

# PROVISIONS

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

### Setbacks

**Front**  
Min 2.0m (incl veranda)  
Max 4.0m (incl veranda)

**Secondary Street**  
Min 1.5m setback secondary street (corner lot)

**South-east Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-west Side Setback**  
Min 1.5m ground floor setback north of 'garage line'  
Min 1.5m upper floor setback

**Rear Setback**  
Min 2.0m ground floor 'solar' setback  
Min 6.0m upper storey setback

**Garage Front Setback**  
Min 4.5m setback from the street and at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3.0m wide and 1.5m deep)

**From Secondary Street**  
Min 2.0m setback from side street (corner lot)

**Location**  
Garages must be located in the position shown.

**Garage Door**  
Max 60% of block frontage  
No side by side three car garages allowed

**Open Space Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**  
Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof Pitch**  
Gable and Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

**Roof Height**  
9.5m max total height from natural ground level (NGL)

**Building Height Maximum Wall Height**  
Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

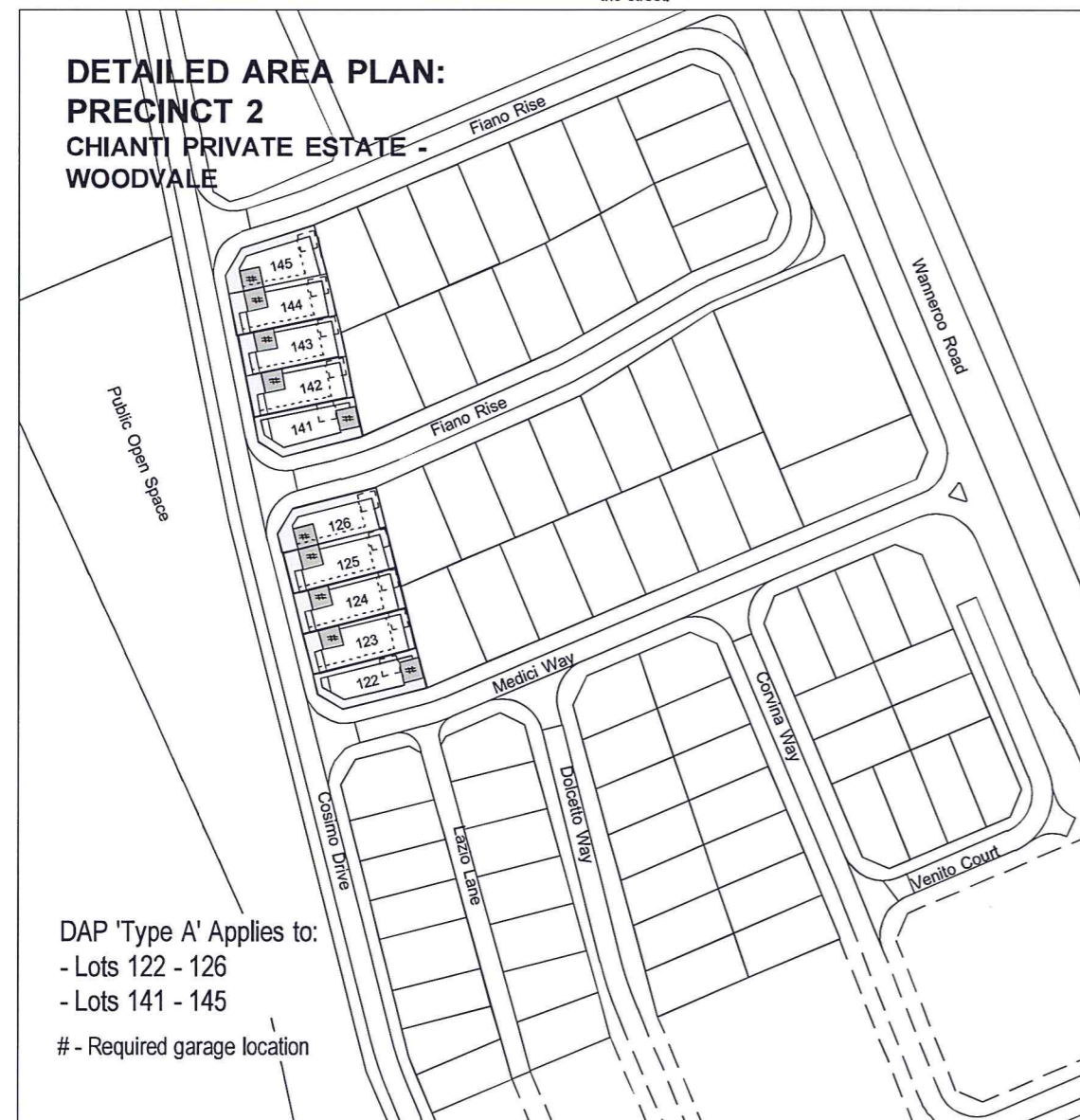
**Porches / Verandas**  
Porches / verandas must be at least 1.5m deep

**Fencing**  
Front fencing is limited to 1.2m high

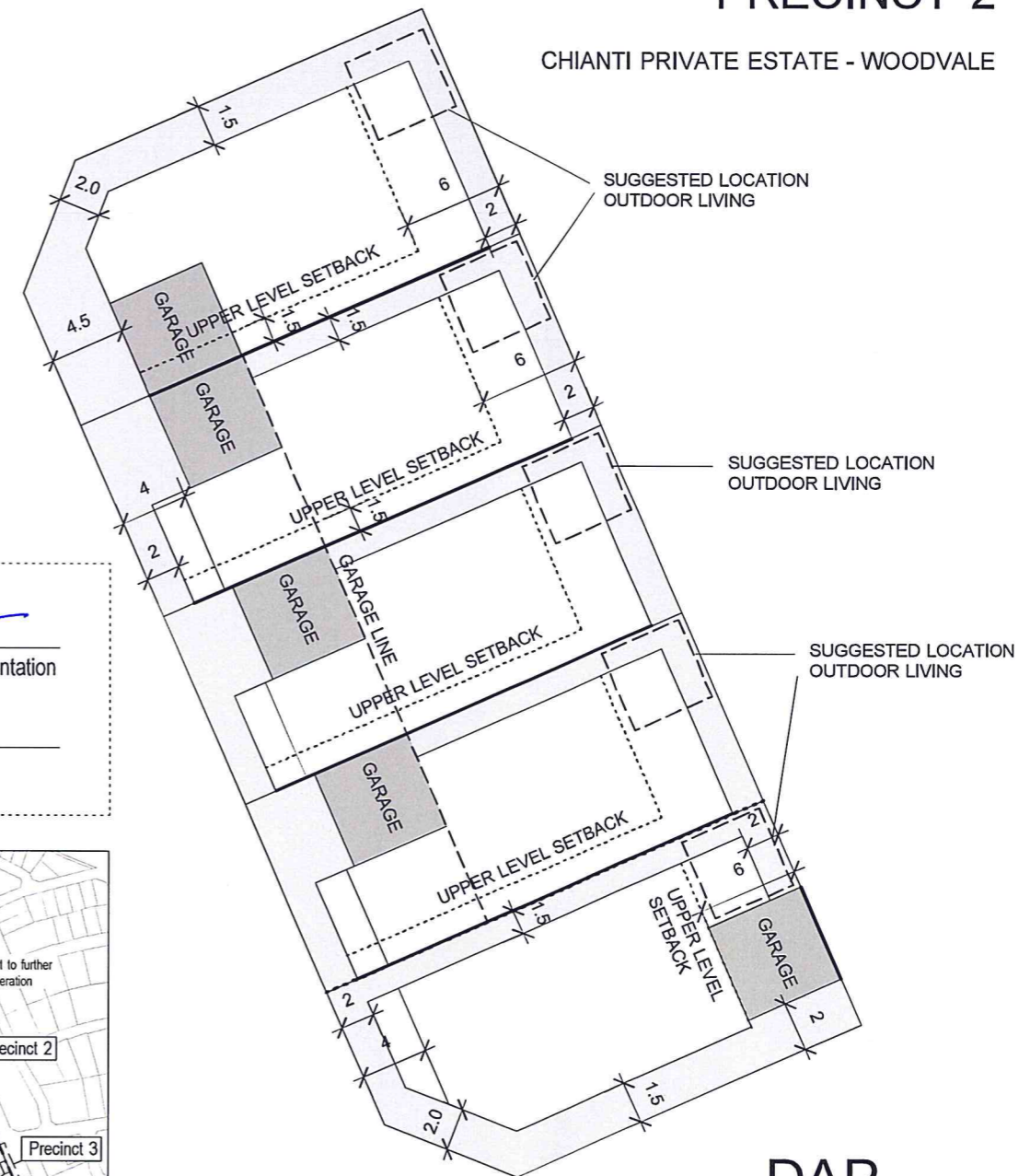
# DETAILED AREA PLAN TYPE A


## PRECINCT 2

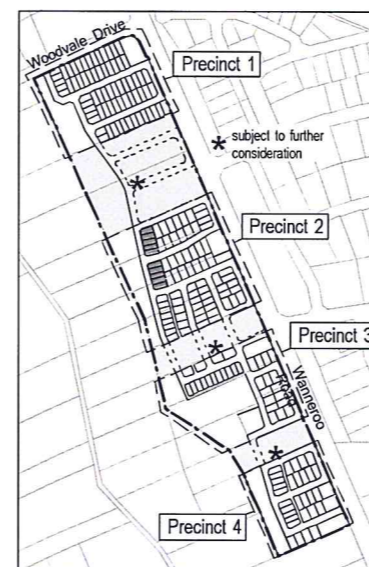
CHIANTI PRIVATE ESTATE - WOODVALE



DAP 'Type A' Applies to:  
- Lots 122 - 126  
- Lots 141 - 145  
# - Required garage location



  
Manager, Planning Implementation  
22/5/15  
Date



LOCATION PLAN  
CHIANTI PRIVATE ESTATE -  
WOODVALE



## DAP 'TYPE A'

Edgefield Projects  
38 Mundaring Weir Rd  
Mundaring WA 6073

18 May 2015

# PROVISIONS

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

## Setbacks

**Front**  
Min 2.0m (incl veranda)  
Max 5.0m (incl veranda)

**Secondary Street**  
Min 1.5m setback secondary street (corner lot)

**South-east Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-west Side Setback**  
Min 1.5m ground floor setback  
Min 1.5m upper floor setback

**Laneway Setback**  
Min setback 0.5m (incl eaves)  
Note: a minimum of 0.5m setback (with no eave overhang) to enable a bin collection bay to be provided partly within the lot (ie 0.5m on the lot and 0.5m within the rear laneway)

**Garage**  
**Location**  
Garage must be accessed from the laneway.

**Open Space**  
**Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**  
Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**  
**Pitch**  
Gable and Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

