

JINDEE

LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

MODIFICATION 1
SEPTEMBER 2019

LDP NO. 4

DOCUMENT CONTROL - MODIFICATIONS TO LOCAL DEVELOPMENT PLAN 1.1

VERSION	VERSION DATE	DESCRIPTION
1	July 2015	Version approved by Council 3.8.15
2	September 2019	<p>Modification 1- modifications include:</p> <ul style="list-style-type: none"> • Modification to General Provision 1 by inserting the word "Terrace" before "House" to clarify that Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage. • Modification to General Provision 25 to include discretion for the Jindee Town Architect to accommodate variations to the LDP for Lots 335,336, and 337 without requiring planning approval by inserting the following text : <ul style="list-style-type: none"> "For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards: <ul style="list-style-type: none"> • the location of the Principal and Secondary Setback Line; • extent of encroachment into the Principal Setback Line and Secondary Setback Line; • the location and extent of the Build-To-Line and requirement for Attached Walls <p>These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval."</p> • Modification to Overall LDP and corresponding Individual Lot Plan deleting the requirement for Lot 337 to have a mandatory garage location. • Modification to ILP for Lot 337 - replace "interior Lot" with "Edge Lot" • Update to all ILPs to clarify Principal Setback Line - Replace "2.7m" with "is parallel to and located 2.7m from the Principal Boundary within the Lot" • Update ILPs for Edge Lots 7000,7001 and 337 to correct administrative error - change "N/A" for "is parallel to and located 1.0m from the Secondary Boundary within the Lot"



Legend

- T Building Type - Terrace
- ▲ Recommended Pedestrian Entry (refer Private Realm Note 10)
- ▬ Entry Steps (refer Private Realm Note 10)
- ▬ Indicative retaining wall locations
- Extent of Building Area (subject to Site Coverage requirements)
- Permitted Encroachment (refer Private Realm Note 6)
- Minimum Setback (refer Private Realm Note 5)
- - - Build-To-Line (BTL) (refer Private Realm Note 7)
- ▬ Required Attached Wall (refer Private Realm Note 8)
- 28.70 Datum and Pad Level (refer Private Realm Note 13 & 14)
- - - No Vehicular Access
- ⊠ Required Outbuilding (refer Private Realm Note 17)
- Recommended Outbuilding (refer Private Realm Note 17)
- ←→ Recommended Terrace Grouping
- ▬ Required Parapet Walls
- ⊠ Indicative Services Dome

Building Heights and Setbacks

Building Type	Terrace
Building Height	Min. 2 storeys, max. 4 storeys.
Outbuilding Height	Min. 1 storey, max 3 storeys.
Minimum Plinth Height	Average 0.5m
Principal Setback Line	2.7m
Secondary Setback Line	Min. 1.0m
Side Setback Lines	Min. nil
Rear Setback Line	Min. 0.8m
Extent of Encroachment from the:	
Principal Setback Line	1.5m
Secondary Setback Line	1.0m
Site Cover	Max. 85%

Note: Site Cover to edge lots may be increased by an additional 5%.

PRIVATE REALM GENERAL PROVISIONS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this LDP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.



**LOCAL DEVELOPMENT PLAN No. 4.0
PRIVATE REALM REQUIREMENTS (MODIFICATION 1)**

JINDEE

Unless stated otherwise, the standards and controls contained in the DAP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been endorsed by Council under Clause 9.14.3(d) of District Planning Scheme No.2. Endorsement of the DAP constitutes endorsement of the individual lot plans for each lot.

[Signature]
Manager, Planning Implementation
City of Wanneroo

22 November 2019
Date

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

304

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- 28.70 Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	243m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

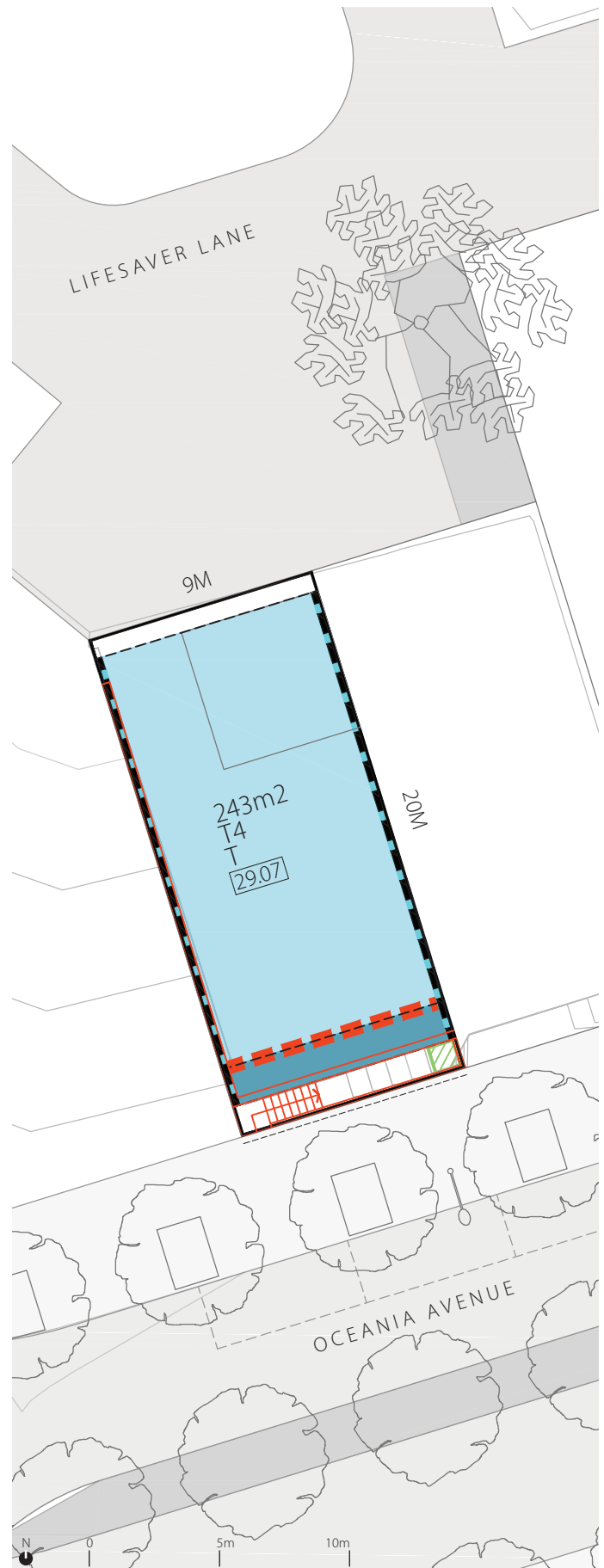
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

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5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

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7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

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12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

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Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

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22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

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24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

305

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	243m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

