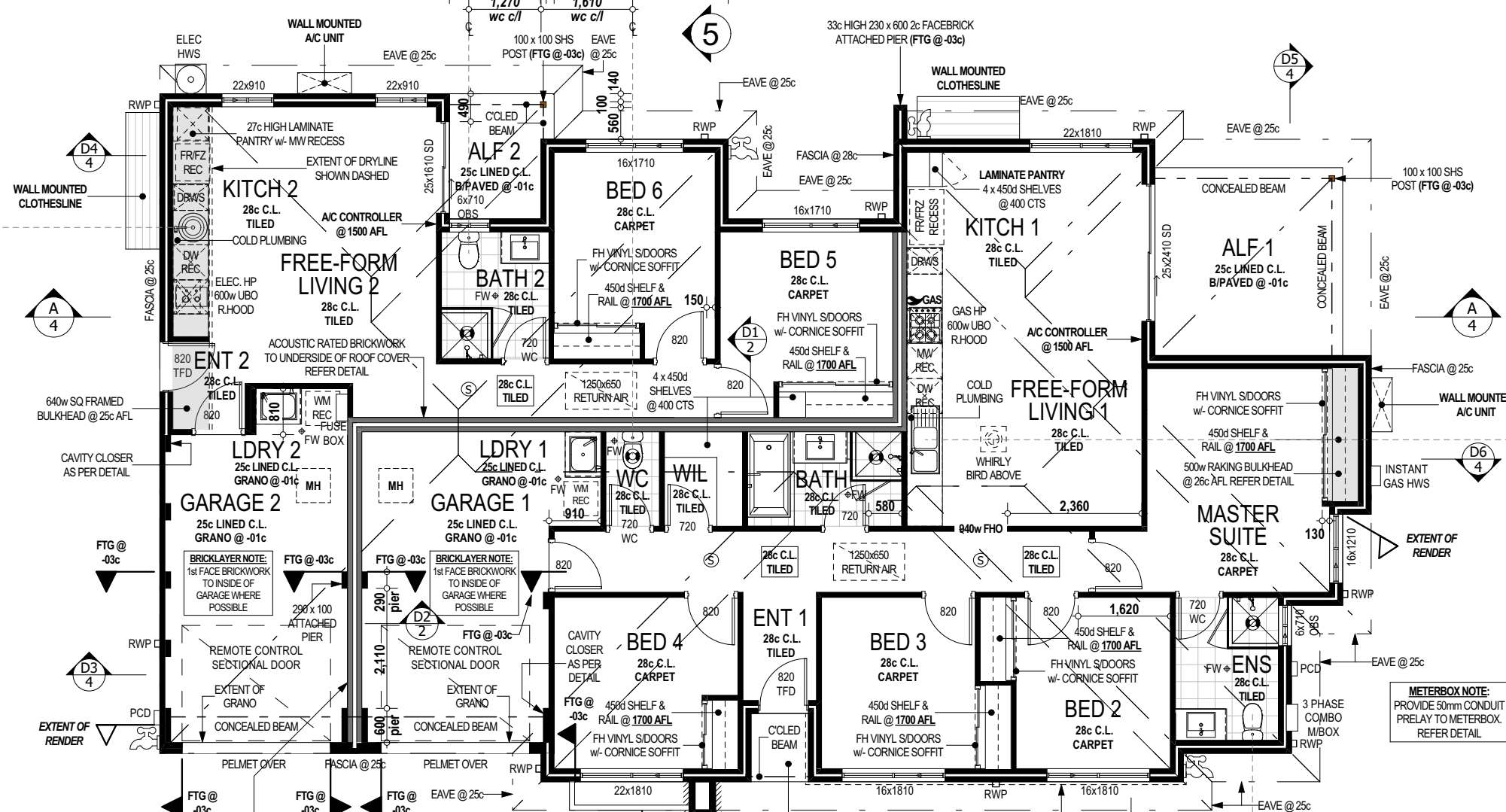
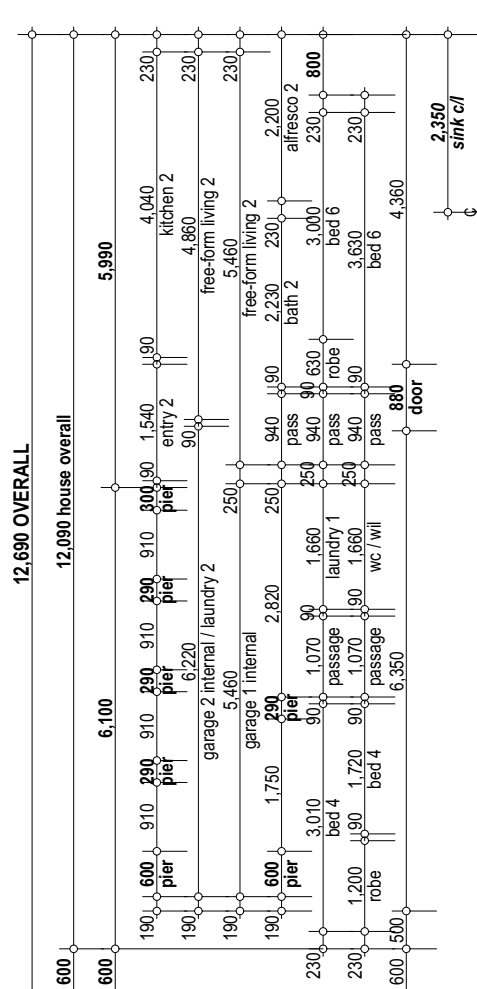
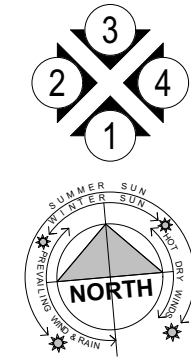