**Roof Height**  
9.5m max total height from natural ground level (NGL)

**Building Height**  
**Maximum Wall Height**  
Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

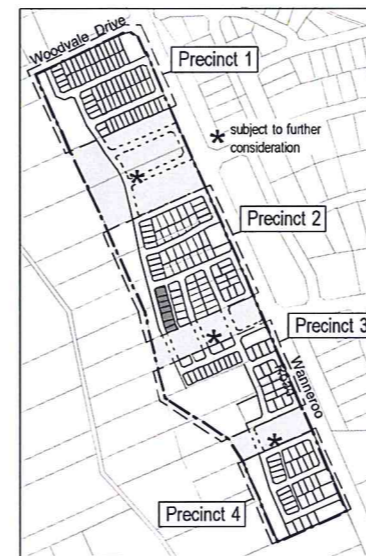
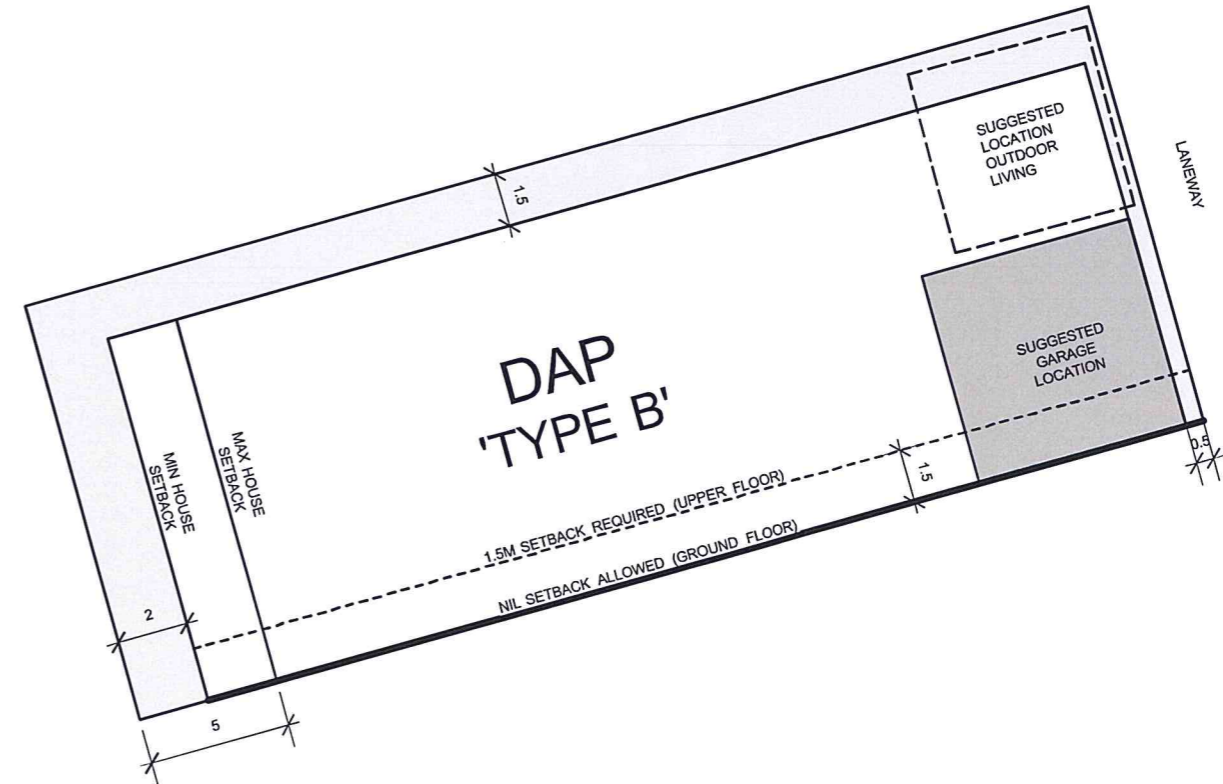
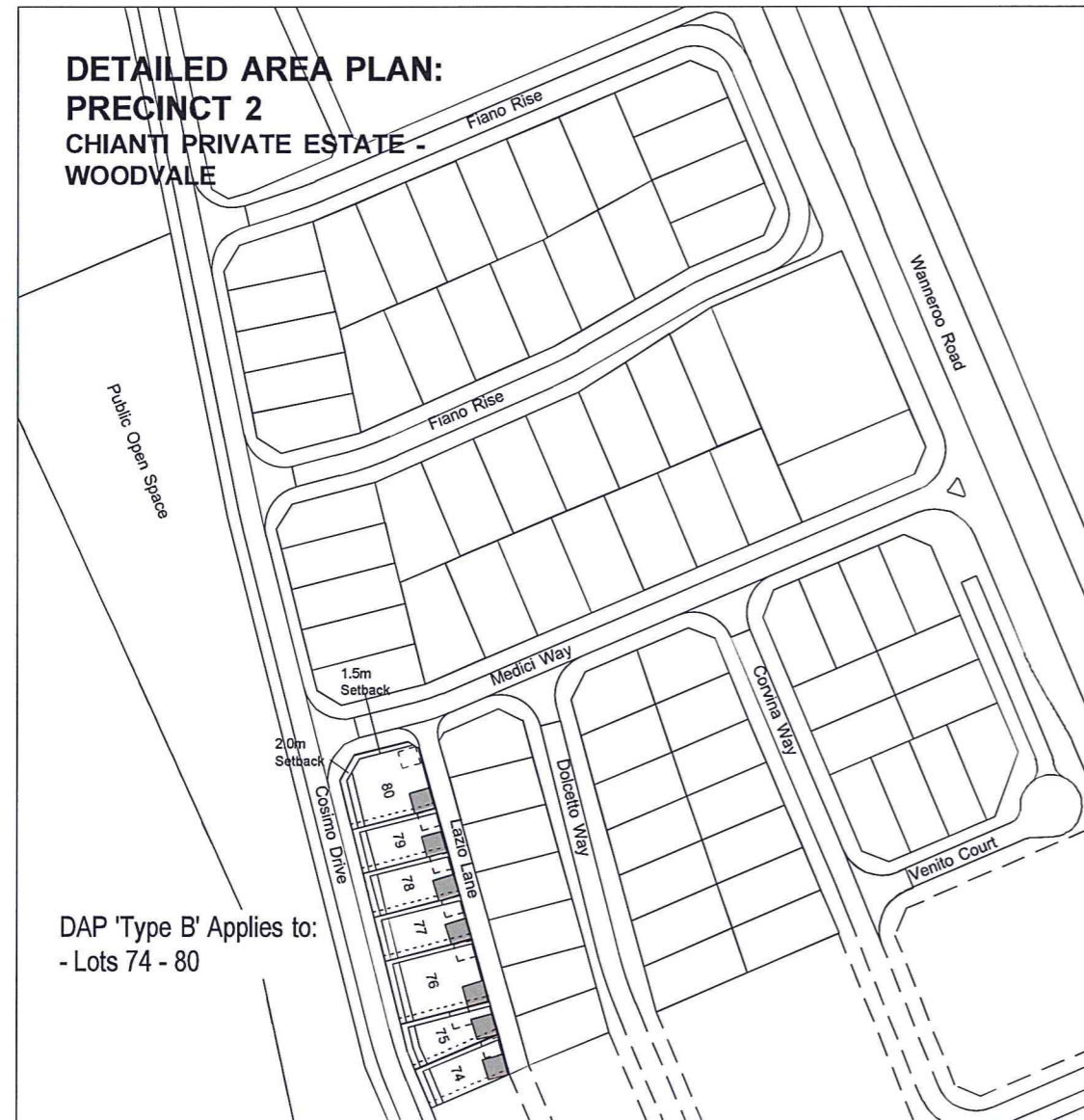
**Porches / Verandas**  
Porches / verandas must be at least 1.5m deep

**Fencing**  
Front fencing is limited to 1.2m high

# DETAILED AREA PLAN TYPE B

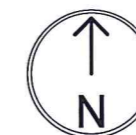
## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



**LOCATION PLAN**  
CHIANTI PRIVATE ESTATE -  
WOODVALE

*[Signature]*  
Manager, Planning Implementation  
22/5/15  
Date



**Edgefield Projects**  
38 Mundaring Weir Rd  
Mundaring WA 6073

18 May 2015

# DETAILED AREA PLAN TYPE C

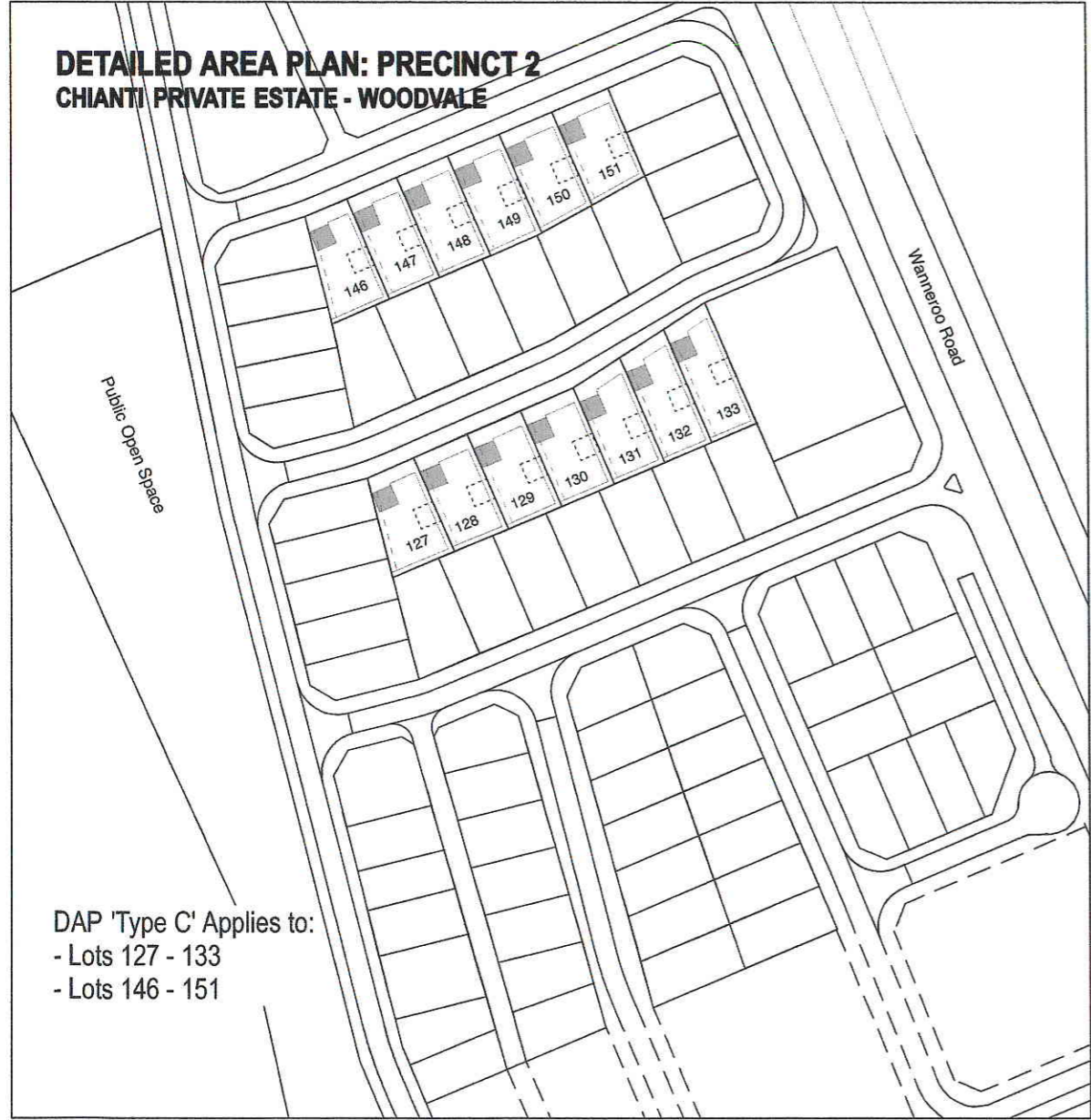
## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE

**PROVISIONS** The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

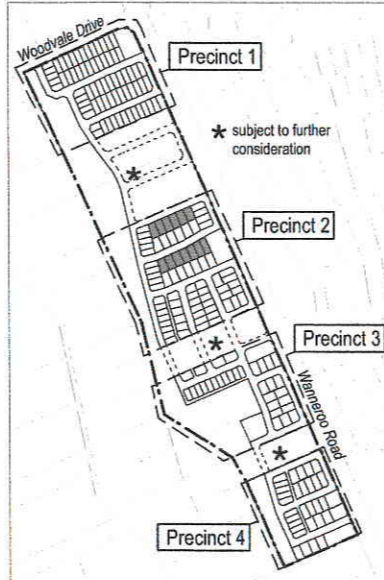
This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