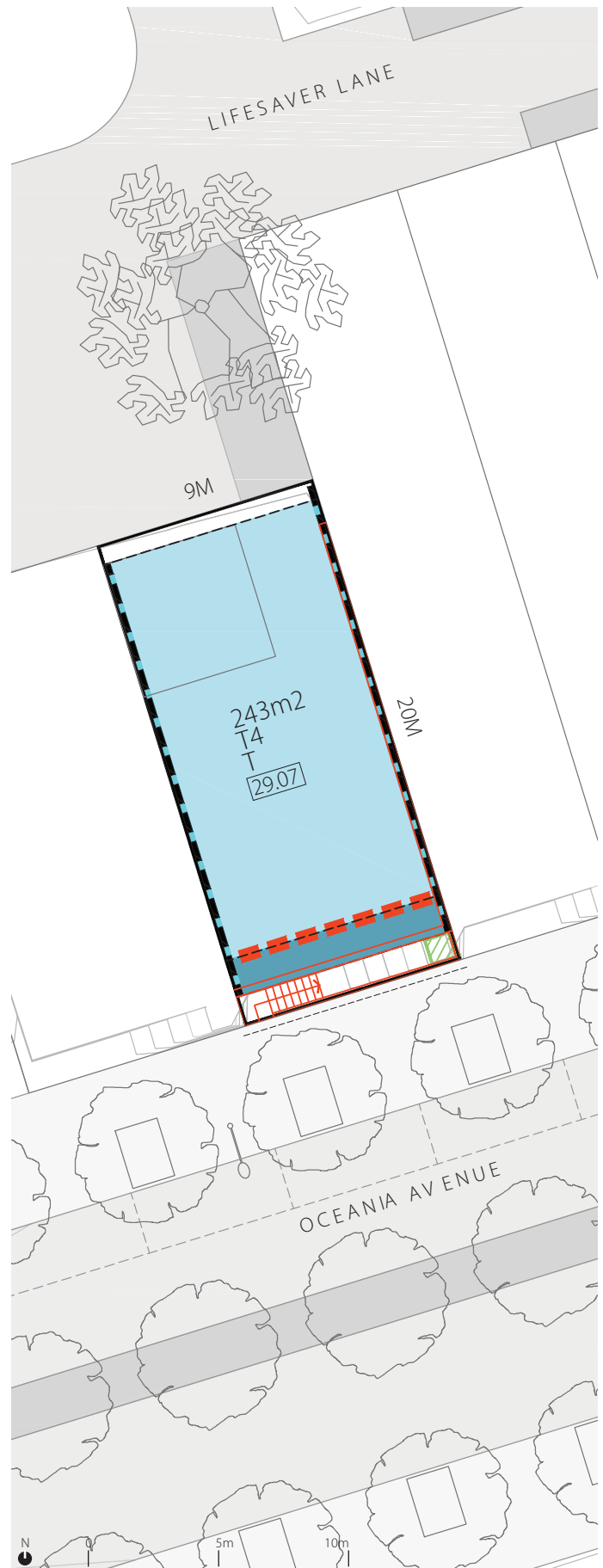
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

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3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

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15. Site and Floor Levels / Level Tolerances

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16. Required Carbays

T4 Terrace - 2 bays per dwelling.

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24. Terrace Groups

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25. Discretion

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LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

306

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
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- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

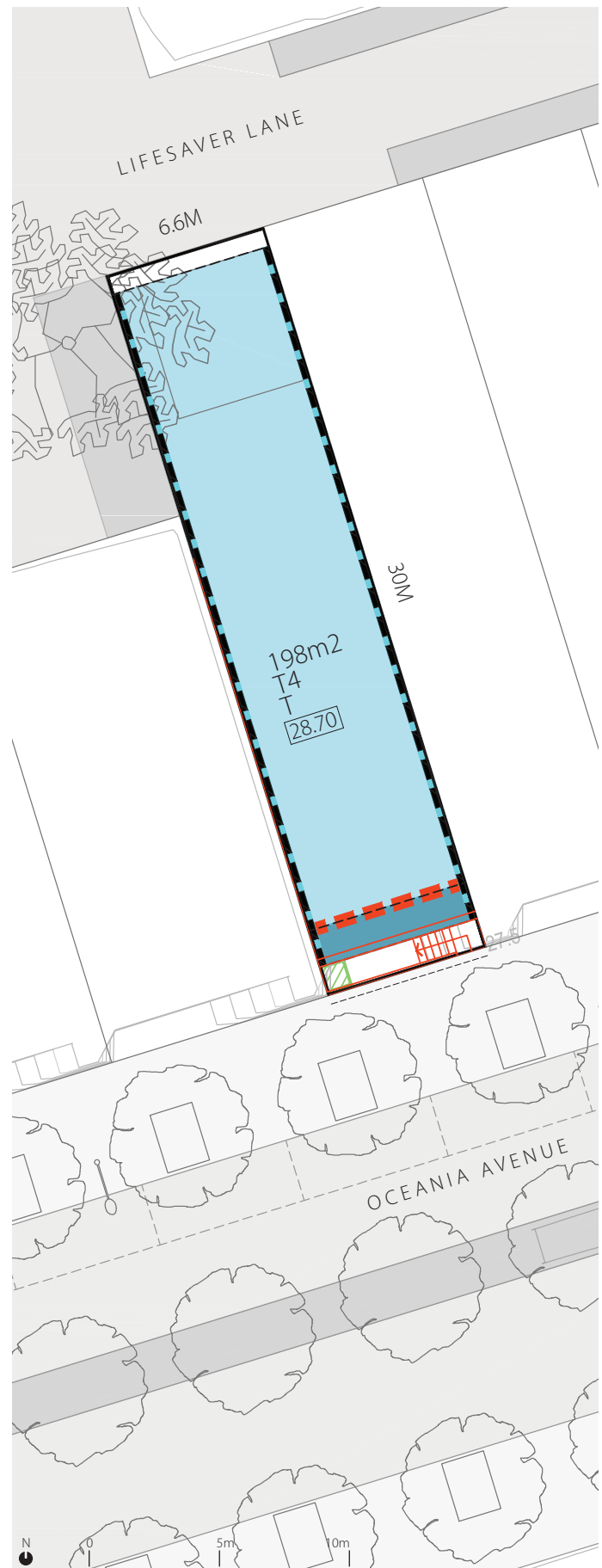
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



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6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

307

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- [28.70] Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

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Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

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12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

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19. Refuse storage enclosures and collection

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20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.















