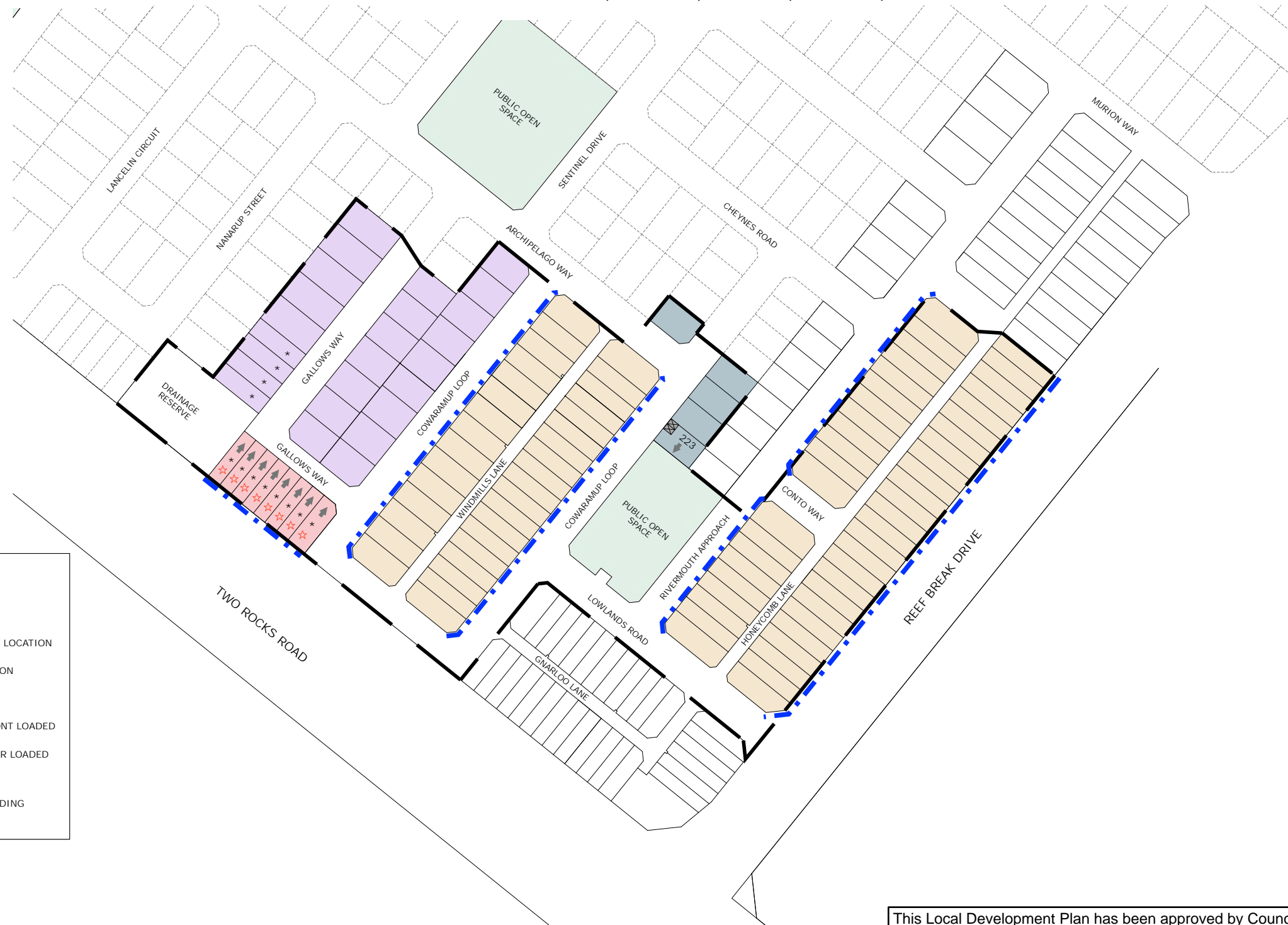


# Local Development Plan 1 - Lot 9003

TWO ROADS ROAD, TWO ROCKS

WAPC REF 162263, 162767, 164112, 149730,



LEGEND	
	SUBJECT AREA
	SINGLE OR TANDEM GARAGES
	PRESCRIBED GARAGE/CARPORT LOCATION
	PRIMARY DWELLING ORIENTATION
	R40 LOTS
	R40 CODED LOTS TYPE A - FRONT LOADED
	R40 CODED LOTS TYPE B - REAR LOADED
	R 60 LOTS
	MANDATORY TWO STOREY BUILDING
	NO VEHICULAR ACCESS