- |                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
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| <p><b>Setbacks</b></p> <p><u>Front</u><br/>Min 4.0m (incl veranda)</p> <p><u>South-west Side Setback</u><br/>Nil ground floor setback allowed along boundary<br/>Upper storey setback min 1.5m</p> <p><u>North-east Side Setback</u><br/>Min 1.5m ground floor setback<br/>Min 1.5m upper floor setback</p> <p><u>Rear Setback</u><br/>Min setback 1.5m</p> | <p><b>Garage</b></p> <p><u>Front Setback</u><br/>Min 4.5m setback from the street + at least 0.5m behind primary building facade.<br/>(Note: The primary building facade may include porches or verandas providing they are of a significant and functional scale and at least 3.0m wide and 1.5m deep)</p> <p><u>Secondary Street Garage Setback</u><br/>Min. 2.0m setback</p> <p><u>Garage Door</u><br/>Max 50% of block frontage (single storey)<br/>Max 60% of block frontage (single storey where garage is set back at least 1m from primary facade)<br/>Max 60% of block frontage (double storey)<br/>No side by side three car garages allowed</p> | <p><b>Location</b></p> <p>Garages should generally be positioned in the suggested location.<br/>Alternate garage locations may be considered along the north-east boundary subject to a maximum boundary wall length of 9.0m. All other walls along the north-east boundary shall be set back 1.5m.</p> <p><b>Open Space</b></p> <p><u>Site Coverage</u><br/>Min open space 40% of site. May include areas bounded on three sides by a building.</p> <p><u>Outdoor Living Areas</u><br/>Should have northerly aspect<br/>Min dimension 4m x 6m<br/>Outdoor living areas may have permanent roof cover over up to 75% of the required area.</p> | <p><b>Roof</b></p> <p><u>Roof Height</u><br/>9.5m max total height from natural ground level (NGL)</p> <p><u>Pitch</u><br/>Gable + Hip Roofs - Min 24 degrees<br/>Skillion Roofs - Min 10 degrees<br/>Min pitch standards apply to roofs visible from the street.</p> <p><b>Building Height</b></p> <p><u>Maximum Wall Height</u><br/>Top of external wall (roof above) - 6.5m<br/>Top of external wall (concealed roof) - 7.5m<br/>Top of high side of skillion - 8.5m</p> <p><b>Porches / Verandas</b><br/>Porches / verandas must be at least 1.5m deep</p> |
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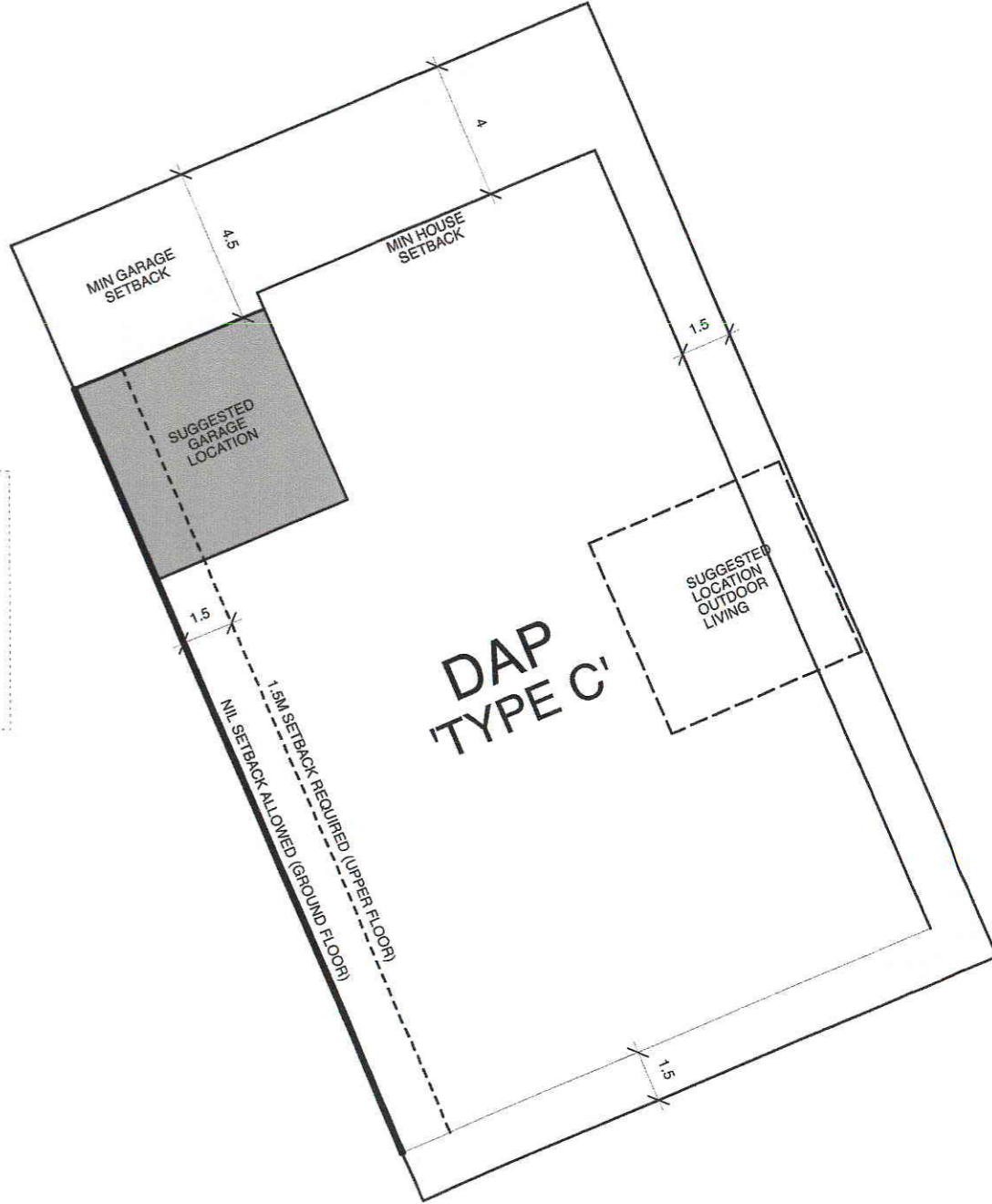


DAP 'Type C' Applies to:  
- Lots 127 - 133  
- Lots 146 - 151

*[Signature]*  
Manager, Planning Implementation  
*Director, Planning + Sustainability*  
15.3.12  
Date



**LOCATION PLAN**  
CHIANTI PRIVATE ESTATE - WOODVALE



**Thierfelder Consulting**  
PO Box 612  
Mount Hawthorn WA 6915

18 November 2011

# DETAILED AREA PLAN TYPE D

## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE

**PROVISIONS** The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

**Setbacks**

- Front**  
Min 4.0m (incl veranda)
- South-west Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m
- North-east Side Setback**  
Min 1.5m ground floor setback  
Min 1.5m upper floor setback
- Rear Setback**  
Min setback 2.0m

**Garage**

- Front Setback**  
Min 4.5m setback from the street + at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)
- Location**  
Garages should generally be positioned in the suggested location.  
Alternate garage locations may be considered along the south-west boundary subject to site constraints. When located on north-east boundary, boundary wall length is limited to 9m. All other walls along the north-east boundary shall be set back 1.5m.
- Secondary Street Garage Setback**  
Min. 2.0m setback

**Garage Door**

- Max 50% of block frontage (single storey)
- Max 60% of block frontage (single storey where garage is set back at least 1m from primary facade)
- Max 60% of block frontage (double storey)
- No side by side three car garages allowed

**Open Space**

- Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.
- Outdoor Living Areas**  
Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**

- Pitch**  
Gable + Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

**Roof Height**

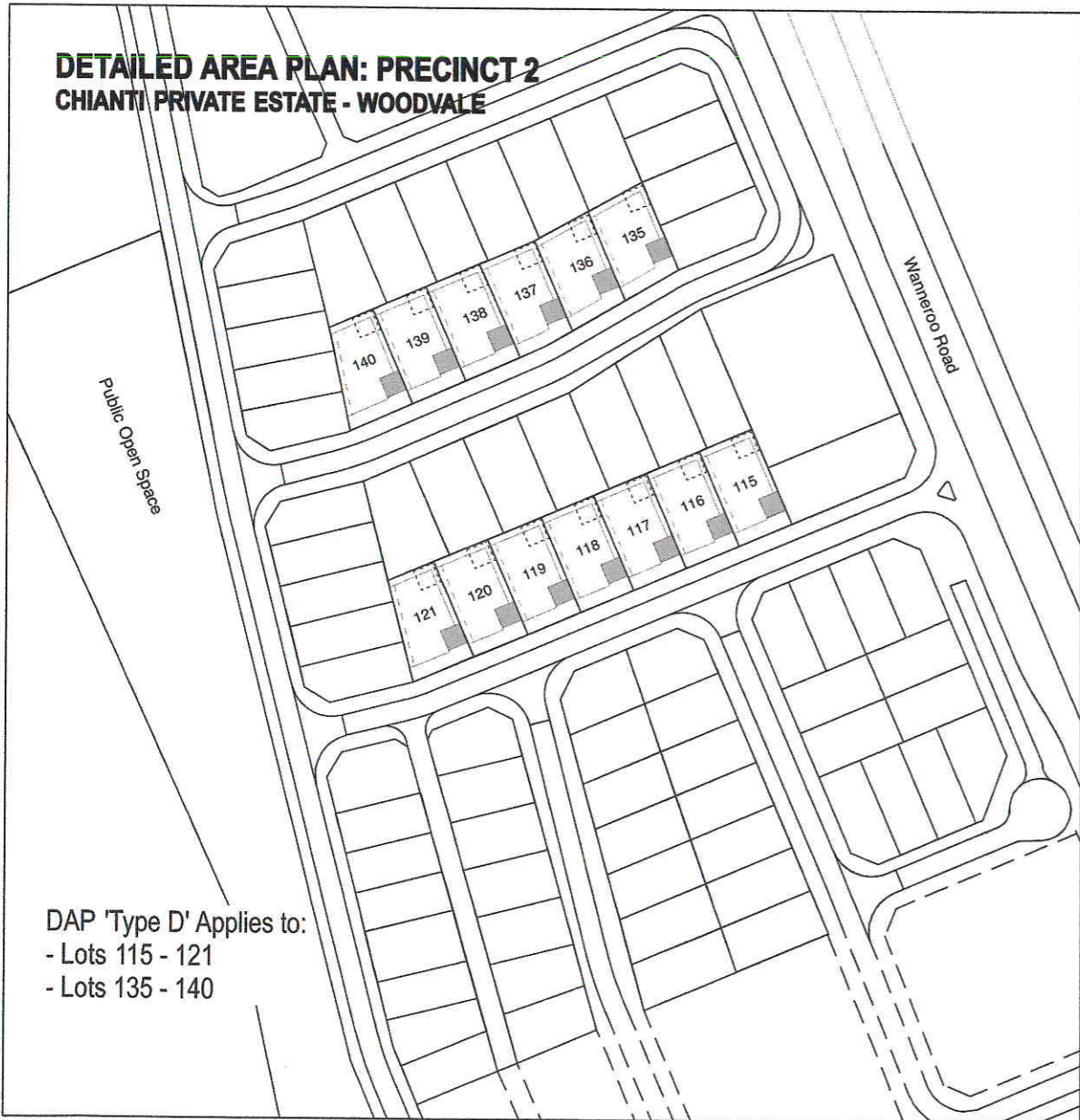
- 9.5m max total height from natural ground level (NGL)

**Building Height**

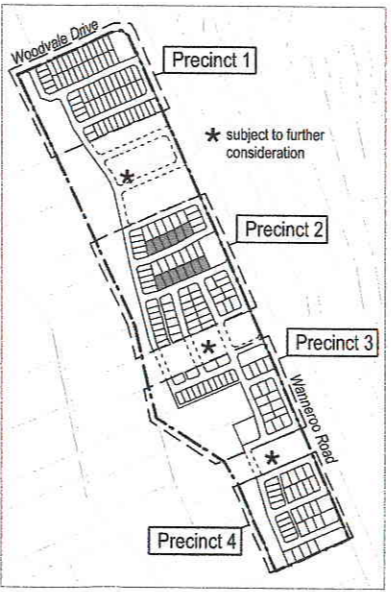
- Maximum Wall Height**  
Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

**Porches / Verandas**

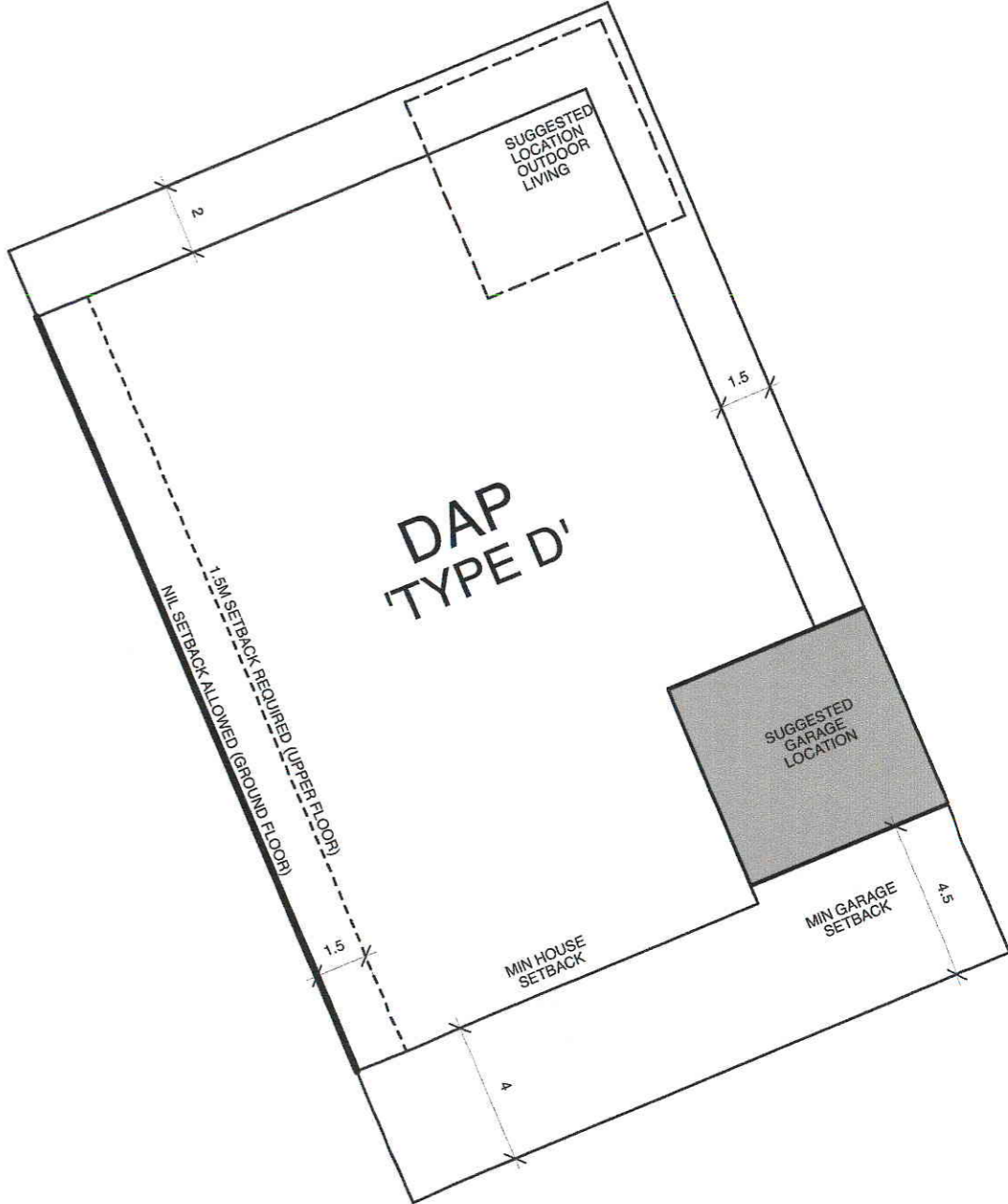
- Porches / verandas must be at least 1.5m deep



*[Signature]*  
 Manager, Planning Implementation  
 Director, Planning + Sustainability  
 15.3.12  
 Date



**LOCATION PLAN**  
CHIANTI PRIVATE ESTATE - WOODVALE



**Thierfelder Consulting**  
 PO Box 612  
 Mount Hawthorn WA 6915

18 November 2011

**PROVISIONS**

The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

**Setbacks**

**Front**  
Min 2.0m (incl veranda)  
Max 4.0m (incl veranda)

**Secondary Street**  
Min 1.5m setback secondary street (corner lot)

**South-east Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-west Side Setback**  
Min 1.5m ground floor setback

**Rear (Laneway) Setback**  
Min setback 1.5m

**Garage**

**Front Setback**  
Min 4.5m setback from the street and at least 0.5m behind the primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

**Location**  
Garages should generally be positioned in the suggested location. Alternate garage locations may be considered along the north-west boundary subject to a maximum boundary wall length of 9m. All other walls along the north-west boundary shall be set back 1.5m.