These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

308

Legend

- T Building Type - Terrace
-  Recommended Pedestrian Entry (refer Private Realm Note 10)
-  Entry Steps (refer Private Realm Note 10)
-  Indicative retaining wall locations
-  Extent of Building Area (subject to site cover requirements)
-  Permitted Encroachment (refer General Provisions - Notes 6)
-  Minimum Setback (refer General Provisions - Note 5)
-  Build-to-line (BTL) (refer General Provisions - Note 7)
-  Required Attached Wall (refer Private Realm Note 8)
-  Datum and Pad Level (refer General Provisions - Notes 13 + 14)
-  No Vehicular Access
-  Required Outbuilding (refer General Provisions - Note 17)
-  Recommended Outbuilding (refer General Provisions - Note 17)
-  Required Parapet Walls
-  Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

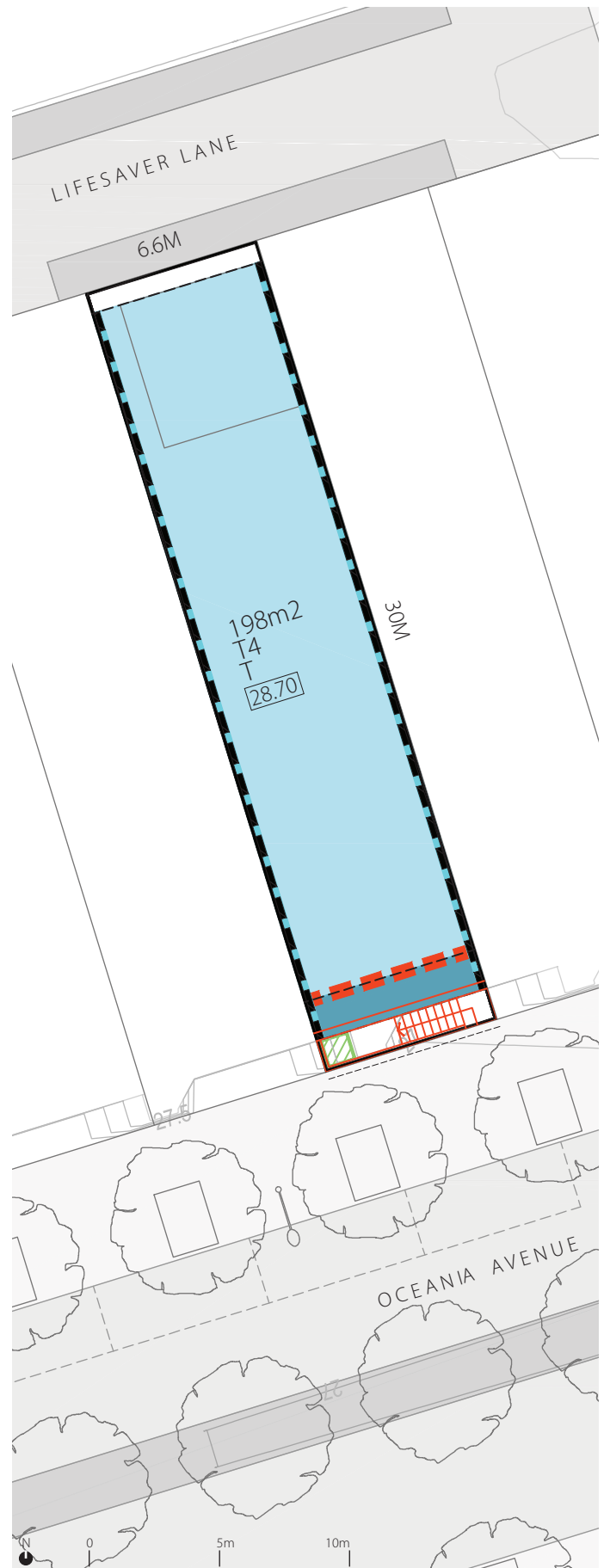
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

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7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

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12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

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23. Required Parapet Walls

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24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
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LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

309

Legend

- T Building Type - Terrace
- ▲ Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- 28.70 Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
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Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

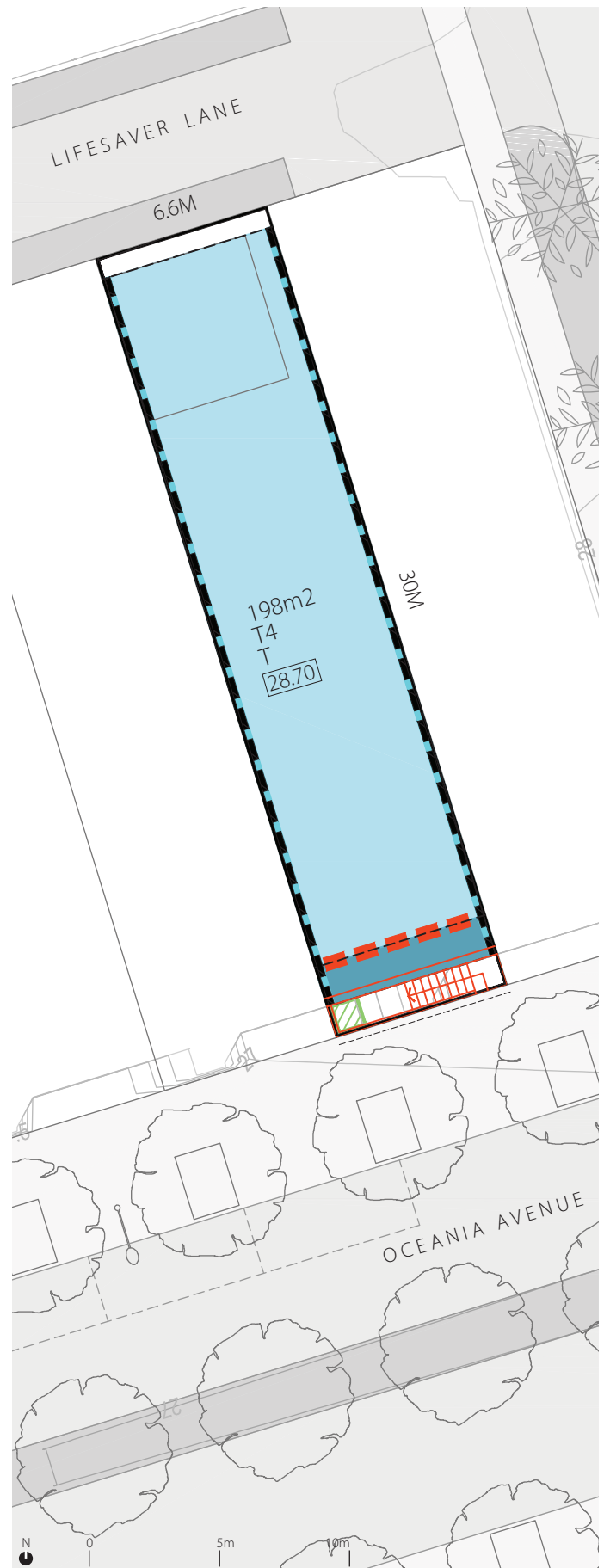
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Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
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Assumes single dwellings only on each lot (not including ancillary accommodation).