NOT TO SCALE

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

.....  
 Manager Planning and Implementation  
 City of Wanneroo

25 January 2024  
 .....  
 Date

# Local Development Plan 1 - Lot 9003

TWO ROADS ROAD, TWO ROCKS

WAPC REF 162263, 162767, 164112, 149730

## Local Development Plan Provisions

### 1. General Provisions:

- a. Unless provided for below, the provisions of District Planning Scheme No. 2 and the Residential Design Codes (R-Codes) apply.
- b. The following standards are deemed to satisfy the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

### 2. Building Height

- a. Dwellings are to be two storey where indicated on this LDP.

### 3. Lots Fronting Public Open Space (Lot 223)

- a. Setbacks:
  - i. Dwelling setback to public open space: 2m;
  - ii. Dwelling setback to street: 1.5m;
  - iii. Garage setback to street: 1.5m.
- b. Dwellings shall have at least one major opening to a habitable room (not including a bedroom) facing and providing an unobstructed view of the POS.
- c. Any fencing fronting on to the POS shall:
  - i. Not exceed 1.5m in height; and
  - ii. Be of an open style and visually permeable above 1.2m in height.

### 4. Primary Dwelling Orientation

- a. Primary street and dwelling orientation to be as indicated on this LDP.

### 5. Designated Garage/Carport Locations

- a. Designated garage/carport locations indicate the side of the lot that garages/carports must be located, but do not prescribe boundary walls.

### 6. Boundary Setbacks

- a. 1.2m for wall height 3.5m or less with major openings;
- b. 1m for wall height 3.5m or less without major openings.

### 7. Street Setbacks

- a. 2m minimum, no average;
- b. 1m to porch/verandahs, no maximum length;
- c. 1m minimum to secondary street;
- d. Front fences within the primary street setback area being a maximum height of 900mm above the natural ground level, measured from the primary street side of the front fence.

### 8. Boundary walls

- a. To both side boundaries subject to:
  - i. no maximum length to one side boundary;
  - ii. 2/3 max length to second side boundary for wall height 3.5m or less.

### 9. Overshadowing

- a. No maximum overshadowing for wall height 3.5m or less.
- b. No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot.
- c. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%.

### 10. Privacy

- a. R-Codes clause 5.4.1 C1.1 applies, however the setback distance is:
  - i. 3m to bedrooms and studies;
  - ii. 4.5m to major openings to habitable rooms other than bedrooms and studies; and
  - iii. 6m to unenclosed outdoor active habitable spaces.

### 11. Open Space

- a. An outdoor living area (OLA) with an area of 10% of the lot size or 20m<sup>2</sup>, whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area;
- b. At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas;
- c. The OLA has a minimum 3m length or width dimension.

No other R-Codes site cover standards apply.

### 12. Garages - Lots Type A

- a. 4.5m garage setback from the primary street and 1.5m from a secondary street.
- b. For lots with street frontages between 10.5 and 12m, a double garage is permitted to a maximum width of 6m as viewed from the street subject to:
  - i. garage setback a minimum of 0.5m behind the building alignment;
  - ii. a major opening to a habitable room directly facing the primary street;
  - iii. an entry feature consisting of a porch or veranda with a minimum depth of 1.2m; and
  - iv. no vehicular crossover wider than 4.5m where it meets the street.
- c. Lots with a frontage less than 10.5m or not compliant with the above require single or tandem garaging.

### 13. Garages - Lots Type B

- a. 0.5m garage setback to laneway.