TYPICAL CAVITY CLOSER DETAIL
(2c FACE BRICKWORK)
SCALE 1:20



ELECTRICIAN NOTE
PROVIDE 3 PHASE POWER TO DWELLING

BUSH FIRE NOTE:
BLOCK IS LOCATED IN A BUSH FIRE PRONE ZONE. BUSH FIRE REQUIREMENTS MAY BE APPLICABLE SUBJECT TO BUSH FIRE REPORT



SEPARATING WALL:
SOUND INSULATION TO COMPLY W/ NCC 3.8.6
SEPARATION WALL CONSISTS OF:
- 2x LEAVES OF 90mm ACOUSTIC MAXI-BRICKS W/-
- ALL JOINTS FILLED SOLID W/ MORTAR
- 70mm CAVITY BETWEEN LEAVES & ACOUSTIC WALL TIES
- 13mm RENDER W/ 2mm PLASTER SET TO EACH OUTER FACE OF BRICKWORK

NOTES:

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS.

ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH BCA REQUIREMENTS.

SITE CLASS ???
WIND CLASS N?
CORROSION CLASS R?

ALL DIMENSIONS ARE NOMINAL ONLY.

ALL TRADES NOTE:
PLANS TO BE READ IN CONJUNCTION WITH ADDENDA. REFER TO ENGINEERS PLANS FOR STRUCTURAL SPECIFICATIONS & ROOF BEAMS LAYOUT.

NOTE
PLEASE REFER TO THE GENERAL NOTES PAGE FOR ALL NOTES REFERRING TO CONSTRUCTION & CERTIFICATION

- Ⓢ H-WIRED SMOKE DETECTOR
- Ⓢ EXHAUST FAN FLUMED
- Ⓢ GAS BAYONET
- Ⓢ GAS CONNECTION POINT
- Ⓢ FLOOR WASTE

RENDER NOTE:
PROVIDE RENDER TO FRONT ELEVATION ONLY. REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK, EXTENTS SHOWN ON ELEVATIONS.

NOTE:
LOCATION OF FLOOR WASTES ARE DIAGRAMATIC ONLY AND MAY BE POSITIONED AT THE DISCRETION OF THE PLUMBER.

LOCATION OF RAIN WATER DOWNPIPES ARE DIAGRAMATIC ONLY AND MAY BE POSITIONED AT THE DISCRETION OF THE ROOF PLUMBER.

AIRCONDITIONING NOTE:
DUCTED REVERSE CYCLE AIR-CONDITIONING FROM BUILDERS STANDARD RANGE INCLUDED IN CONTRACT, TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

New Choice HOMES
24 SANGIORGIO COURT
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BUSINESS CENTRE WA 6916
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FAX: 9444 5111
EMAIL: Reception@newchoicetohomes.com.au
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CLIENT:
AUMARAH

SITE ADDRESS:
**LOT 760 GLIMMER ROAD
EGLINTON
CITY OF WANNEROO**

NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT:

DATE.....
OWNER 1.....
OWNER 2.....
BUILDER.....

DRAWN	DATE	CHKD	DESCRIPTION
JM	09/02/24	JS	PLANNING DWGS & REV 1
JM	09/02/24	JS	WORKING DRAWINGS
JM	15/02/24	JM	CONT. CHECK
JM	25/03/24	JM	PLANNING AMEND
JM	09/04/24	JM	PLANNING AMEND

AREAS		
Zone	Area	Perimeter
HOUSE	110.19	54.16
ANCILLARY	60.44	41.56
GARAGE 1	22.62	20.70
GARAGE 2	19.78	19.42
ALF 1	10.89	13.20
ALF 2	3.73	8.08
PORCH	1.21	4.42
228.86 m²		
ROOF AREAS		
FLOOR	PITCH	AREA
GF ROOF	24° 43' 0"	252.39
		252.39 m²

MODEL NAME: **FREEDOM**

INDIVIDUAL

DWG: **GROUND FLOOR PLAN**

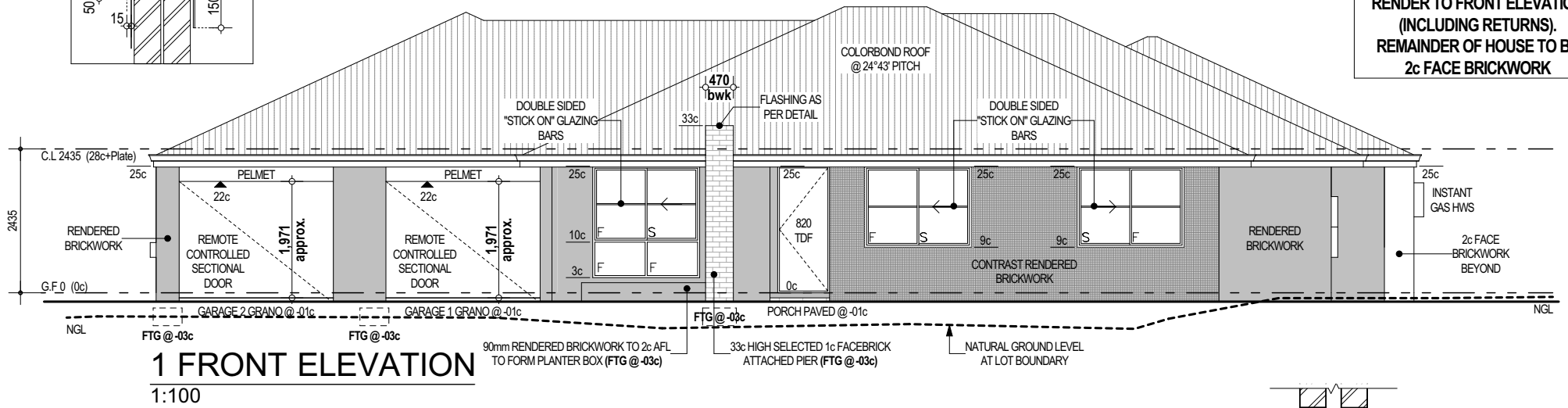
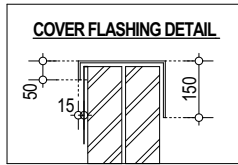
SCALE: **1:100, 1:20**