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





- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
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These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

7000

Legend

- T Building Type - Terrace
-  Recommended Pedestrian Entry (refer Private Realm Note 10)
-  Entry Steps (refer Private Realm Note 10)
-  Indicative retaining wall locations
-  Extent of Building Area (subject to site cover requirements)
-  Permitted Encroachment (refer General Provisions - Notes 6)
-  Minimum Setback (refer General Provisions - Note 5)
-  Build-to-line (BTL) (refer General Provisions - Note 7)
-  Required Attached Wall (refer Private Realm Note 8)
-  Datum and Pad Level (refer General Provisions - Notes 13 + 14)
-  No Vehicular Access
-  Required Outbuilding (refer General Provisions - Note 17)
-  Recommended Outbuilding (refer General Provisions - Note 17)
-  Required Parapet Walls
-  Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	228m ²
Lot Type:	Edge Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

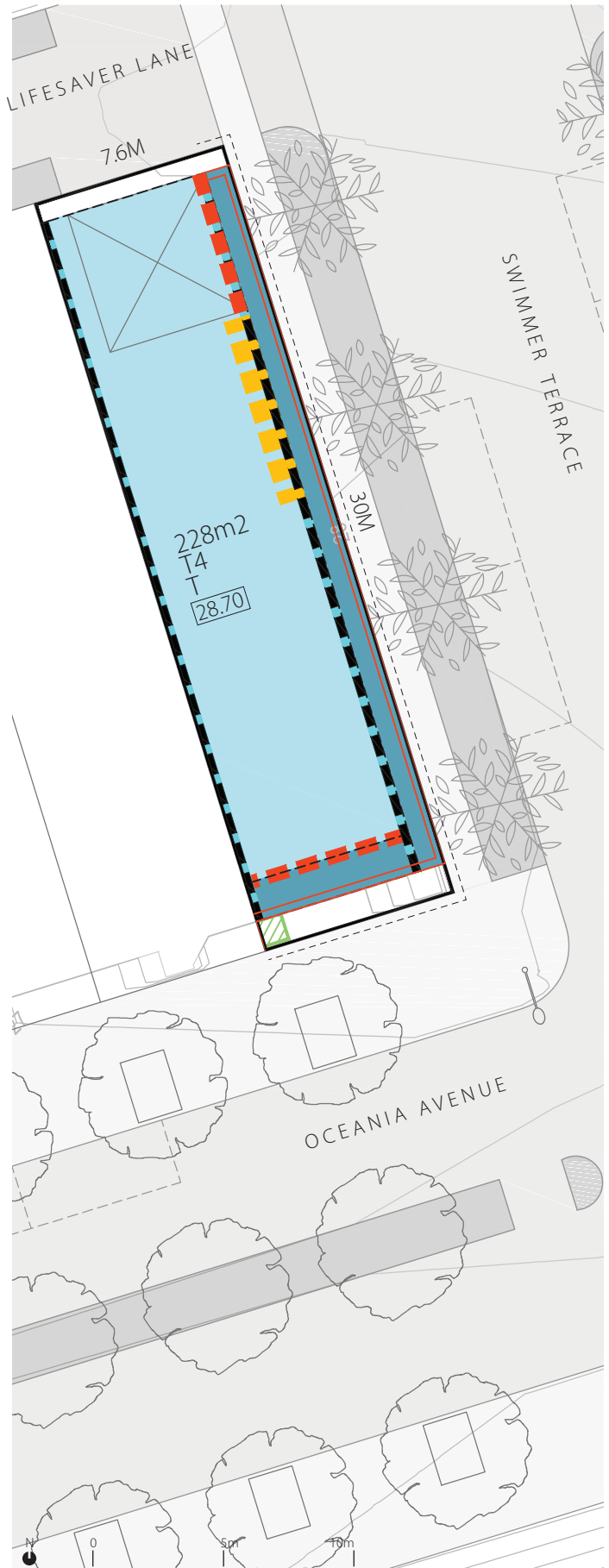
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front or Wrap Around
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation; 1.0m required to the Secondary Elevation (to align block face with Projecting Front of lot 310)
BTL Extent:	100% of the Principal Elevation is to extend along the BTL; A minimum of 10% of the Secondary Elevation is to extend along the BTL.
Secondary Setback Line:	is parallel to and located 1.0m from the Secondary Boundary within the Lot
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.
Secondary Setback Line:	1m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

7001

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- [28.70] Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	243m ²
Lot Type:	Edge Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

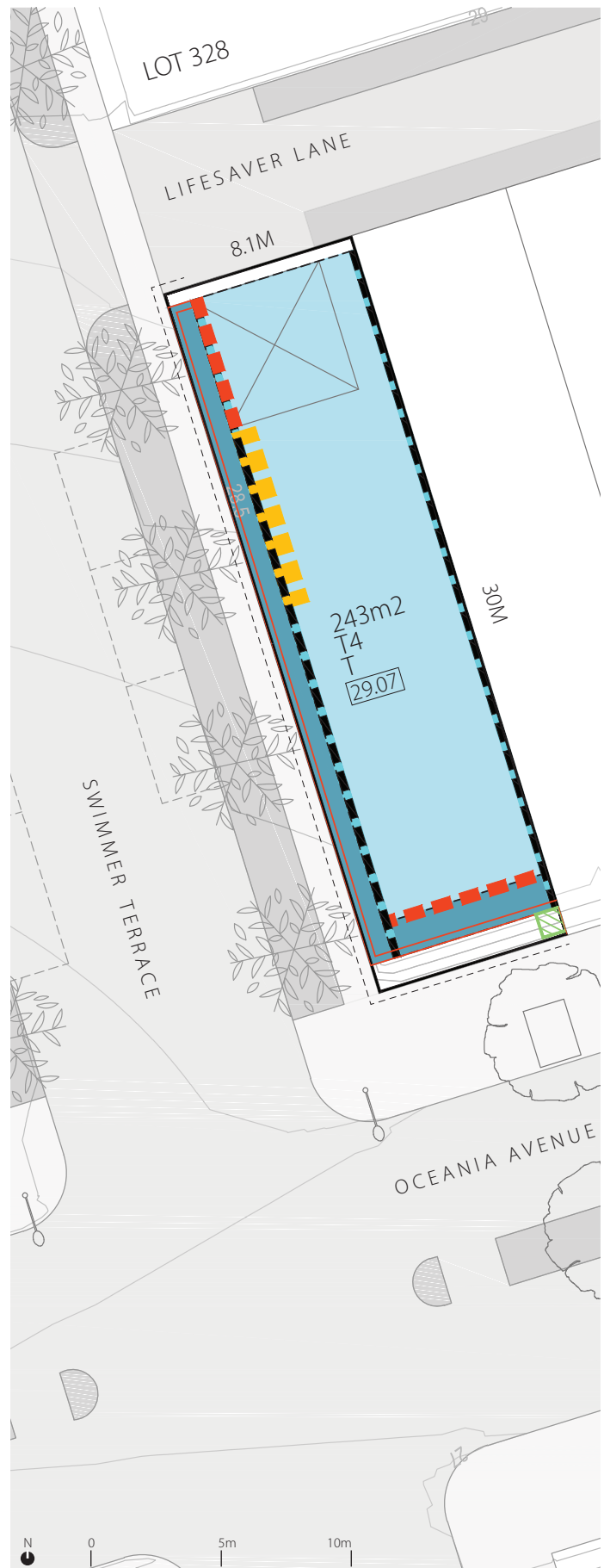
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front or Wrap Around
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation; 1.0m required to the Secondary Elevation (to align block face with Projecting Front of lot 328)
BTL Extent:	100% of the Principal Elevation is to extend along the BTL; A minimum of 10% of the Secondary Elevation is to extend along the BTL.
Secondary Setback Line:	is parallel to and located 1.0m from the Secondary Boundary within the Lot
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.
Secondary Setback Line:	1.0m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