**Garage Door**

Max 50% of block frontage (single storey)  
Max 60% of block frontage (single storey where garage is set back at least 1m from primary facade)  
Max 60% of block frontage (double storey)  
No side by side three car garages allowed.

**Open Space**

**Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**

Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**

**Pitch**  
Gable + Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

**Roof Height**

9.5m max total height from natural ground level (NGL)

**Building Height**

**Maximum Wall Height**  
Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

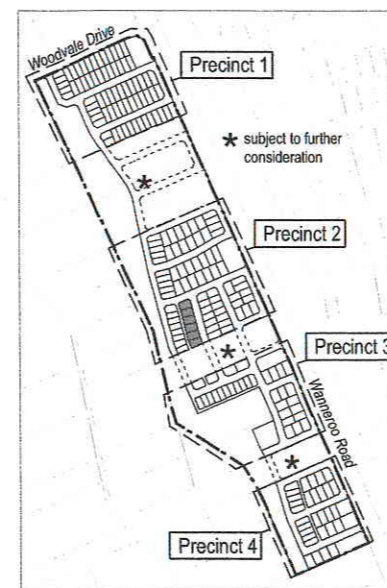
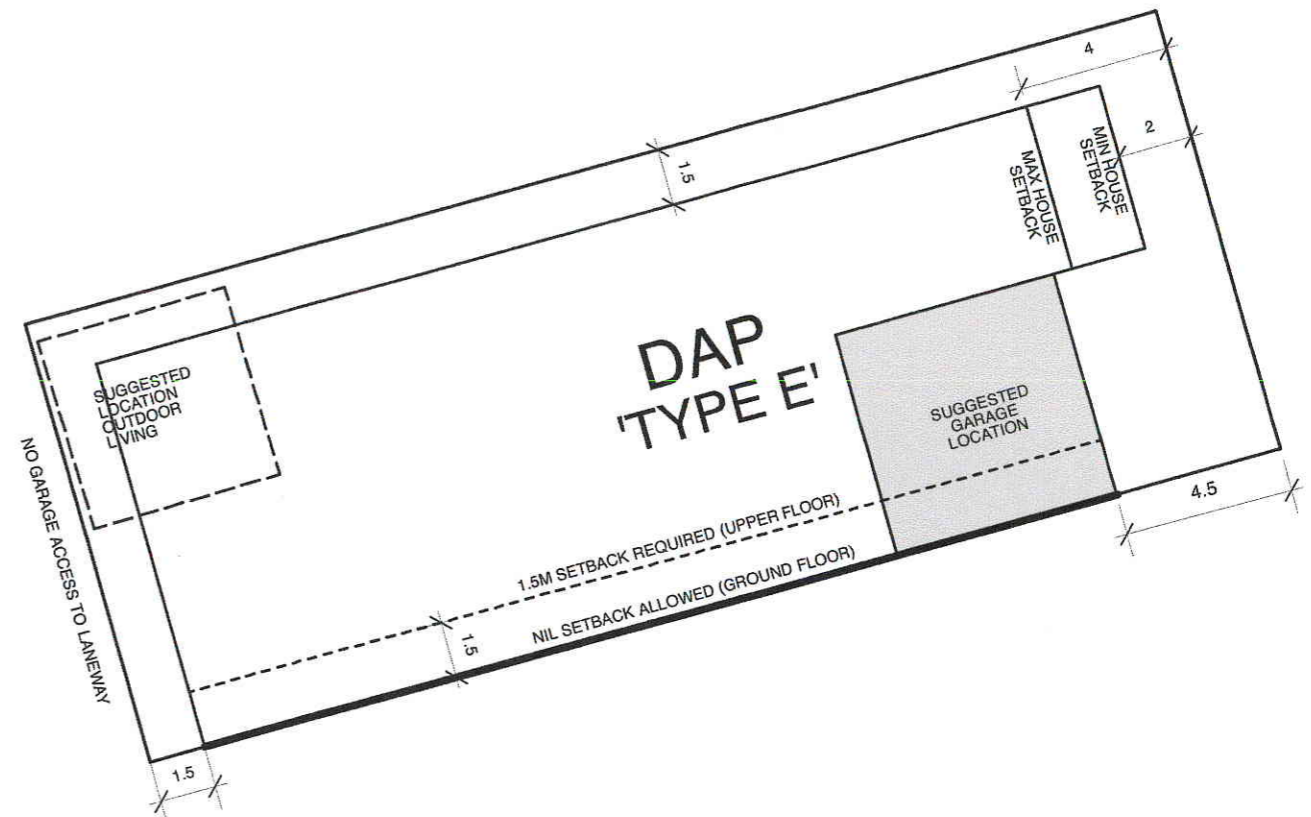
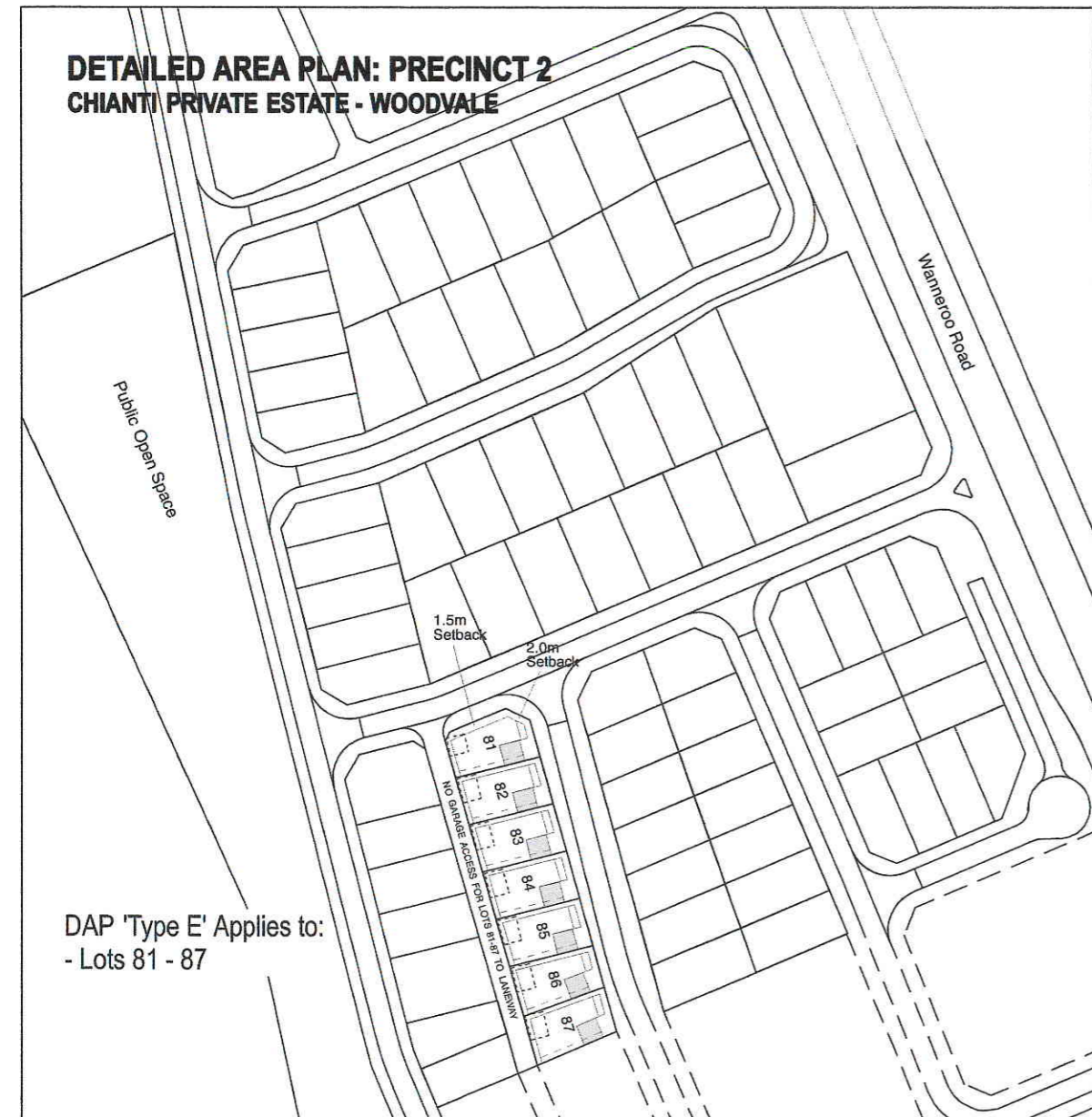
**Porches / Verandas**

Porches / verandas must be at least 1.5m deep

# DETAILED AREA PLAN TYPE E

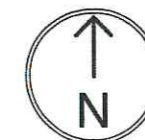
## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



**LOCATION PLAN**  
CHIANTI PRIVATE ESTATE - WOODVALE

*[Signature]*  
Manager, Planning Implementation  
Director, Planning + Sustainability  
15.3.12  
Date



**Thierfelder Consulting**  
PO Box 612  
Mount Hawthorn WA 6915

18 November 2011

# DETAILED AREA PLAN TYPE F PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE

**PROVISIONS** The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

**Setbacks**

**Front**  
Min 2.0m (incl veranda)  
Max 4.0m (incl veranda)

**Secondary Street**  
Min 1.5m setback secondary street (corner lot)

**South-east Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-west Side Setback**  
Min 1.5m ground floor setback  
Min 1.5m upper floor setback

**Rear Setback**  
Min setback 1.5m  
Upper storey setback min 6m

**Garage**

**Front Setback**  
Min 4.5m setback from the street + at least 0.5m behind primary building facade.  
(Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

**From Secondary Street**  
Min 2.0m setback from side street (corner lot)

**Location**  
Garages should generally be positioned in the suggested location.  
Alternative garage locations may be considered along the north-west boundary subject to a maximum boundary wall length of 9m. All other walls along the north-west boundary shall be set back 1.5m.

**Garage Door**

Max 50% of block frontage (single storey)  
Max 60% of block frontage (single storey where garage is set back at least 1m from primary facade)  
Max 60% of block frontage (double storey)  
No side by side three car garages allowed.

