



Please note: For Multiple Dwelling developments (apartments), provisions 1, 3, 4, 5, 6 and 7 of this LDP are superseded by the R-Codes (Volume 2) to the extent of any inconsistencies.

LOCAL DEVELOPMENT PLAN STANDARDS

The standards outlined in this Local Development Plan (LDP) constitute variations to the requirements of the Residential Design Codes (R-Codes) and District Planning Scheme No.2 (DPS No.2). The requirements of the R-Codes and DPS No.2 shall be satisfied in all other matters.

Surveillance

1. Provision of good surveillance to streets, lanes, pedestrian access ways and public open space. All dwellings shall incorporate one habitable room opening overlooking the primary street.

Signage

2. Signage integrated with buildings and appropriate in character.

Outdoor Living Area

3. Outdoor Living Area (OLA) - Single Bedroom Dwellings:
 - a. Must include at least one balcony or courtyard (minimum dimension 2.4m);
 - b. Minimum total combined OLA of 10m²;
 - c. Must be directly accessible from a habitable room; and
 - d. At least 35% of the OLA must be uncovered (including any area under an eave which adjoins an uncovered area).
4. Outdoor Living Area (OLA) - 2+ Bedroom Dwellings:
 - a. Must include at least one balcony or courtyard (minimum dimension 2.4m);
 - b. Minimum total combined OLA of 16m²;
 - c. Must be directly accessible from a habitable room; and
 - d. A minimum 35% of the OLA must be uncovered (including any area under an eave which adjoins an uncovered area).
5. No other R-Codes site cover / open space provisions apply.

Privacy and Overshadowing

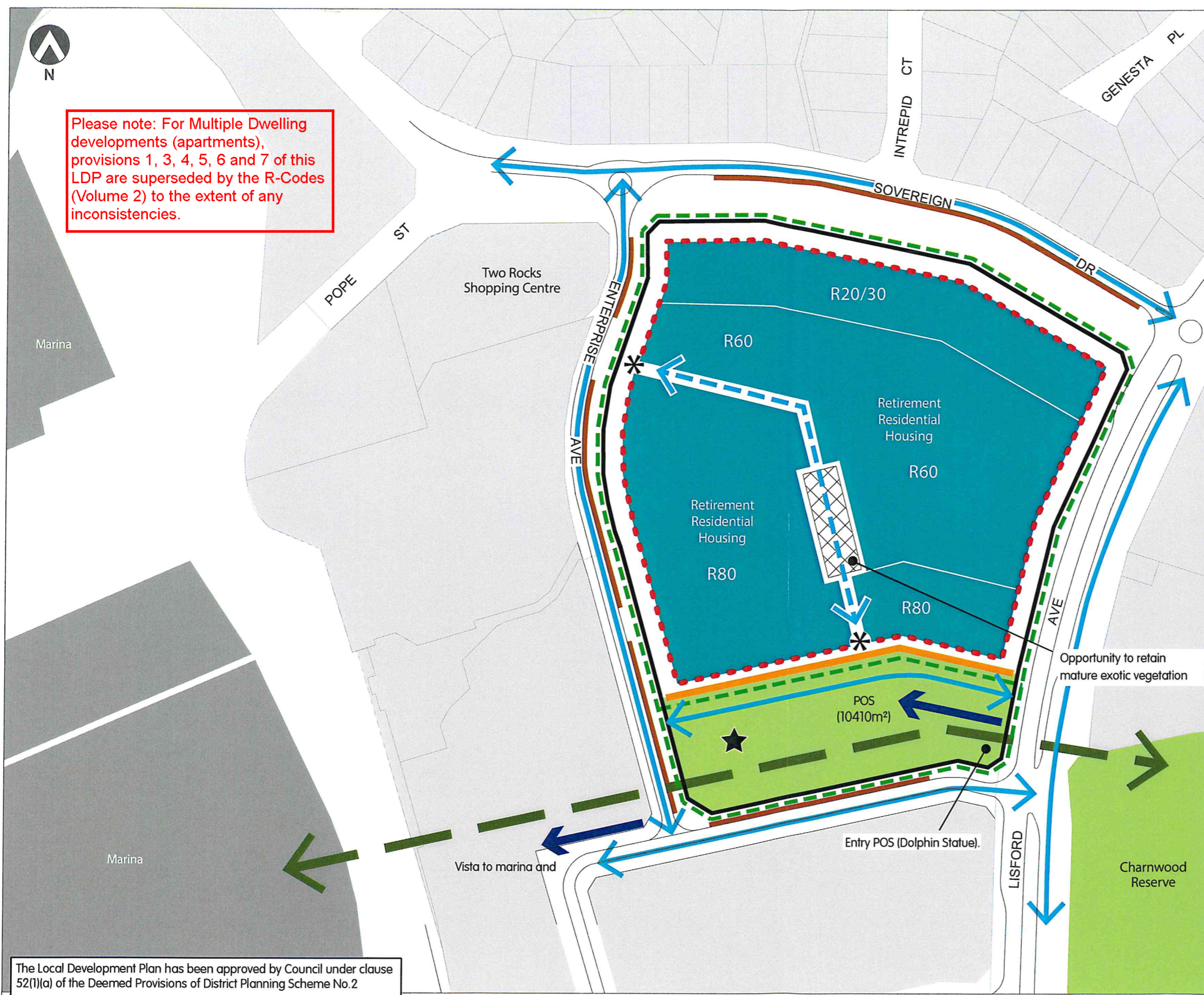
6. No maximum over-shadowing provisions apply.
7. No privacy provisions apply.

Miscellaneous

8. Consultation with adjoining and/or nearby landowners is not required to achieve a variation to the R-Codes in accordance with the provisions of this LDP.
9. Minor variations to the requirements of the R-Codes and to the provisions of this LDP may be approved by the City of Wanneroo.
10. Any existing vegetation, as identified by a tree survey, is to be protected by relocation to areas of public open space or retained, to the City's satisfaction, where practically possible.

LEGEND

- LDP Boundary
- Building Frontage
- Residential buildings to address the street and public Open space
- Permeable fencing to allow for passive surveillance
- Low retaining wall (as required) and fencing with Adjacent public pedestrian access path
- Pedestrian Path
- On street Parking
- Indicative pedestrian access point (private)
- Views and Vistas
- Movement Network
- Indicative movement network (private)
- POS network + linkages
- Building envelopes
- (Building height 1-2 stories R20-R30)
- (Building height 1-5 stories R60-R80)
- (Min number of dwellings - 150)
- POS
- Indicative POS/ Drainage (private)
- King Neptune to be retained



The Local Development Plan has been approved by Council under clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2

Manager, Approval Services
 City of Wanneroo

4/12/18
 Date



DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY

LOCAL DEVELOPMENT PLAN NO.1 PRECINCT A+B
 Two Rocks Town Centre
 City of Wanneroo

REF NO. AFI TWR
 DRAW NO. RD3 003
 REV. F