329

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

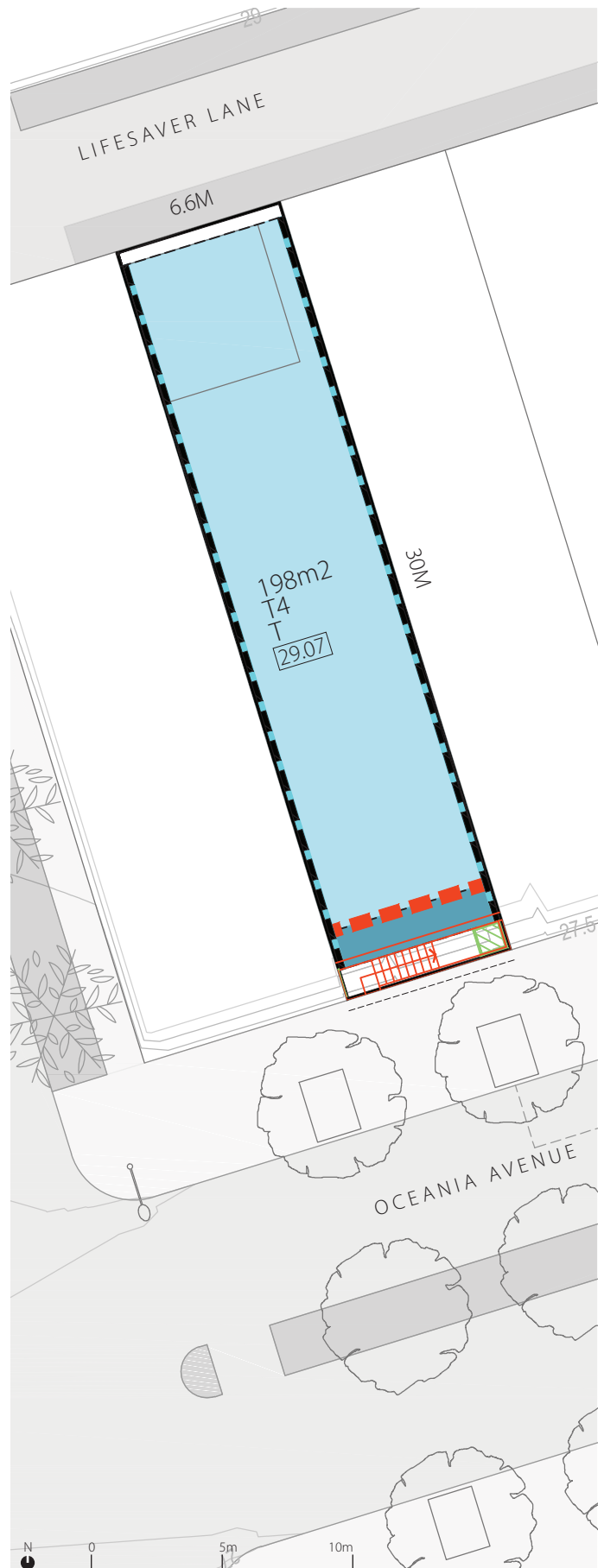
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

330

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

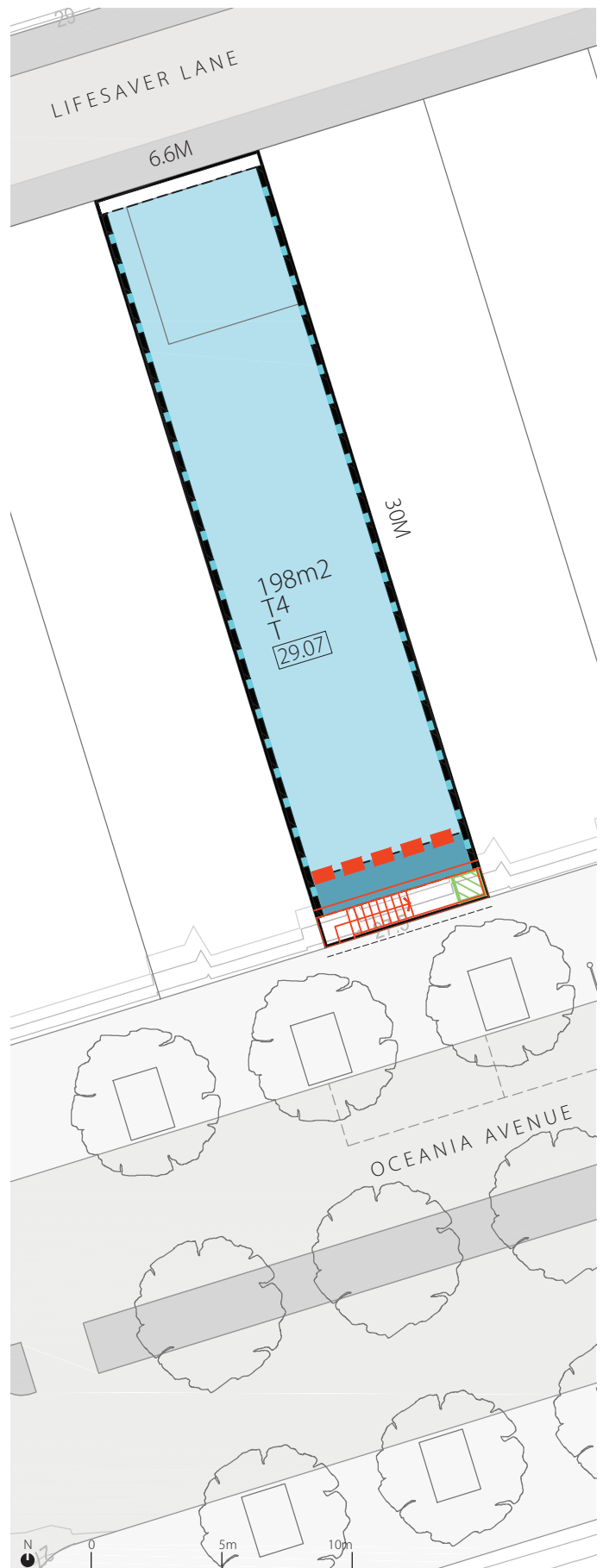
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