**Open Space**

**Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**

Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**

**Pitch**  
Gable + Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees

**Roof Height**

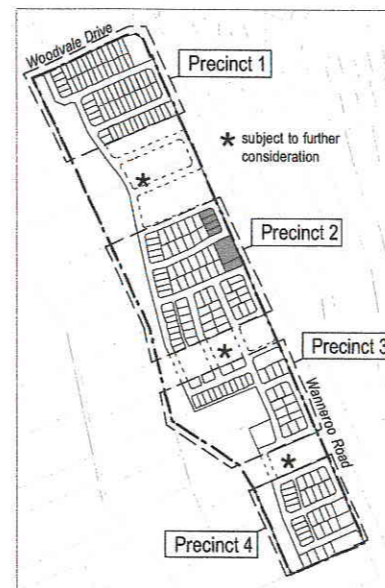
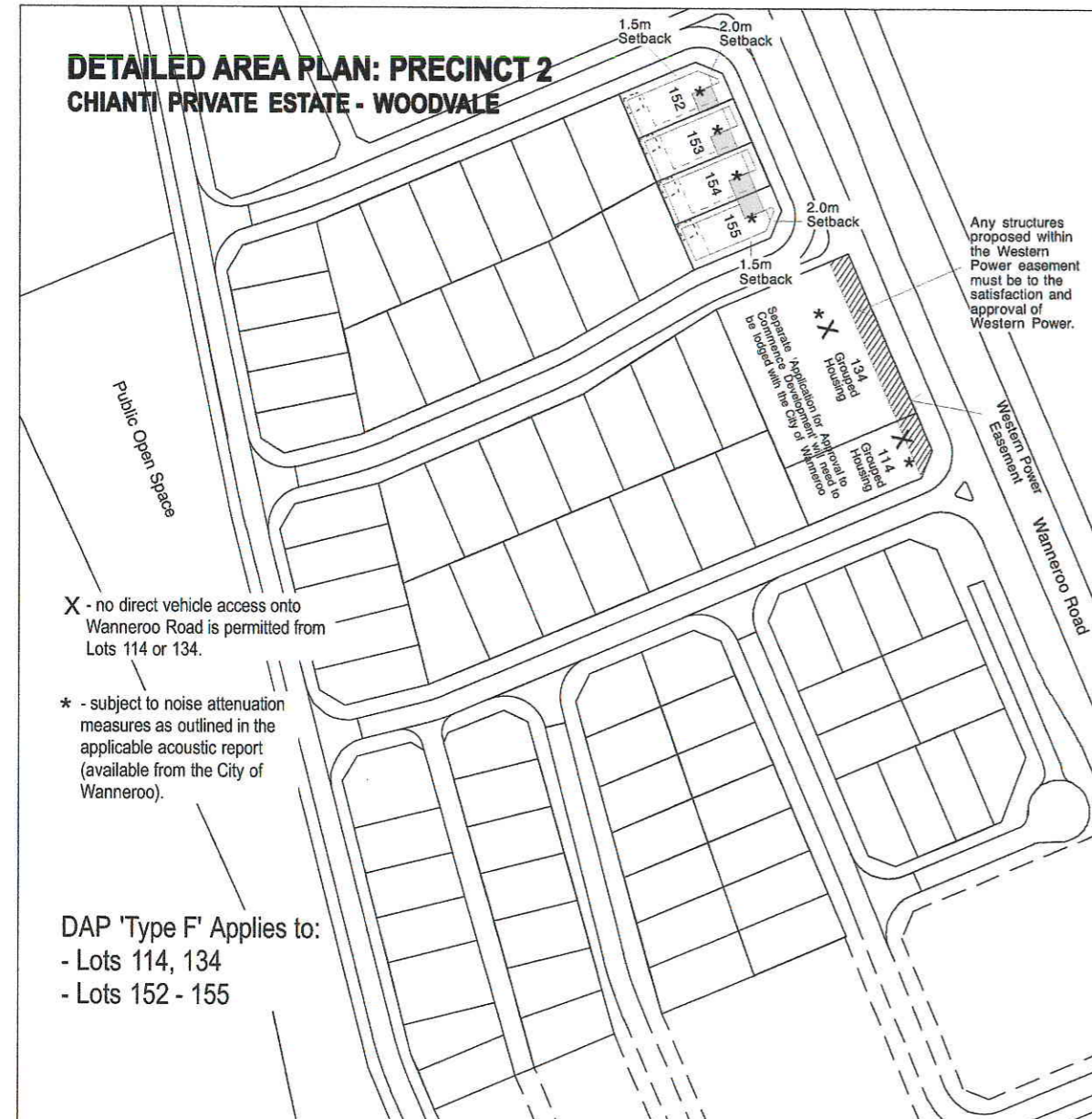
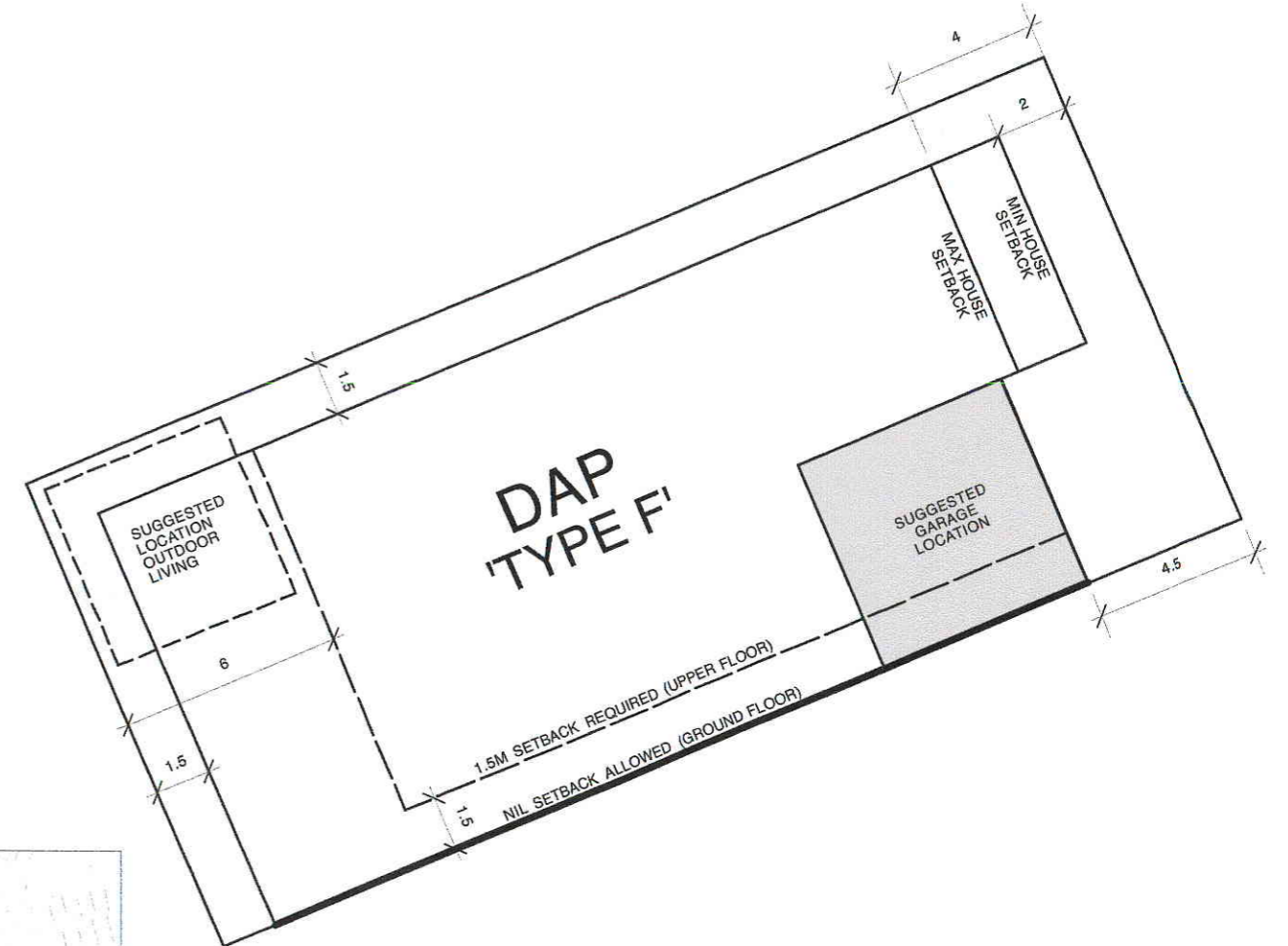
9.5m max total height from natural ground level (NGL)

**Building Height**

**Maximum Wall Height**  
Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m  
Min pitch standards apply to roofs visible from the street.

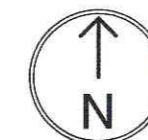
**Porches / Verandas**

Porches / verandas must be at least 1.5m deep



**LOCATION PLAN  
CHIANTI PRIVATE ESTATE - WOODVALE**

*[Signature]*  
Manager, Planning Implementation  
Director, planning + sustainability  
15.3.12  
Date



**Thierfelder Consulting**  
PO Box 612  
Mount Hawthorn WA 6915

18 November 2011

**PROVISIONS**

The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

**Setbacks**

**Front**  
Min 2.0m (incl veranda)  
Max 4.0m (incl veranda)

**Secondary Street**

Min 1.5m setback secondary street (corner lot)

**South-east Side Setback**

Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-west Side Setback**

Min 1.5m ground floor setback  
Min 1.5m upper floor setback

**Rear Setback**

Min ground floor setback 2.0m  
Min setback upper level 6.0m

**Garage**

**Front Setback**

Min 4.5m setback from the street + at least 0.5m behind primary building facade.

(Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

**From Secondary Street**

Min 2.0m setback from side street (corner lot)

**Location**

Garages should generally be positioned in the suggested location.

Alternate garage locations may be considered along the south-east boundary subject to site constraints.

When located on north-west boundary, boundary wall length is limited to 9m. All other walls along the north-west boundary shall be set back 1.5m.

**Garage Door**

Max 50% of block frontage (single storey)

Max 60% of block frontage (single storey where garage is set back at least 1m from primary facade)

Max 60% of block frontage (double storey)

No side by side three car garages allowed

**Open Space**

**Site Coverage**

Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**

Should have northerly aspect  
Min dimension 4m x 6m

Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**

**Pitch**

Gable + Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

**Roof Height**

9.5m max total height from natural ground level (NGL)

**Building Height**

**Maximum Wall Height**

Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

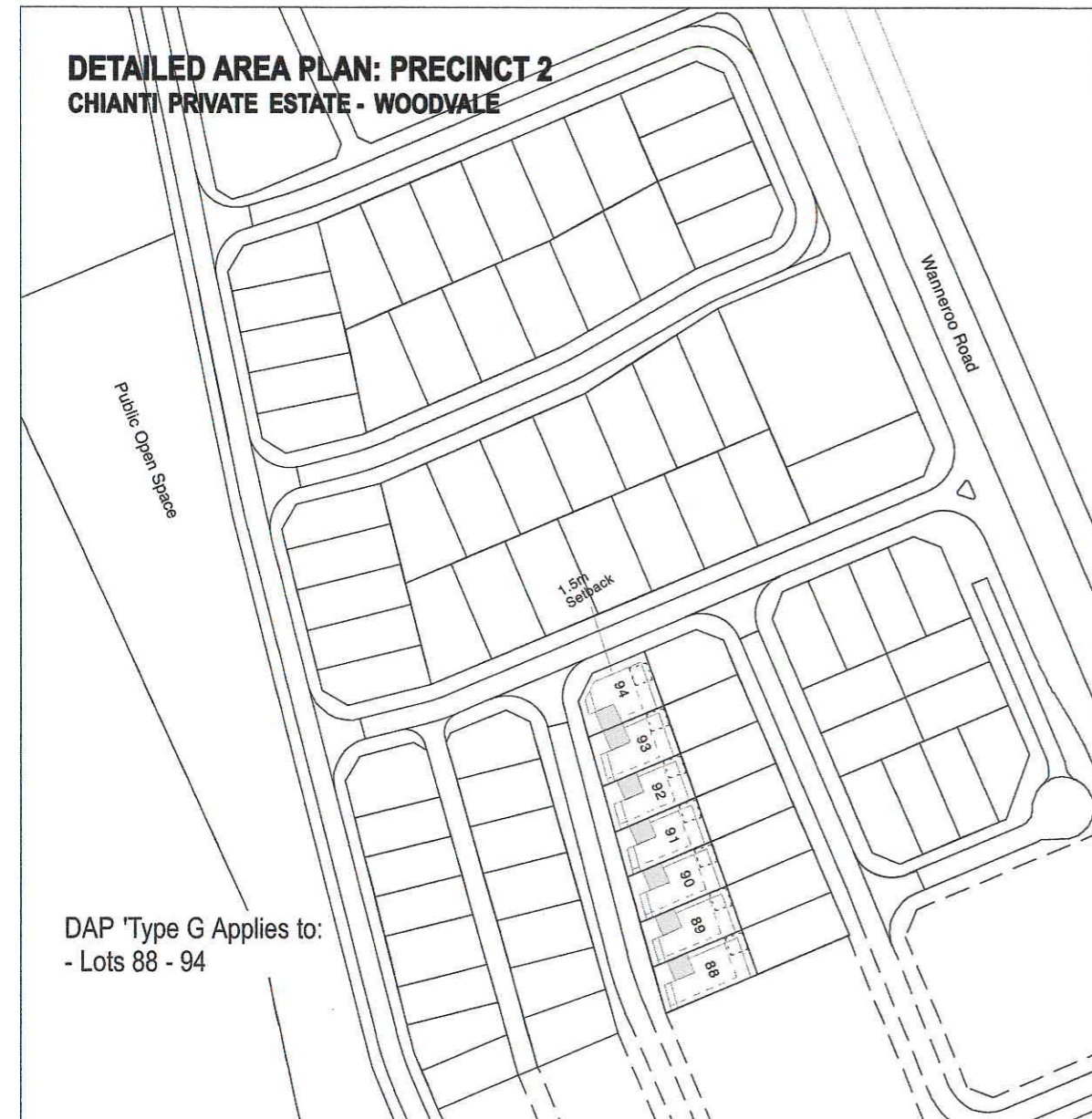
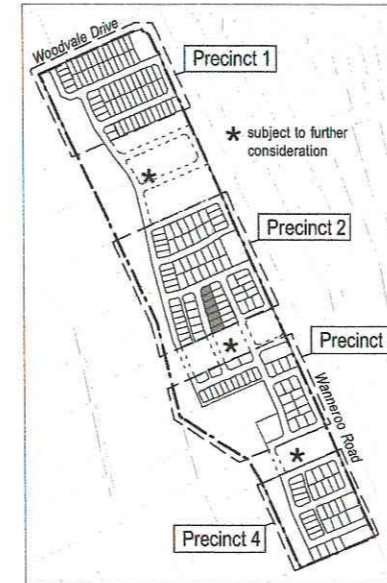
**Porches / Verandas**