JOB No: **23198**

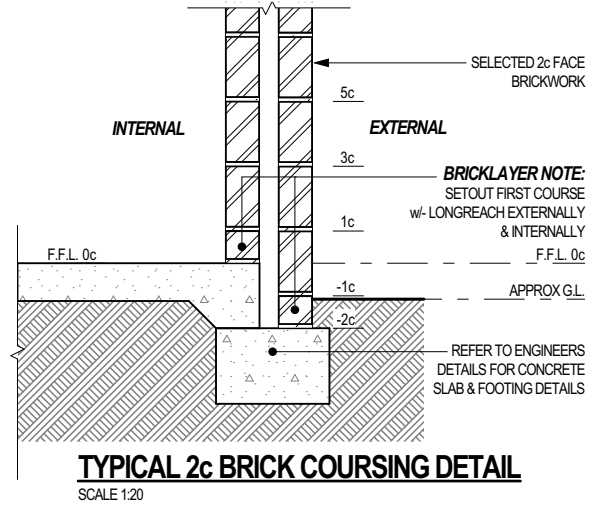
SHEET No: **1 of 4**

NOTE:
 - ROOF PITCH 24°43'
 - ROOF COVER: COLORBOND
 - CONVENTIONAL TIMBER ROOF FRAMING IN ACCORDANCE WITH N.C.C. PART 3.4.3, A.S. 1684 & ENGINEERING ADVICE.
 - ALL STRUCTURAL BEAMS TO BE IN ACCORDANCE WITH THE N.C.C.

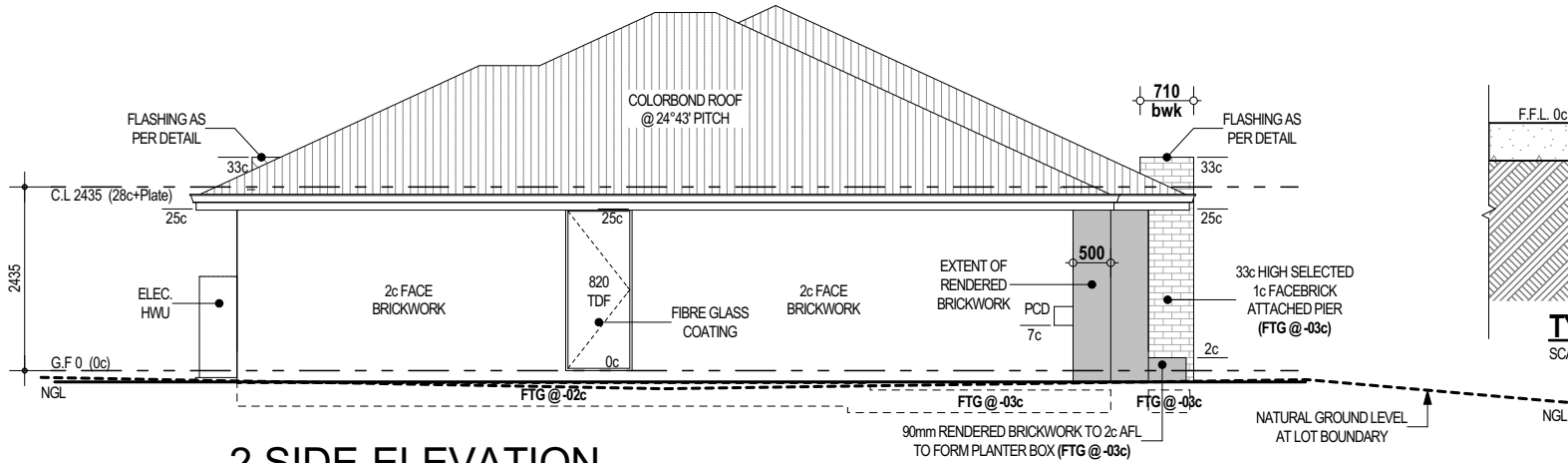
SHADING INDICATES EXTENT OF RENDER TO FRONT ELEVATION (INCLUDING RETURNS). REMAINDER OF HOUSE TO BE 2c FACE BRICKWORK



