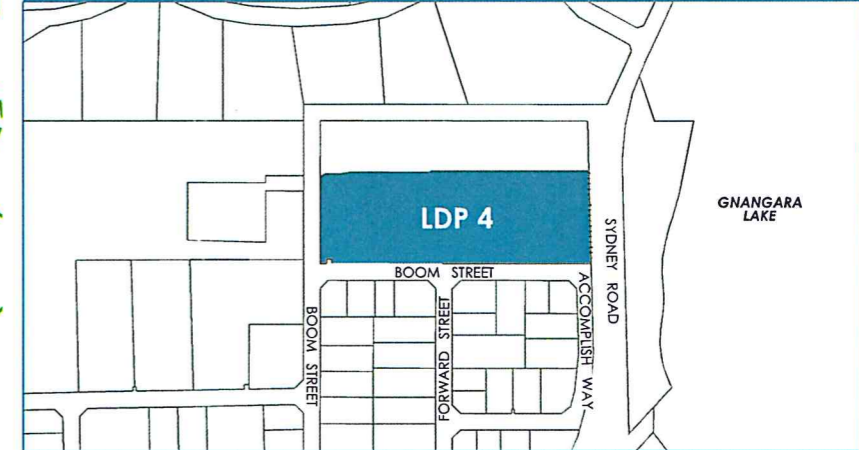


### Local Development Plan Provisions

- 1.0 GENERAL PROVISIONS**
  - 1.1 The requirements of the City of Wanneroo District Planning Scheme No. 2 and Local Structure Plan No.96 apply, unless otherwise provided below.
- 2.0 VEHICLE ACCESS**
  - 2.1 For Lot 477, no vehicular access is permitted from Sydney Road.
- 3.0 STREET SETBACK**
  - 3.1 For the purposes of clause 4.7.2 of the Scheme, the secondary street boundary for Lot 477 shall be Sydney Road, in which case a 3m minimum setback applies.
- 4.0 BUSHFIRE MANAGEMENT**
  - 4.1 No building shall be located within the Asset Protection Zone identified in the absence of a Bushfire Attack Level Contour assessment demonstrating a rating below BAL 40
- 5.0 FENCING**
  - 5.1 For Lot 477, lot boundary fencing proposed adjacent to Sydney Road shall be uniform in style with a minimum height of 1.8m.
- 6.0 SITE DESIGN**
  - 6.1 Storage of materials is not permitted within the earth bund area. Landowners are responsible for maintaining the retaining wall and landscaping within this area.
  - 6.2 To avoid blank facades for lot 477, walls facing Sydney Road shall incorporate articulated building design with the inclusion of different colours, materials and / or textures.

### Location Plan



### Endorsment Table

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

Manager Approval Services  
City of Wanneroo *[Signature]*

Date 3/3/17

### Legend

- Extent of Local Development Plan
- Asset Protection Zone
- Existing Retaining / Earth Bund
- BAL 40 Contour
- Uniform Fencing
- Vehicle Access Restriction