Porches / verandas must be at least 1.5m deep

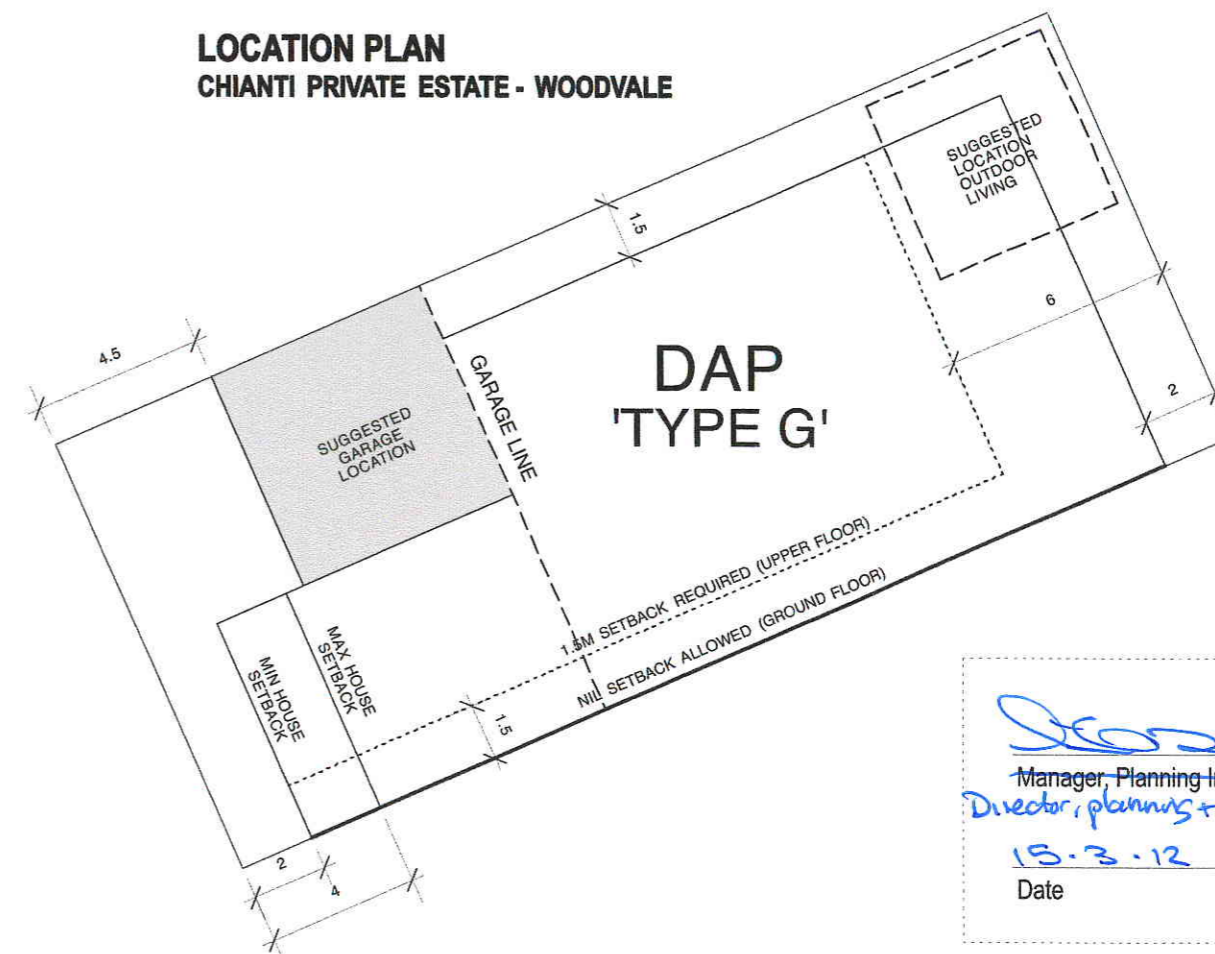
# DETAILED AREA PLAN TYPE G

## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



### LOCATION PLAN CHIANTI PRIVATE ESTATE - WOODVALE



*[Signature]*  
Manager, Planning Implementation  
Director, planning + sustainability  
15.3.12  
Date



**Thierfelder Consulting**  
PO Box 612  
Mount Hawthorn WA 6915

18 November 2011

# PROVISIONS

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

## Setbacks

### Front

Min 4.0m (incl veranda)

### Secondary Street

Min 1.5m setback secondary street (corner lot)

### South-east Side Setback

Nil ground floor setback allowed along boundary

Upper storey setback min 1.5m

### North-west Side Setback

Min 1.5m ground floor setback

Min 1.5m upper floor setback

### Rear Setback

Min setback 1.5m

Upper storey setback min 6m

## Garage

### Front Setback

Min 4.5m setback from the street and at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

### From Secondary Street

Min 2.0m setback from side street (corner lot)

### Garage Door

Max 50% of block frontage

Max 60% of block frontage

(where garage is set back at least 1m behind the primary facade)

No side by side three car garages allowed

## Open Space

### Site Coverage

Min open space 40% of site. May include areas bounded on three sides by a building.

### Outdoor Living Areas

Should have northerly aspect

Min dimension 4m x 6m.

Outdoor living areas may have permanent roof cover over up to 75% of the required area.

## Roof

### Pitch

Gable and Hip Roofs - Min 24 degrees.

Min pitch standards apply to roofs visible from the street.

## Porches / Verandas

All porches / verandas must be at least 1.5m deep

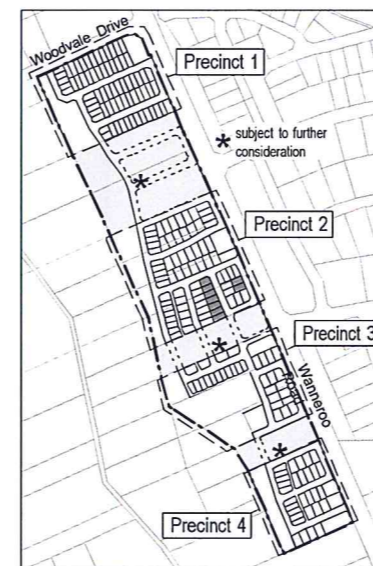
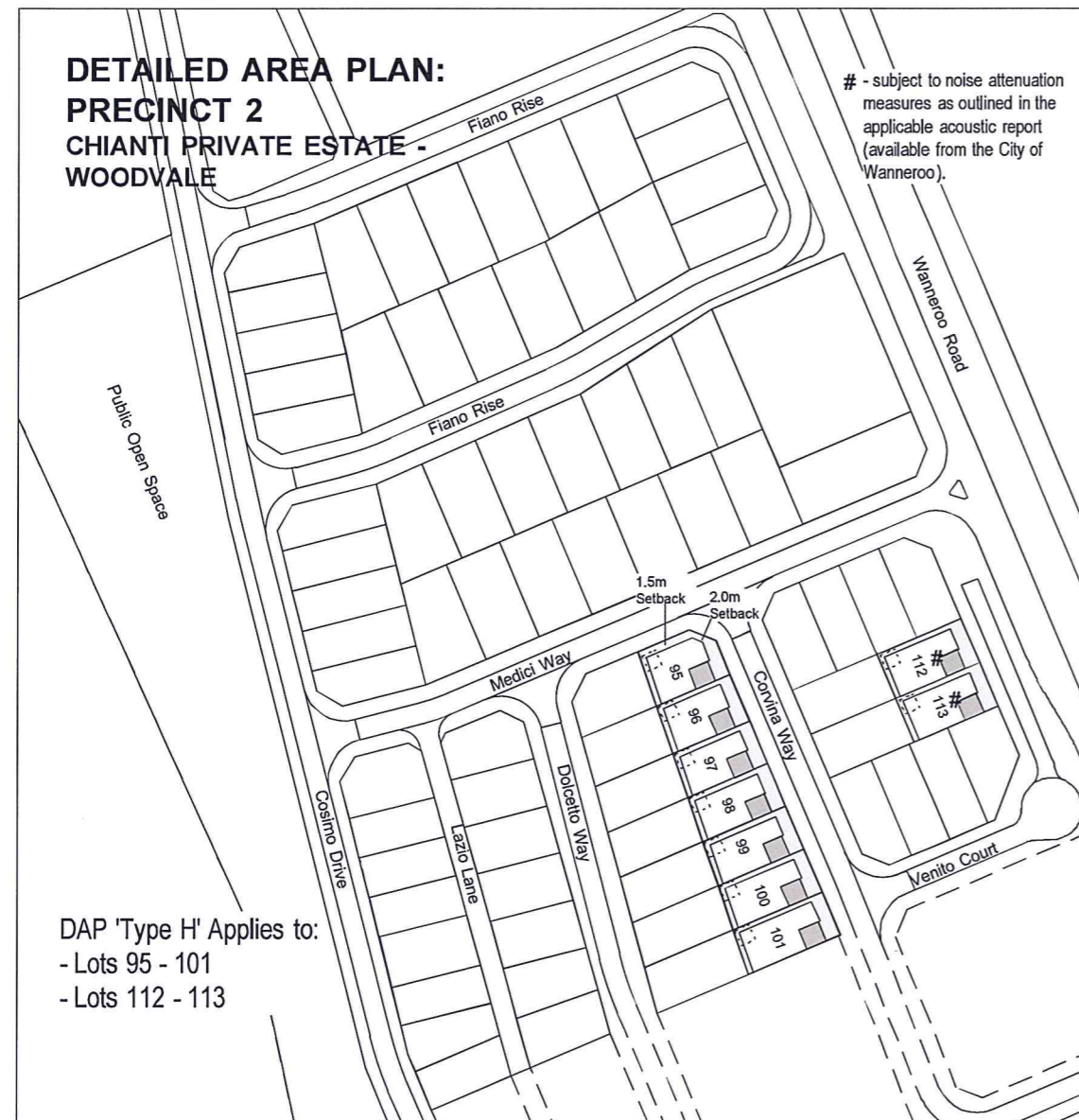
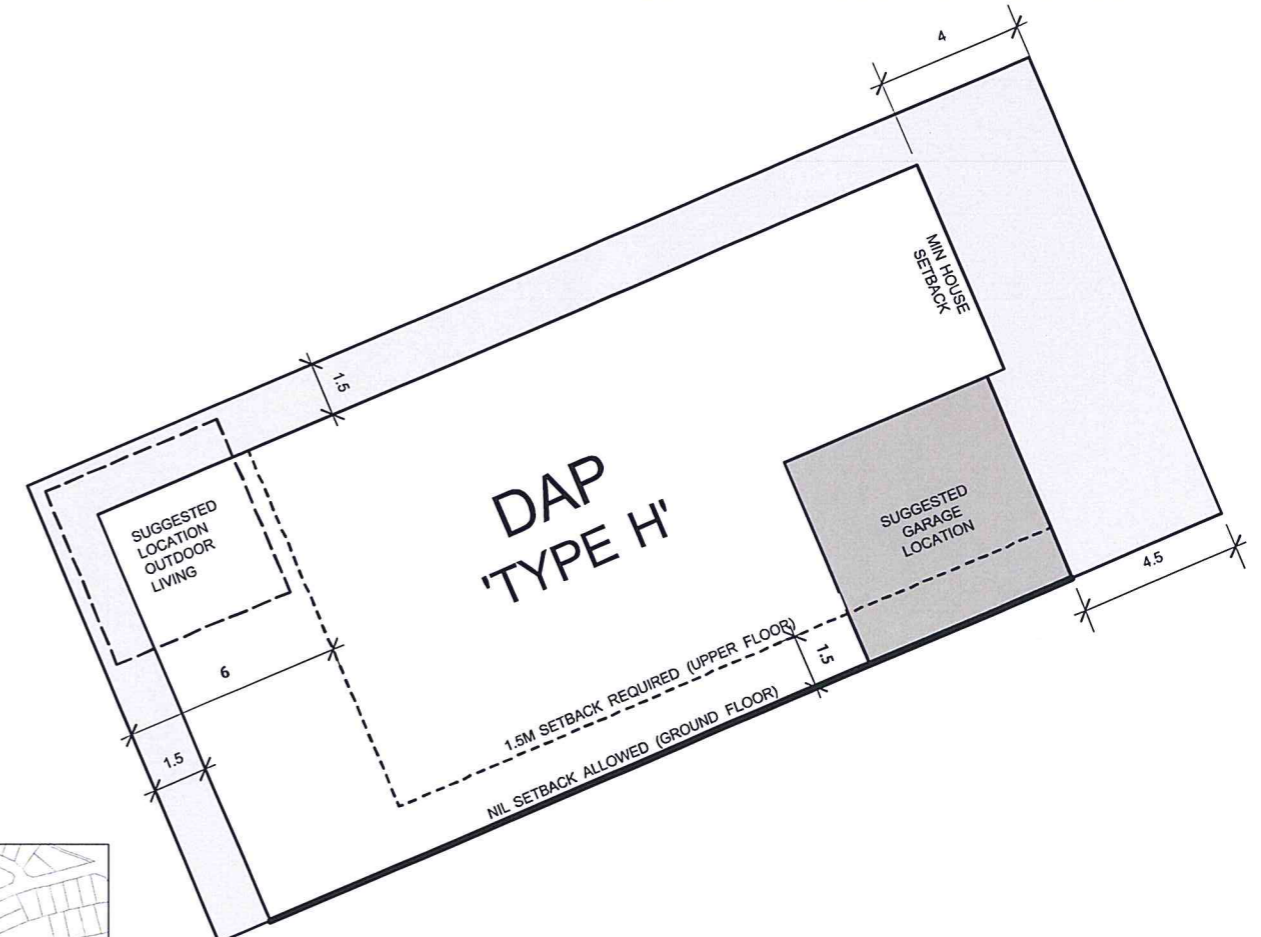
## Fencing

Front fencing is discouraged.