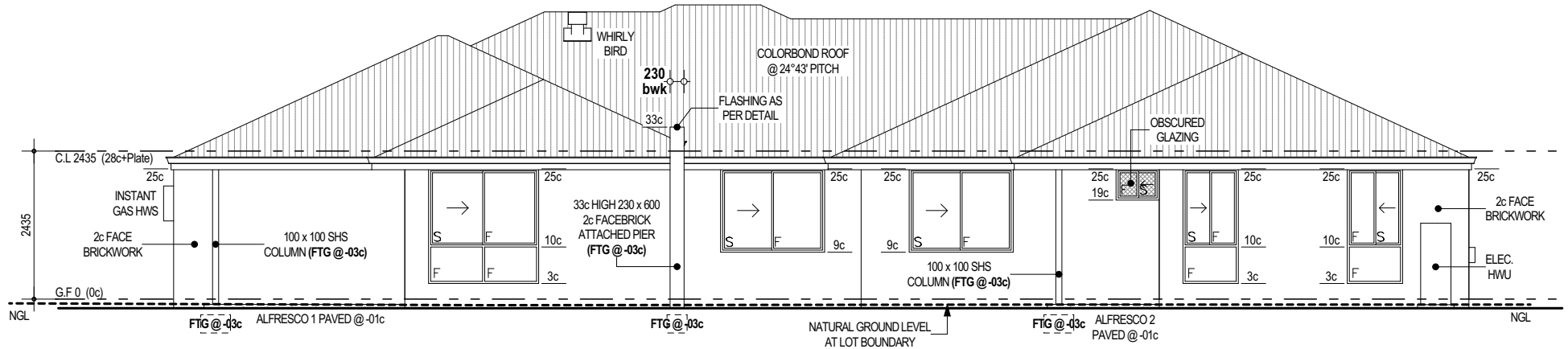
1 FRONT ELEVATION
1:100



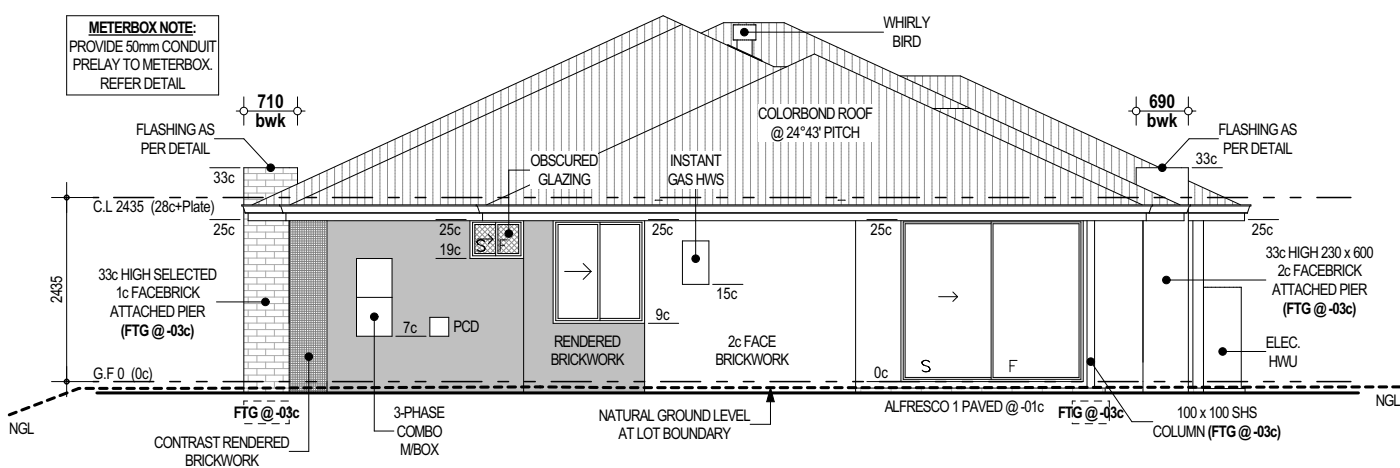
TYPICAL 2c BRICK COURSING DETAIL
SCALE 1:20



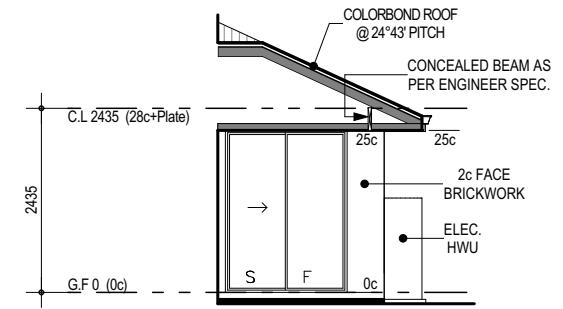
2 SIDE ELEVATION
1:100



3 REAR ELEVATION
1:100



4 SIDE ELEVATION
1:100



5 ELEVATION
1:100

METERBOX NOTE:
 PROVIDE 50mm CONDUIT PRELAY TO METERBOX. REFER DETAIL.

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 BUSINESS CENTRE WA 6916
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 EMAIL: Reception@newchoicehomes.com.au
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CLIENT:
AUMARAH
 SITE ADDRESS:
**LOT 760 GLIMMER ROAD
 EGLINTON
 CITY OF WANNEROO**
 NOTE: DIMENSIONS ON PLAN ARE TO BRICK SIZES WHEN CALCULATING MEASUREMENTS FOR ROOMS & FURNITURE ALLOW 10mm TO EACH WALL FOR PLASTER MARGIN.

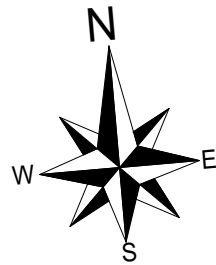
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 OWNER 1.....
 OWNER 2.....
 BUILDER.....