331

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

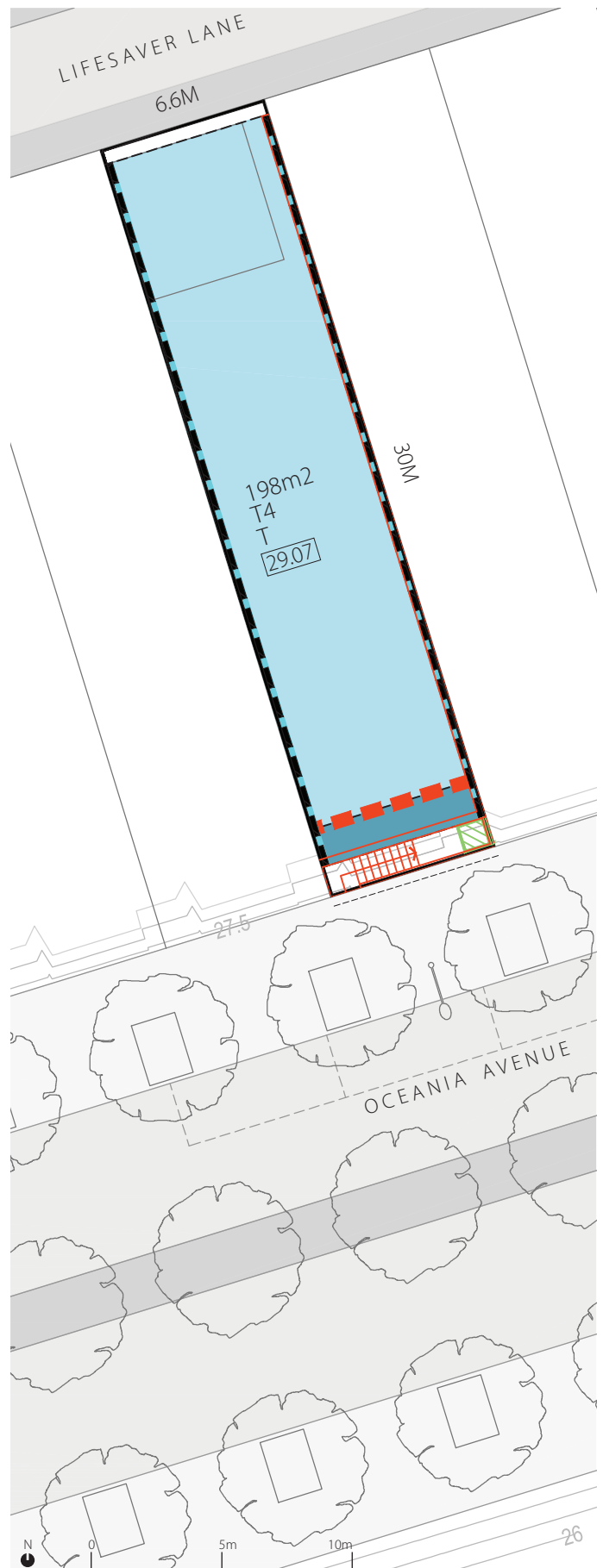
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

332

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

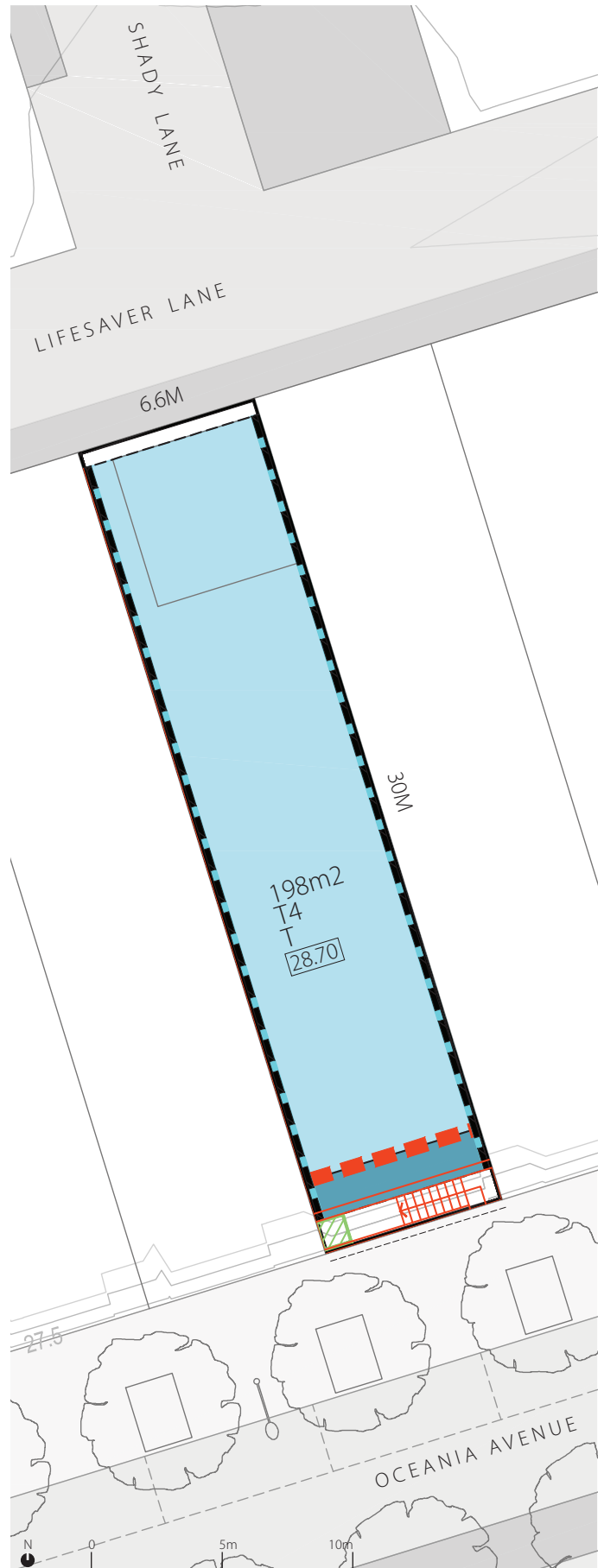
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

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12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

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19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

333

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

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3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

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12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

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19. Refuse storage enclosures and collection

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Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

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Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

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Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

334

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

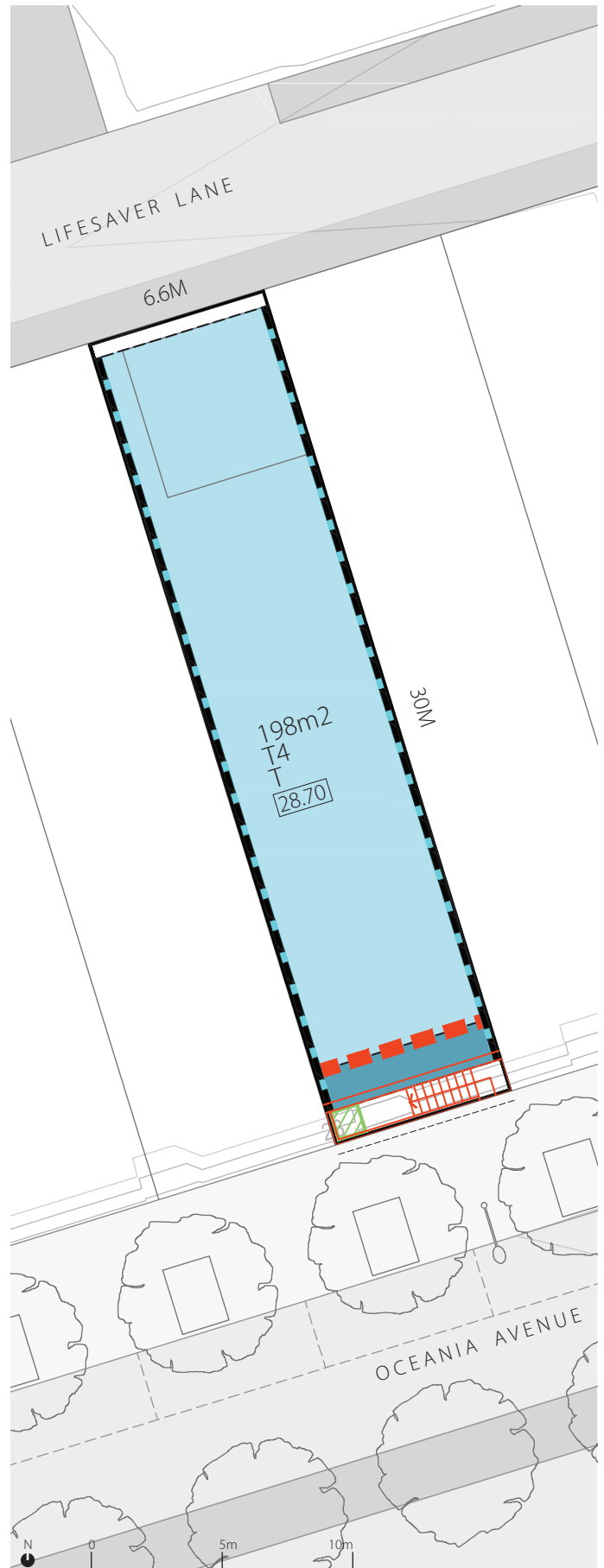
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:















- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

335

Legend

- T Building Type - Terrace
-  Recommended Pedestrian Entry (refer Private Realm Note 10)
-  Entry Steps (refer Private Realm Note 10)
-  Indicative retaining wall locations
-  Extent of Building Area (subject to site cover requirements)
-  Permitted Encroachment (refer General Provisions - Notes 6)
-  Minimum Setback (refer General Provisions - Note 5)
-  Build-to-line (BTL) (refer General Provisions - Note 7)
-  Required Attached Wall (refer Private Realm Note 8)
-  Datum and Pad Level (refer General Provisions - Notes 13 + 14)
-  No Vehicular Access
-  Required Outbuilding (refer General Provisions - Note 17)
-  Recommended Outbuilding (refer General Provisions - Note 17)
-  Required Parapet Walls
-  Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	1 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

336

Legend

- T Building Type - Terrace
- Recommended Pedestrian Entry (refer Private Realm Note 10)
- Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- Extent of Building Area (subject to site cover requirements)
- Permitted Encroachment (refer General Provisions - Notes 6)
- Minimum Setback (refer General Provisions - Note 5)
- Build-to-line (BTL) (refer General Provisions - Note 7)
- Required Attached Wall (refer Private Realm Note 8)
- Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- No Vehicular Access
- Required Outbuilding (refer General Provisions - Note 17)
- Recommended Outbuilding (refer General Provisions - Note 17)
- Required Parapet Walls
- Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	198m ²
Lot Type:	Interior Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

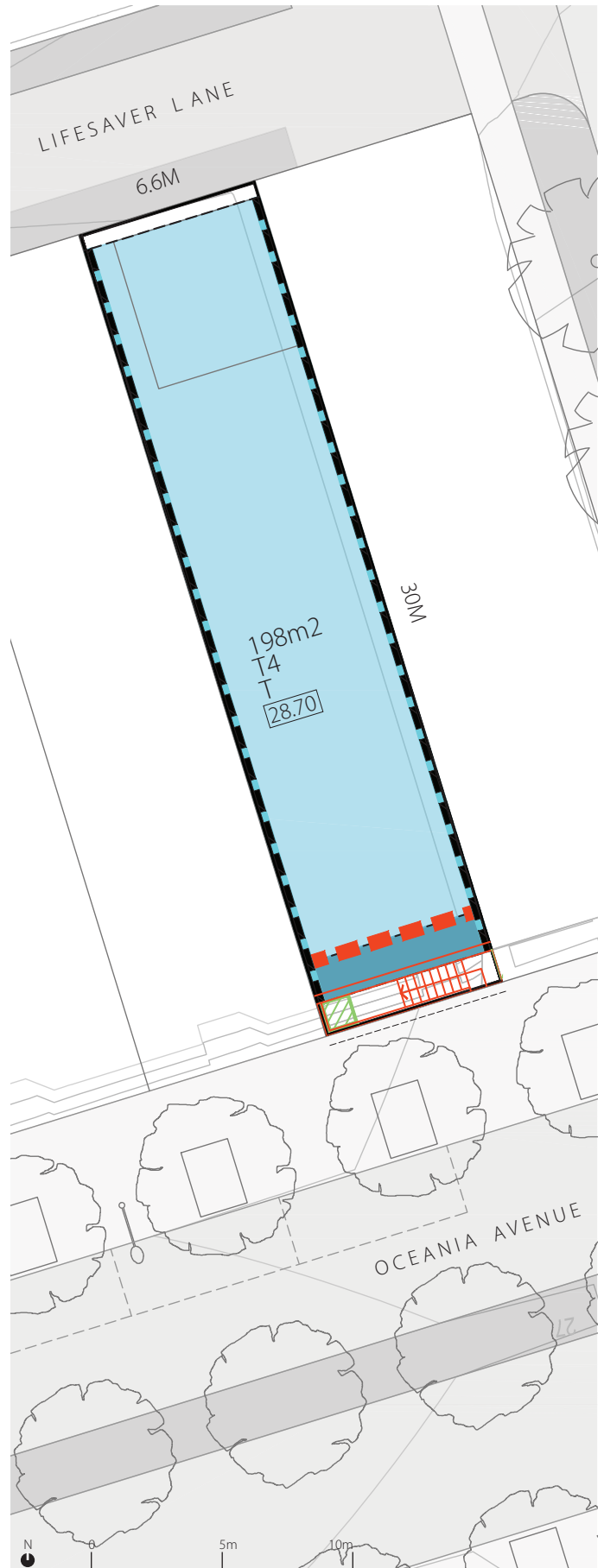
Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation
BTL Extent:	100% of the Principal Elevation is to extend along the BTL
Secondary Setback Line:	N/A
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) INDIVIDUAL LOT PLAN

337

Legend

- T Building Type - Terrace
- ▲ Recommended Pedestrian Entry (refer Private Realm Note 10)
- ▭ Entry Steps (refer Private Realm Note 10)
- Indicative retaining wall locations
- ▭ Extent of Building Area (subject to site cover requirements)
- ▭ Permitted Encroachment (refer General Provisions - Notes 6)
- - - Minimum Setback (refer General Provisions - Note 5)
- ▭ Build-to-line (BTL) (refer General Provisions - Note 7)
- ▭ Required Attached Wall (refer Private Realm Note 8)
- 28.70 Datum and Pad Level (refer General Provisions - Notes 13 + 14)
- ⊘ No Vehicular Access
- ▭ Required Outbuilding (refer General Provisions - Note 17)
- ▭ Recommended Outbuilding (refer General Provisions - Note 17)
- ▭ Required Parapet Walls
- ▭ Indicative Services Dome

Lot Information

Transect:	T4
Lot Area:	243m ²
Lot Type:	Edge Lot
Building Type Permitted:	Terrace
Ancillary Unit:	Permitted
Maximum Site Cover:	85%