# DETAILED AREA PLAN TYPE H

## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



LOCATION PLAN  
CHIANTI PRIVATE ESTATE -  
WOODVALE

  
Manager, Planning Implementation  
22/5/15  
Date



Edgefield Projects  
38 Mundaring Weir Rd  
Mundaring WA 6073

18 May 2015



## PROVISIONS

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

### Setbacks

#### Front

Min 4.0m (incl veranda)

#### Secondary Street

Min 1.5m setback secondary street (corner lot)

#### South-east Side Setback

Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

#### North-west Side Setback

Min 1.5m ground floor setback  
Min 1.5m upper floor setback

#### Rear Setback

Min setback 1.5m  
Upper storey setback min 6m

### Garage

#### Front Garage Setback

Min 4.5m setback from the street and at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep).

#### Location

Garages should generally be positioned in the suggested location. Alternate garage locations may be considered along the north-west boundary subject to a maximum boundary wall length of 9.0m. All other walls along the north-west boundary shall be set back 1.5m.

### Secondary Street Garage Setback

Min 2.0m setback from side street (corner lot)

### Garage Door

Max 50% of block frontage  
Max 60% of block frontage (where garage is set back at least 1m from primary facade)  
No side by side three car garages allowed

### Open Space

Site Coverage  
Min open space 40% of site. May include areas bounded on three sides by a building.

### Outdoor Living Areas

Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

### Roof

Pitch  
Gable and Hip Roofs - Min 24 degrees  
Min pitch standards apply to roofs visible from the street.

### Porches / Verandas

All porches / verandas must be at least 1.5m deep

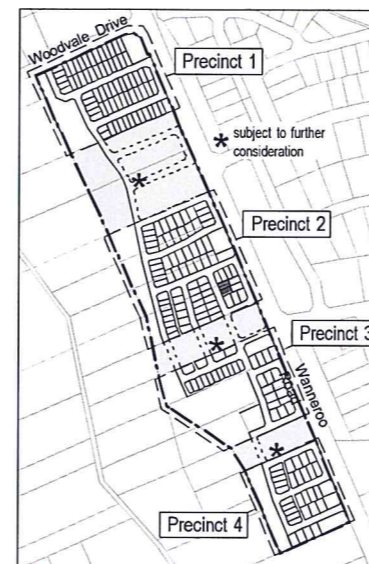
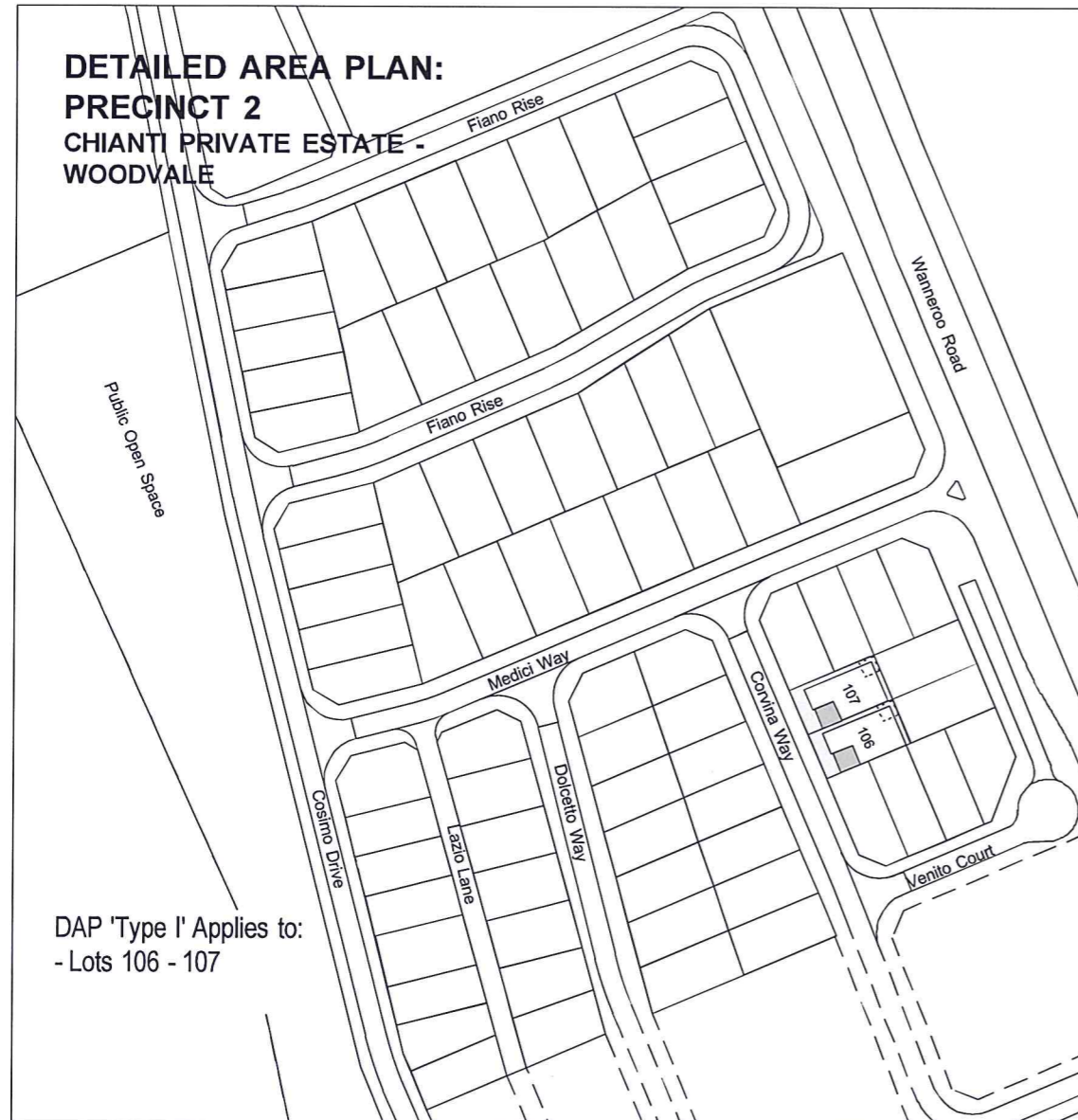
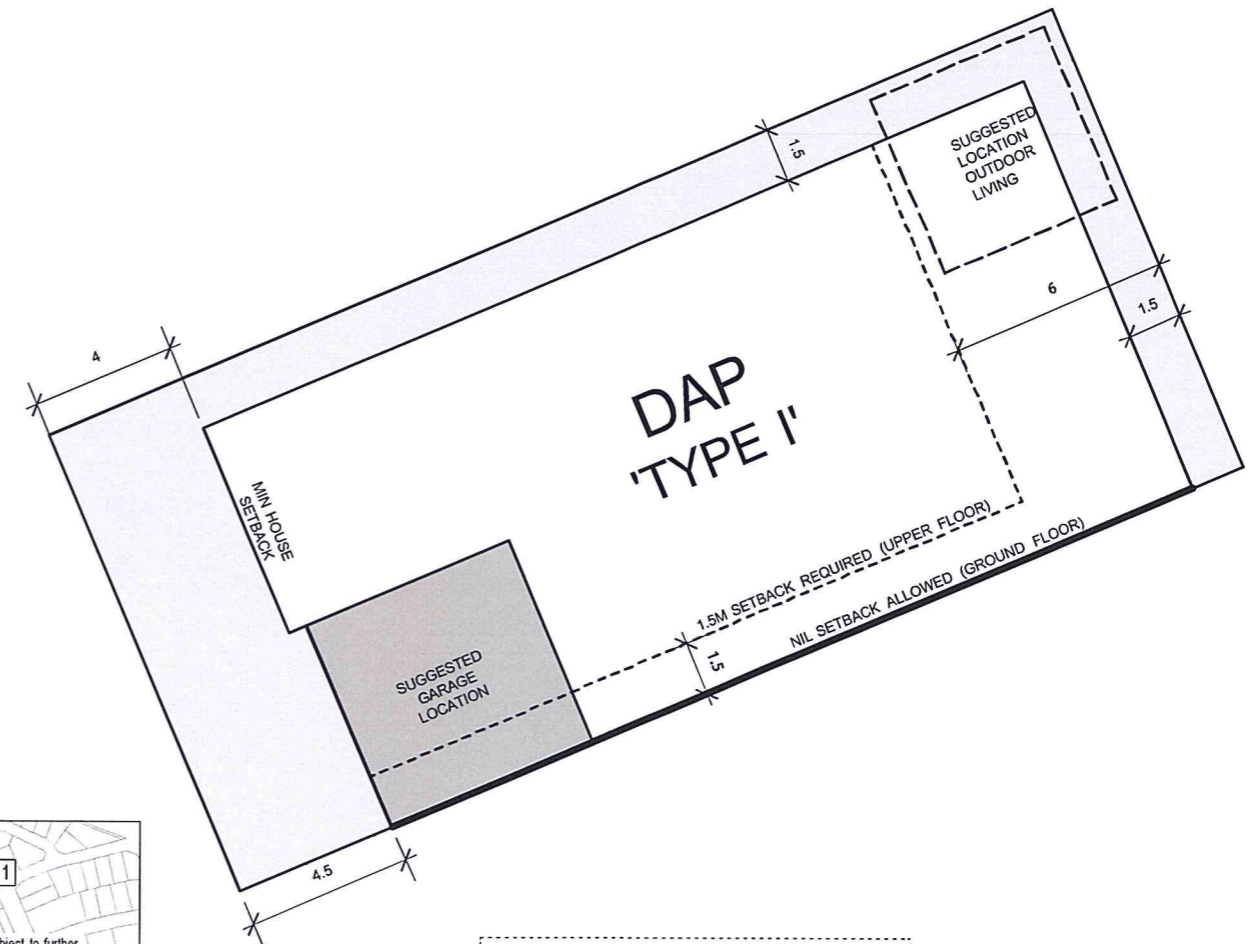
### Fencing

Front fencing is discouraged.


# DETAILED AREA PLAN TYPE I

## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



**LOCATION PLAN**  
CHIANTI PRIVATE ESTATE -  
WOODVALE

  
Manager, Planning Implementation  
22/5/15.  
Date



**Edgefield Projects**  
38 Mundaring Weir Rd  
Mundaring WA 6073

18 May 2015

**PROVISIONS**

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

**Setbacks**

Front  
Min 4.0m (incl veranda)

Secondary Street  
Min 1.5m setback secondary street (corner lot)

South-west Side Setback  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

North-east Side Setback  
Min 1.5m ground floor setback  
Min 1.5m upper floor setback

Rear Setback  
Min setback 1.5m

**Garage**

Front Garage Setback  
Min 4.5m setback from the street and at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

Location  
Garages should generally be positioned in the suggested location. Alternate garage locations may be considered along the north-east boundary subject to a maximum boundary wall length of 9.0m. All other walls along the north-east boundary shall be set back 1.5m.

Secondary Street Garage Setback  
Min 2.0m setback from side street (corner lot)

Garage Door  
Max 50% of block frontage  
Max 60% of block frontage (where garage is set back at least 1m behind the primary building facade)  
No side by side three car garages allowed

**Open Space**  
Site Coverage  
Min open space 40% of site. May include areas bounded on three sides by a building.

Outdoor Living Areas  
Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

**Roof**

Pitch  
Gable and Hip Roofs - Min 24 degrees  
Min pitch standards apply to roofs visible from the street.