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JM	09/02/24	JS	WORKING DRAWINGS
JM	15/02/24	JM	CONT. CHECK
JM	25/03/24	JM	PLANNING AMEND
JM	09/04/24	JM	PLANNING AMEND

Zone	AREAS	
	Area	Perimeter
HOUSE	110.19	54.16
ANCILLARY	60.44	41.56
GARAGE 1	22.62	20.70
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PORCH	1.21	4.42
	228.86 m²	
ROOF AREAS		
FLOOR	PITCH	AREA
GF ROOF	24° 43' 0"	252.39
		252.39 m²

MODEL NAME: **FREEDOM**
INDIVIDUAL
 DWG: **ELEVATIONS**
 SCALE: **1:100, 1:20**
 JOB No: **23198**
 SHEET No: **2 of 4**

LOT 760



PAVING AREAS		
MATERIAL	LOCATION	AREA
BRICK PAVING	CROSSOVER	15.81
	PAVING LHS	8.70
	DRIVEWAY & PATH	41.04
	ALFRESCO 2	3.72
	ALFRESCO 1	10.88
	PORCH	1.21
	TOTAL	81.36 m²

SITE ZONING-RMD30	
CITY OF WANNEROO	
Area of Site	460m ²
Area of Building	216.48m ²
SITE COVERAGE	47.06%
Allowed Coverage	RMD

OUTDOOR LIVING CALCULATIONS	
SITE ZONING-RMD30	
Outdoor Living Area	82.49m ²
Council Required	46.00m ²
Uncovered Open Space	67.40m ²
Council Required	32.20m ²

LEGEND	
⊕	POWER DOME
⊖	POWER POLE
⊕	PHONE PITS
⊕	WATER CONN
⊕	TOP PILLAR/POST
⊕	TOP WALL
⊕	TOP RETAINING
⊕	TOP FENCE

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JM	15/02/24	JM	CONT. CHECK
JM	25/03/24	JM	PLANNING AMEND
JM	09/04/24	JM	PLANNING AMEND

MODEL NAME: **FREEDOM**

INDIVIDUAL

DWG: **SITE PLAN**

SCALE: **1:200**

JOB No: **23198** SHEET No: **4 of 4**

STREET SETBACK PAVING PERCENTAGE

STREET SETBACK AREA = 36.66m² (50% = 18.33m²)

PAVING IMPERVIOUS SURFACE AREA = 11.53m²(31.45%)

STORMWATER NOTE

DISPOSAL OF STORMWATER AS PER COUNCIL REQUIREMENTS TO INTERCONNECTING SOAKWELLS **BY BUILDER**

ALL TRADES NOTE

ENSURE ALL BUILDING MATERIALS AND RUBBISH ARE KEPT AWAY FROM SEWER INSPECTION OPENINGS AT ALL TIMES

ELECTRICIAN NOTE

PROVIDE 3 PHASE POWER TO DWELLING

METERBOX NOTE:

PROVIDE 50mm CONDUIT PRELAY TO METERBOX. REFER DETAIL

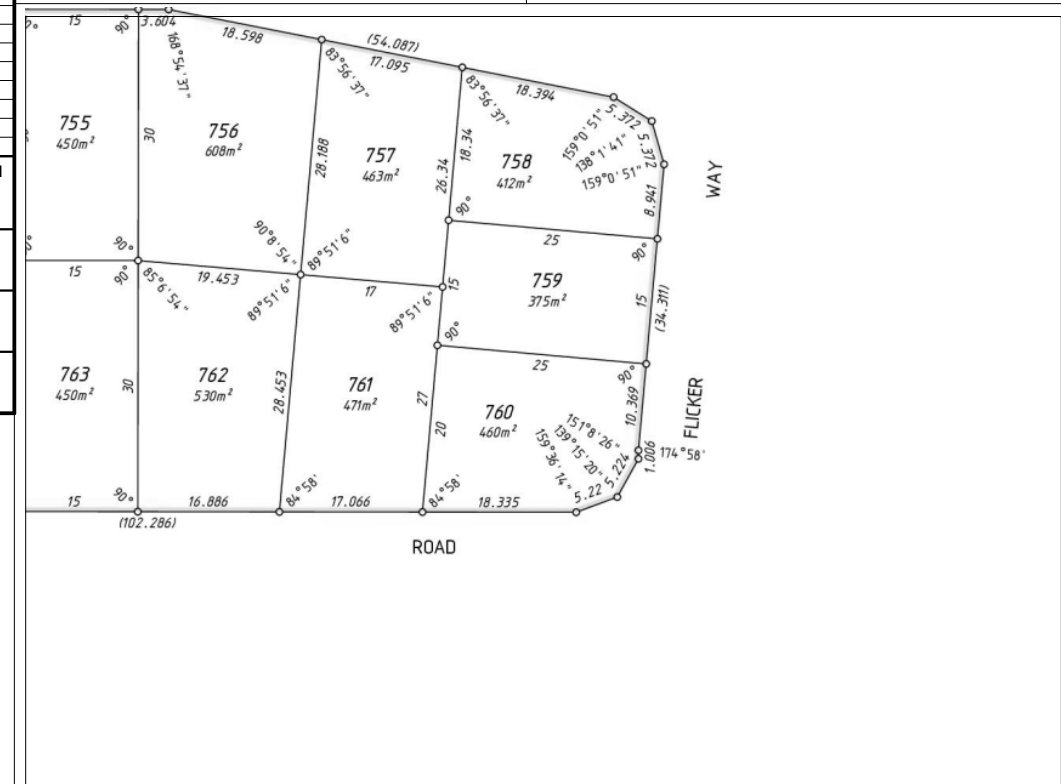
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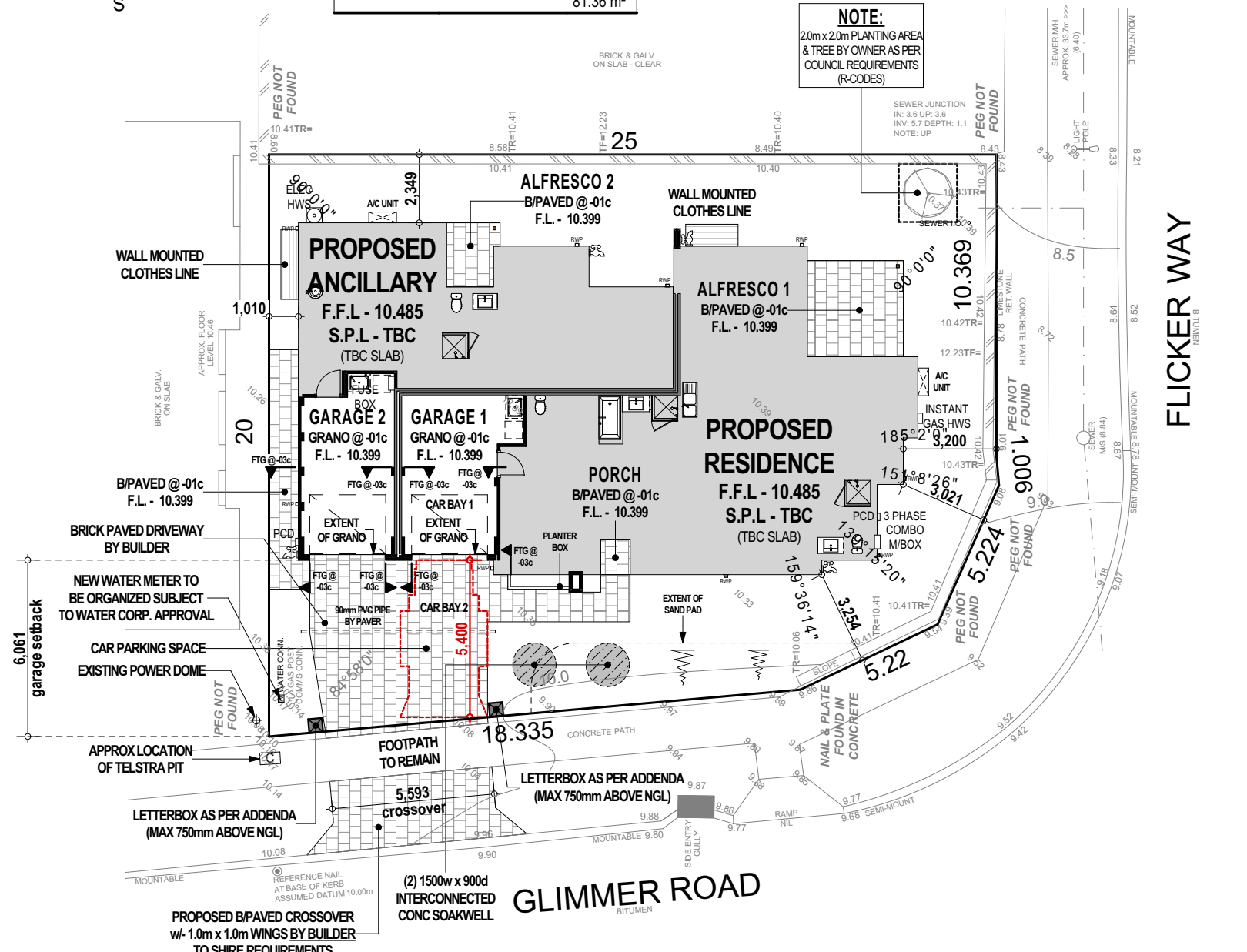
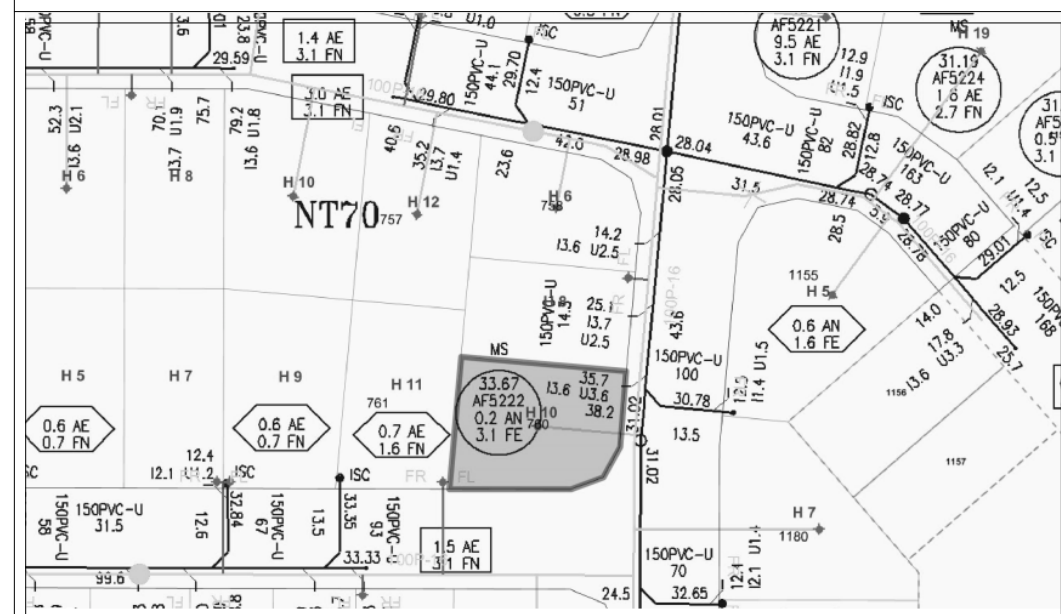
CONTOUR & FEATURE SURVEY

LOT Lot 760 (DP 424733)
ADDRESS #10 Flicker Way, Eglinton
LGA CITY OF WANNEROO
CLIENT Aumarah
ORDER # 23198
GPS Lat: -31.573402 Long: 115.666030
SSA Yes **AREA** 460m² **VOL.** 4026 **FOL.** 398

