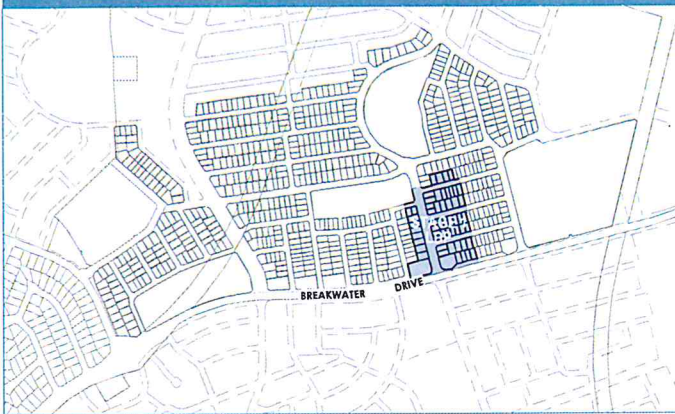


Location Plan



Legend

- Extent of Local Development Plan
- No Vehicle Access Permitted
- R25 Subject Lots
- Shared Paths / Footpaths
- R30 Subject Lots
- Designated Garage Location
- R40 Subject Lots
- MU Mixed Use
- R60 Subject Lots

Endorsement Table

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

Manager, Approval Services
City of Wanneroo

Date 22/4/16



Please note: For Multiple Dwelling developments (apartments), the provisions of this LDP are superseded by the R-Codes (Volume 2) to the extent of any inconsistencies.

Local Development Plan Provisions

- 1.0 GENERAL PROVISIONS**
- 1.1 The requirements of the City of Wanneroo District Planning Scheme No. 2 and the Residential Design Codes (R-Codes) apply, unless otherwise provided below.
- 1.2 The following standards represent variations to the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes.

2.0 PROVISIONS FOR ALL LOTS

Lots	Street setback and front fences	Lot boundary setback	Open space	Garage setback and width and vehicular access	Parking	Overshading	Privacy	Adaptable Dwelling Design (Mixed Use Lots Only)
All R60	2m minimum, no average 1m to porch/ veranda no maximum length 1m minimum to secondary street Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence.	Boundary setbacks 1.2m for wall height 3.5m or less with major openings 1m for wall height 3.5 or less without major openings Boundary walls No maximum length to both side boundaries	An outdoor living area (OLA) with an area of 10% of the lot size or 20m ² , whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas The OLA has a minimum 3m length or width dimension No other R-Codes site cover standards apply	Front load 4.5m garage setback from the primary street and 1.5m from a secondary street The garage setback from the primary street may be reduced to 4m where an existing or planned footpath or shared path is located more than 0.5m from the street boundary For front loaded lots with street frontages between 10.5 and 12m, a double garage is permitted to a maximum width of 6m as viewed from the street subject to: • Garage setback a minimum of 0.5m behind the bulking alignment • A major opening to a habitable room directly facing the primary street. • An entry feature consisting of a porch or veranda with a minimum depth of 1.2m and, • No vehicular crossover wider than 4.5m where it meets the street Lots with a frontage less than 10.5m or not compliant with above require single or tandem garaging	One on-site bay where dwelling has two bedrooms or less	No maximum overshadowing	No privacy provisions apply	Shall demonstrate at the development application/building permit stage that buildings are designed so that ground floor units are capable of being adapted from any residential use to commercial use by providing the following: • 31c minimum ground floor ceiling height excluding a garage or store • Front room with minimum 3m x 4m dimension • Major opening to front room that can be converted into a separate external door.
All R40	2m minimum, no average 1.5m to porch/ veranda no maximum length 1m minimum to secondary street Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence	Boundary setbacks As per R60 above Boundary walls To both side boundaries subject to: No maximum length to one side boundary, 2/3 max length to second side boundary for wall height 3.5m or less	As per R60 above	As per R60 above	As per R-Codes	No maximum overshadowing for wall height 3.5m or less. No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%	R-Codes clause 5.4.1 C1.1 applies, however the setback distances are 3m to bedrooms and studies, 4.5m to major openings to habitable rooms other than bedrooms and studies and 6m to unenclosed outdoor active habitable spaces	As per R60 above
All R30	2m minimum, no average 1.5m to porch / veranda no maximum length 1m minimum to secondary street Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence	Boundary setbacks As per R60 above Boundary walls To both side boundaries subject to: 2/3 length to one side boundary, 1/3 max length to second side boundary for wall height 3.5m or less	As per R60 above	As per R60 above	As per R-Codes	As per R40 above	As per R40 above	Not Applicable
All R25	3m 1.5m to porch / veranda no maximum length 1.5m min to secondary street Front fences within the primary street setback area being a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence	Boundary Setbacks As per R60 above Boundary walls As per R30 above	As per R60 above	As per R60 above	As per R-Codes	As per R40 above, however if overshadowing intrudes into rear half of the lot, shadow cast does not exceed 25%	As per R40 above	Not Applicable



LOCAL DEVELOPMENT PLAN 3 | BREAKWATER PRECINCT STAGE 1
Atlantis Beach, Two Rocks
A Capricorn Village Joint Venture Project

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