Permitted Dispositions

Building:	Rearyard or Courtyard
Frontage Type:	Verandah, Stoop and Bay Window
Principal Elevation Type:	Straight Front or Wrap Around
Garage:	Rear Direct or Rear Side Stack

Setbacks and Build-To Lines (BTL)

Principal Setback Line:	is parallel to and located 2.7m from the Principal Boundary within the Lot
Build-To-Line (BTL):	2.7m required to Principal Elevation; 1.0m required to the Secondary Elevation (to align block face with Projecting Front of lot 338)
BTL Extent:	100% of the Principal Elevation is to extend along the BTL. A minimum of 10% of the garage shall extend along the BTL on the Secondary Setback Line.
Secondary Setback Line:	is parallel to and located 1.0m from the Secondary Boundary within the Lot
Side Setbacks (East & West):	Nil required to the Principal Building; Nil minimum elsewhere.
Rear Setback:	0.8m minimum.
Encroachment Setback from the:	
Principal Setback Line:	1.5m maximum.
Secondary Setback Line:	1.0m maximum.

Heights

Principal Building & Backbuilding:	2 storey minimum, 4 storey maximum.
Outbuilding:	1 storey minimum, 3 storey maximum.



LOCAL DEVELOPMENT PLAN No. 4.0 (MOD 1) GENERAL PROVISIONS FOR ALL LOTS

1. Planning Approval

Planning Approval is not required for a 'Residential (Single Dwelling)' including Terrace, House, Villa or Cottage, that is a permitted 'P' use within the relevant Transect zone, including any subsequent alterations or additions including patios, pergolas, decks, sheds and swimming pools, if the proposed development is consistent with the provisions and requirements of this DAP.

2. Additional Requirements

In addition to compliance with the DAP provisions, specific design elements of new dwellings, subsequent additions/alterations, and incidental residential development such as front/boundary fences and crossover design and construction, may be the subject of Covenant Controls requiring compliance with developer enforced requirements, including but not limited to, the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

3. Density

Assumes single dwellings only on each lot (not including ancillary accommodation).

4. Lot Coverage

Lot Coverage is the footprint of the building at ground level including verandahs, covered alfresco areas and any roofed space but excludes open paved areas. Increases to site coverage requirements may be considered based on design merit and the ability to provide adequate private open space and landscaping. Requests for variations to lot coverage requirements must be supported and endorsed by the Jindee Town Architect's Office. Lot Coverage to edge lots may be increased by an additional 5%.

5. Setbacks

Required setbacks for each dwelling type is detailed in the 'Private Realm - Building Heights and Setbacks' table, and further refined in the DAP for each lot. Buildings shall be contained within the lot.

6. Encroachments

All dwellings, shall incorporate a verandah, or other private frontage encroachment as endorsed by the Jindee Town Architects' Office, to the width of the principal elevation or as prescribed to secondary elevations. The verandah design is to accord to the Jindee Architectural Standards. Towers, Bay Windows, eaves and steps may be encroachments.

7. Build-to-Line

The DAP prescribes the percentage of the Principal Elevation that is required to extend along the Build-to-line (if applicable). This dimension is a minimum percentage of the lot width.

8. Attached Walls

Attached walls, where designated, shall extend between the Principal Elevation and the Outbuilding along the Secondary Lot Line. The Attached Wall is to be of the same material and finished to match the Principal Building and Outbuilding walls.

9. Private Open Space

Buildings should be located on a lot with the aim of achieving a usable and consolidated Private Open Space area, with a minimum dimension of 3m.

10. Entry Steps

Steps are provided to access the verandah. Edge lots are identified with recommended entry step locations accessed from the secondary elevation. Entry along the secondary elevation is encouraged. Where there are no steps, this area is to be landscaped.

11. Privacy Requirements

Privacy is the responsibility of each landowner and shall be resolved through building and landscape design. This may include the appropriate placement of openings, the incorporation of screens and window dressings, and / or through the provision of landscaping. Access to light and ventilation will take precedence over the requirement to protect the privacy of the neighbouring lots. The Architectural Standards will further define privacy requirements.

12. Retaining

The cladding and finish of retaining walls within lots which form the plinth for a dwelling shall be consistent with the materials of the Principal Building or verandah.

13. Height

Building height is to be measured from Datum point as shown on plan, notwithstanding that height of the plinth shall be excluded from the overall calculation of height.

14. Plinths

All buildings shall incorporate a plinth. Levels nominated for T4 lots recognise the inclusion of a plinth.

15. Site and Floor Levels / Level Tolerances

Pad levels for each lot are indicated on the adjacent plan. Level tolerances will be permitted, as endorsed by the Jindee Town Architects' Office.

16. Required Carbays

T4 Terrace - 2 bays per dwelling.

17. Outbuildings and Crossovers

Where a 'Required Outbuilding' is defined, the crossover shall be located according to the permitted garage disposition. 'Recommended Crossovers' have been nominated where topographical constraints or urban design requirements exist. Crossovers shall be constructed by the landowner and final materials shall be consistent with the Jindee Architectural Standards. In addition to the material requirements of the Architectural Standards, the crossover design shall demonstrate compliance with the City of Wanneroo's specifications. Alternative geometries may be considered where adequate vehicle movement can be achieved.

18. Vehicular access to lots

Vehicular access to lots shall only be via the rear laneway, unless otherwise indicated.

19. Refuse storage enclosures and collection

A dedicated area for permanent bin storage shall be provided within the lot, screened from view from public spaces. An area able to accommodate two bins shall be provided within the laneway, clear of garage doors, to enable bin collection by refuse vehicle.

20. Fencing

Fencing requirements are addressed in the Jindee Architectural Standards, administered by the Jindee Town Architects' Office.

21. Building Proportions

Buildings are required to accord with the Jindee Architectural Standards in regard to building proportions.

22. Secondary Elevations

Wherever possible, the built form should continue along, and address the secondary elevation to ensure dwellings address all elevations fronting civic spaces (POS, Thoroughfares, Passages and Paths).

23. Required Parapet Walls

Terrace building types shall contain a verandah to the full width of the Principal Elevation which terminates at the parapet wall. The parapet wall is to extend along the Side Lot Line and is setback to align with the verandah setback. The Parapet Wall is to extend the full height of and follow the profile of the Verandah and Principal Roof. The exception is for an Edge Lot where a Wrap Around elevation type is permitted in which case the parapet wall does not extend to the verandah setback.

24. Terrace Groups

Terrace groupings are to maintain consistent setbacks to the BTL and Encroachment placement.

25. Discretion

For Lots 335, 336 and 337, the Jindee Town Architect Office (JTAO) may approve variations to the following General Provisions and Individual Lot Plan standards:

- the location of the Principal and Secondary Setback Line;
- extent of encroachment into the Principal Setback Line and Secondary Setback Line;
- the location and extent of the Build-To-Line and the requirement for Attached Walls.

These provisions may only be varied where they demonstrate compliance with Agreed LSP No. 84 Part 1B Jindee Design Codes and are endorsed by the JTAO, and do not require development approval.