NEW CHOICE HOMES
 24 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 PO BOX 1407 OSBORNE PARK
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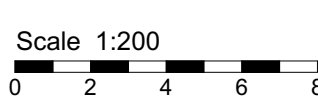
ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	See Survey	VEG.	Light Grass Cover



DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE:
 RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT P311176

LOT MISCLOSE
0.001 m



DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

CLIENT NOTE
 F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN
 A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S)
 B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

CONCRETOR NOTE
 ALL EXTERNAL CAVITY WALLS TO BE 2c CAVITY BRICKWORK (230mm); UNLESS NOTED OTHERWISE

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

EARTHWORKS NOTE
 REFER TO STRUCTERRE REPORT FOR SITWORKS INFORMATION

ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

SUPERVISOR NOTE
 PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

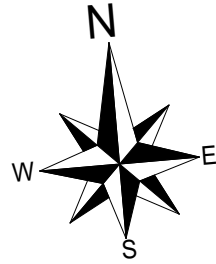
SERVICES NOTE
 WATER PRELAY LOCATED AT FRONT LEFT OF BLOCK

BRICKPAVING NOTE
 BRICKPAVING AS PER ADDENDA

90mm PVC PIPE TO BE PLACED 2m FROM THE CARPORT / GARAGE APPROX 300mm DEEP

DOWNPIPE NOTE
 LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.

LOT 760



⊕	POWER DOME
⊙	POWER POLE
⊠	PHONE PITS
⊞	WATER CONN.
TP=10.00	TOP PILLAR/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

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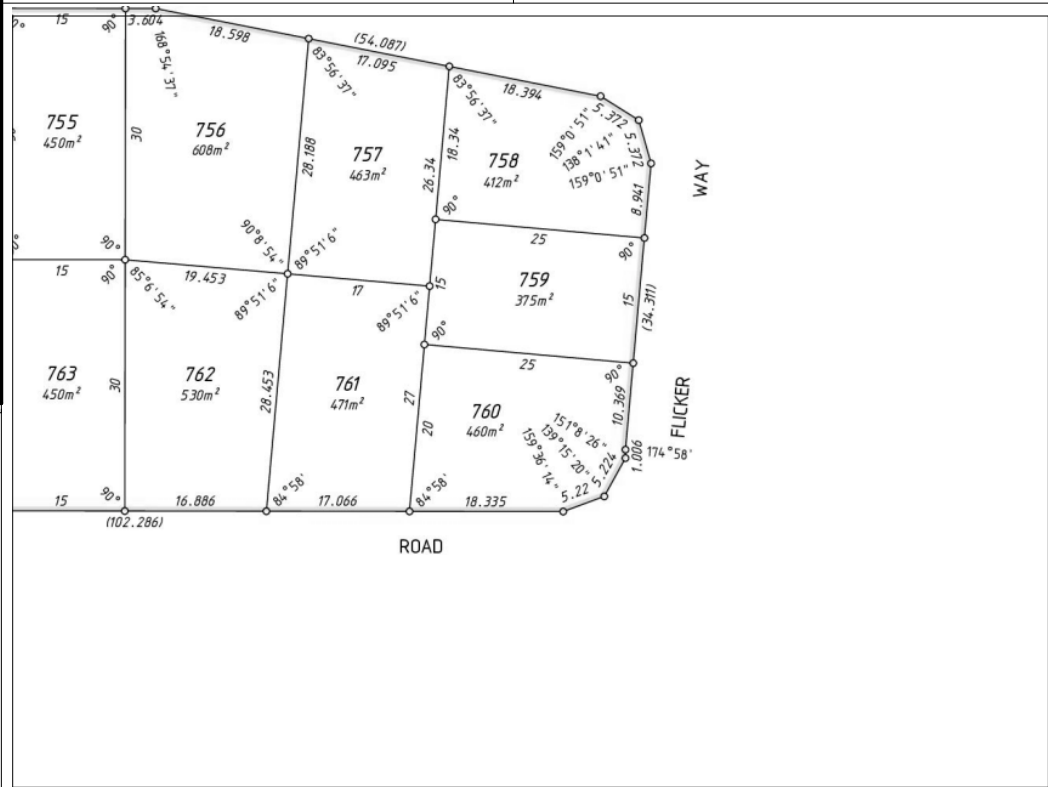
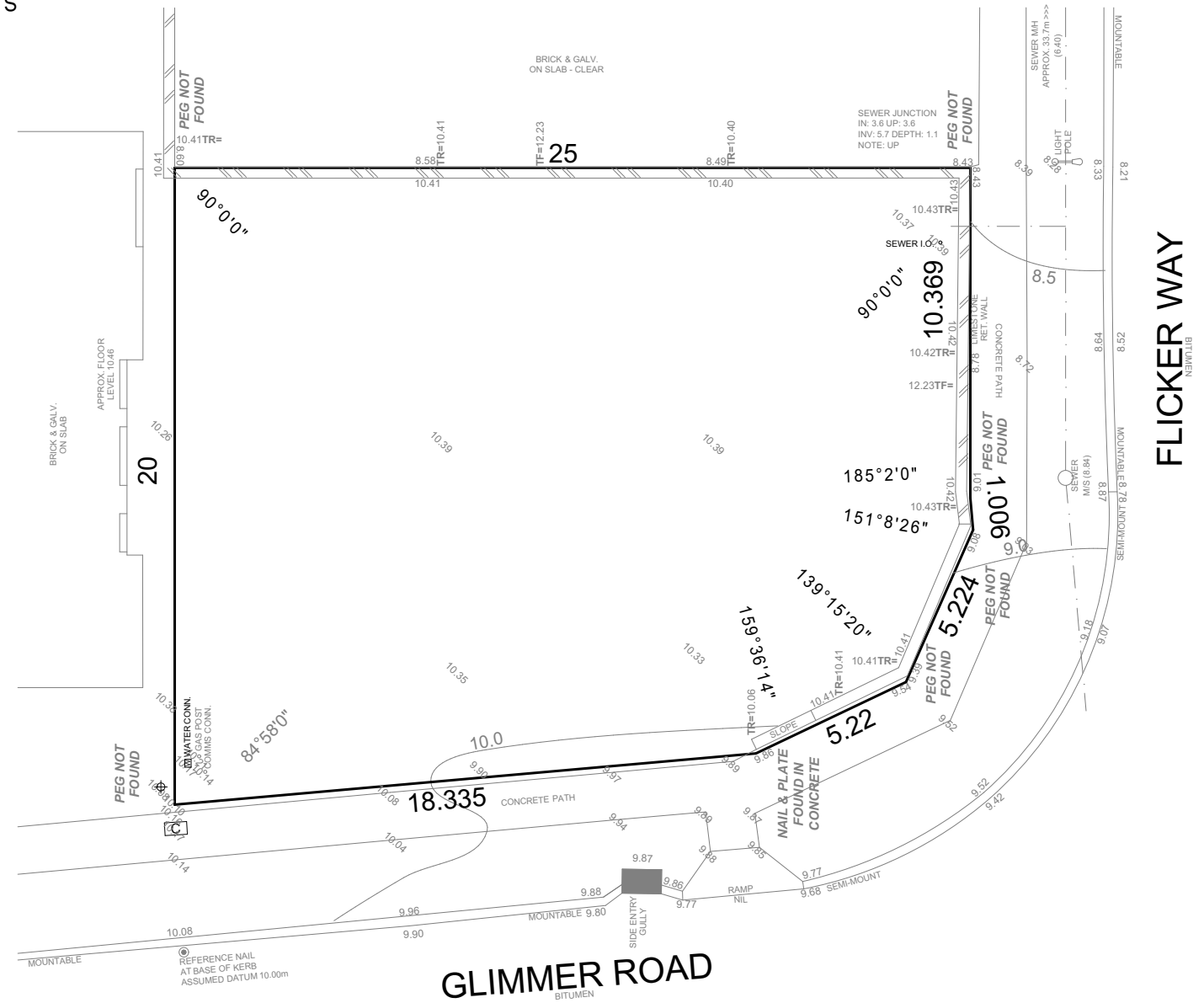
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JM	25/03/24	JM	PLANNING AMEND
JM	09/04/24	JM	PLANNING AMEND

MODEL NAME: **FREEDOM**
INDIVIDUAL
 DWG: **EXISTING SITE PLAN**
 SCALE: **1:200**
 JOB No: **23198** SHEET No: **3 of 4**

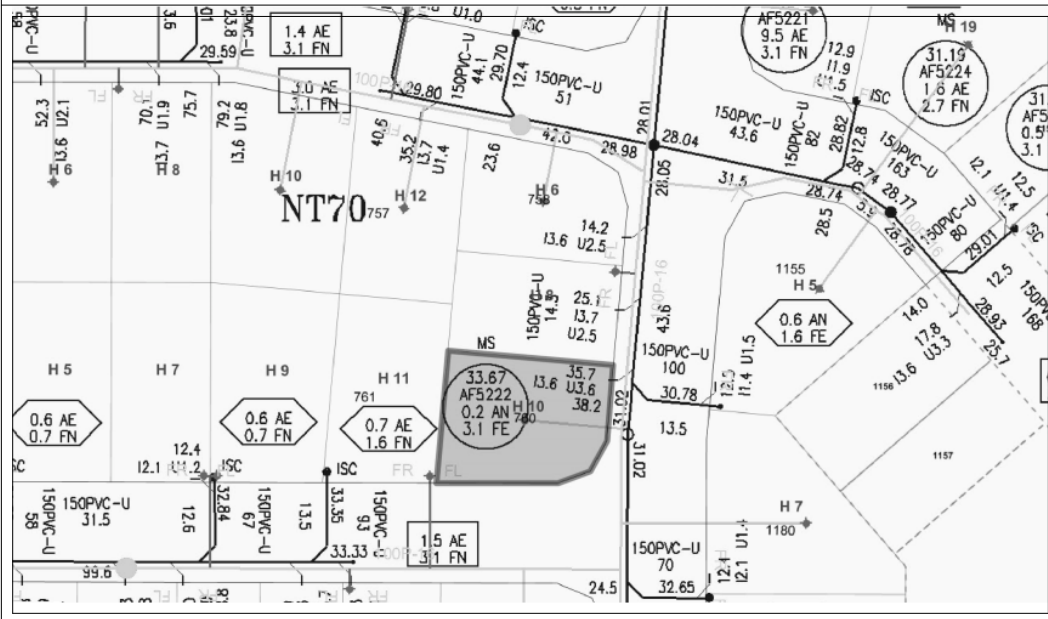
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GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	See Survey	VEG.	Light Grass Cover



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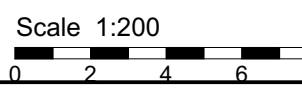
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NOTE:
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 SEE DOCUMENT P311176

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LOT MISCLOSE
 0.001 m



COTTAGE SURVEYS
 87-89 Guthrie St Osborne Park WA 6017
 PO Box 1611 Osborne Park BC WA 6917
 P: (08) 9446 7361
 E: perth@cottage.com.au
 W: www.cottage.com.au
 JOB: 562959 DATE: 14 Dec 23 DRAWN: T. Do