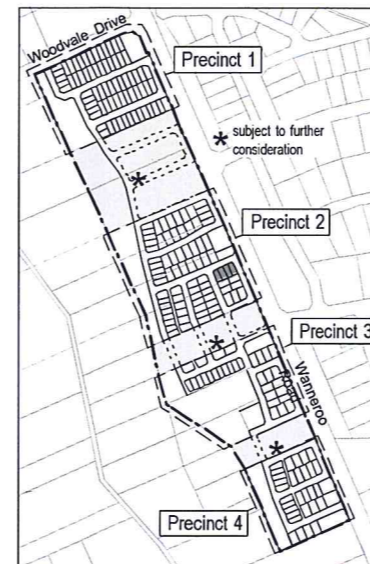
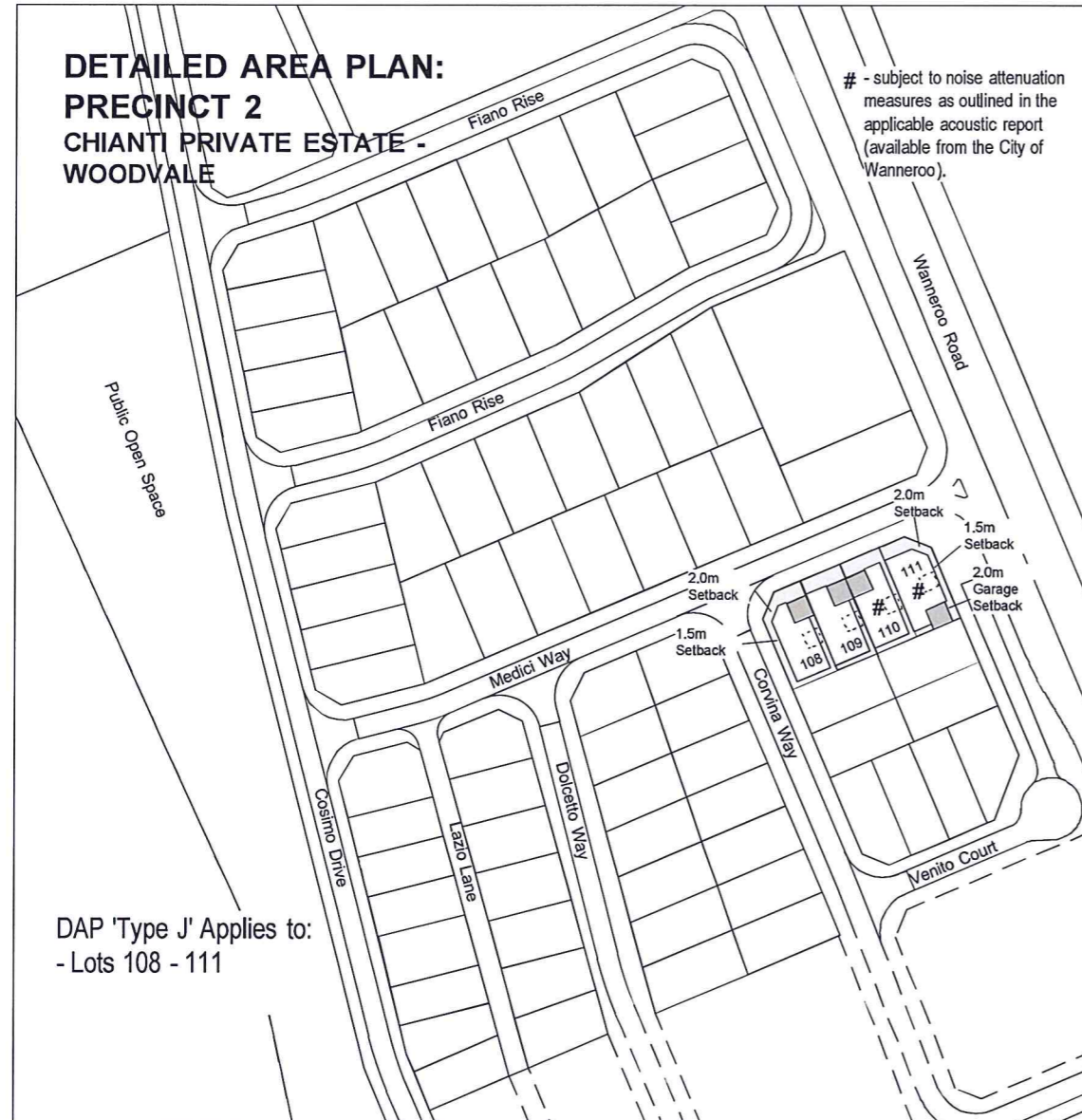
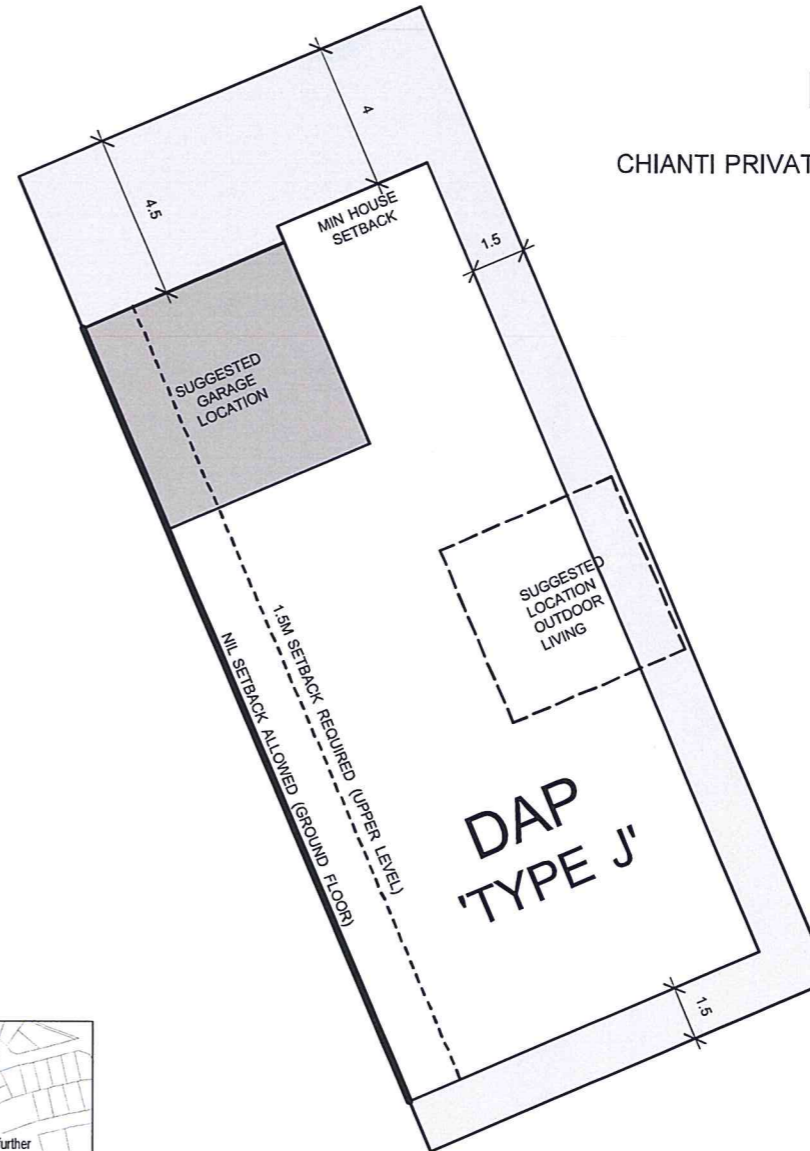
**Porches / Verandas**  
All porches / verandas must be at least 1.5m deep

**Fencing**  
Front fencing is discouraged.

**DETAILED AREA PLAN  
TYPE J**

**PRECINCT 2**

CHIANTI PRIVATE ESTATE - WOODVALE



**LOCATION PLAN  
CHIANTI PRIVATE ESTATE -  
WOODVALE**



*[Signature]*  
Manager, Planning Implementation  
22/5/15  
Date

**Edgefield Projects**  
38 Mundaring Weir Rd  
Mundaring WA 6073

18 May 2015

# PROVISIONS

The following standards represent variations to Agreed Structure Plan No. 64 and the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

## Setbacks

**Front**  
Min 4.0m (incl veranda)

**Secondary Street**  
Min 1.5m setback secondary street (corner lot)

**South-west Side Setback**  
Nil ground floor setback allowed along boundary  
Upper storey setback min 1.5m

**North-east Side Setback**  
Min 1.5m ground floor setback  
Min 1.5m upper floor setback

**Rear Setback**  
Min setback 1.5m

## Garage

**Front Garage Setback**  
Min 4.5m setback from the street and at least 0.5m behind primary building facade. (Note: The primary building facade may include porches and verandas providing they are of a significant and functional scale and at least 3m wide and 1.5m deep)

**Location**  
Garages should generally be positioned in the suggested location. Alternate garage locations may be considered along the north-east boundary subject to a maximum boundary wall length of 9.0m. All other walls along the north-east boundary shall be set back 1.5m.

**Garage Door**  
Max 50% of block frontage  
Max 60% of block frontage (where garage is set back at least 1m behind the primary building facade)  
No side by side three car garages allowed

**Open Space**  
**Site Coverage**  
Min open space 40% of site. May include areas bounded on three sides by a building.

**Outdoor Living Areas**  
Should have northerly aspect  
Min dimension 4m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area.

## Roof

**Pitch**  
Gable and Hip Roofs - Min 24 degrees  
Min pitch standards apply to roofs visible from the street.

## Porches / Verandas

All porches / verandas must be at least 1.5m deep

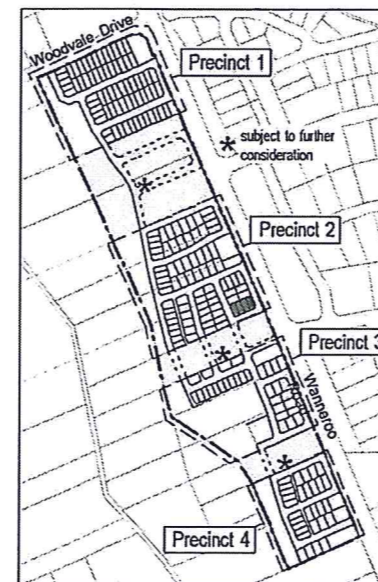
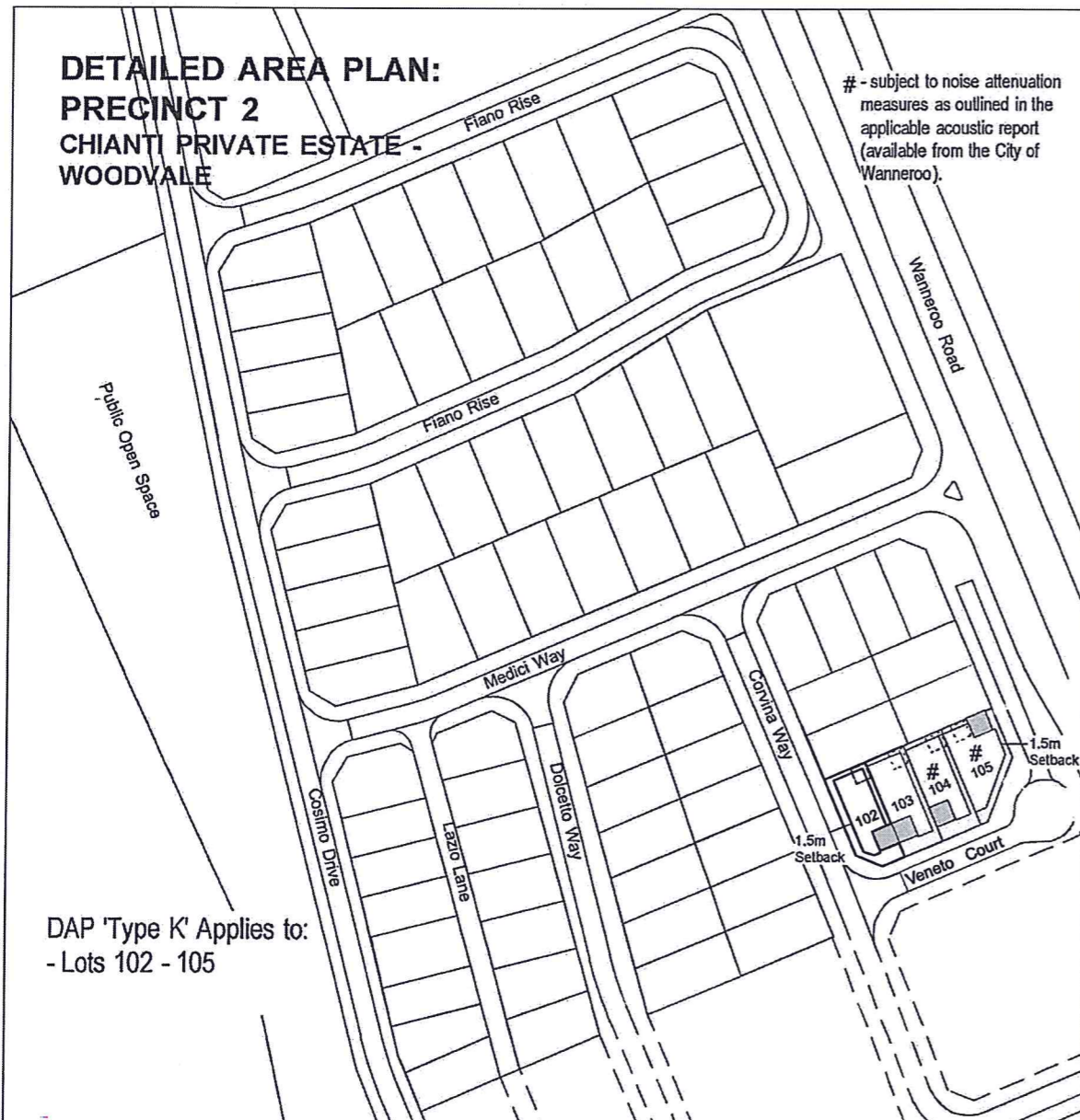
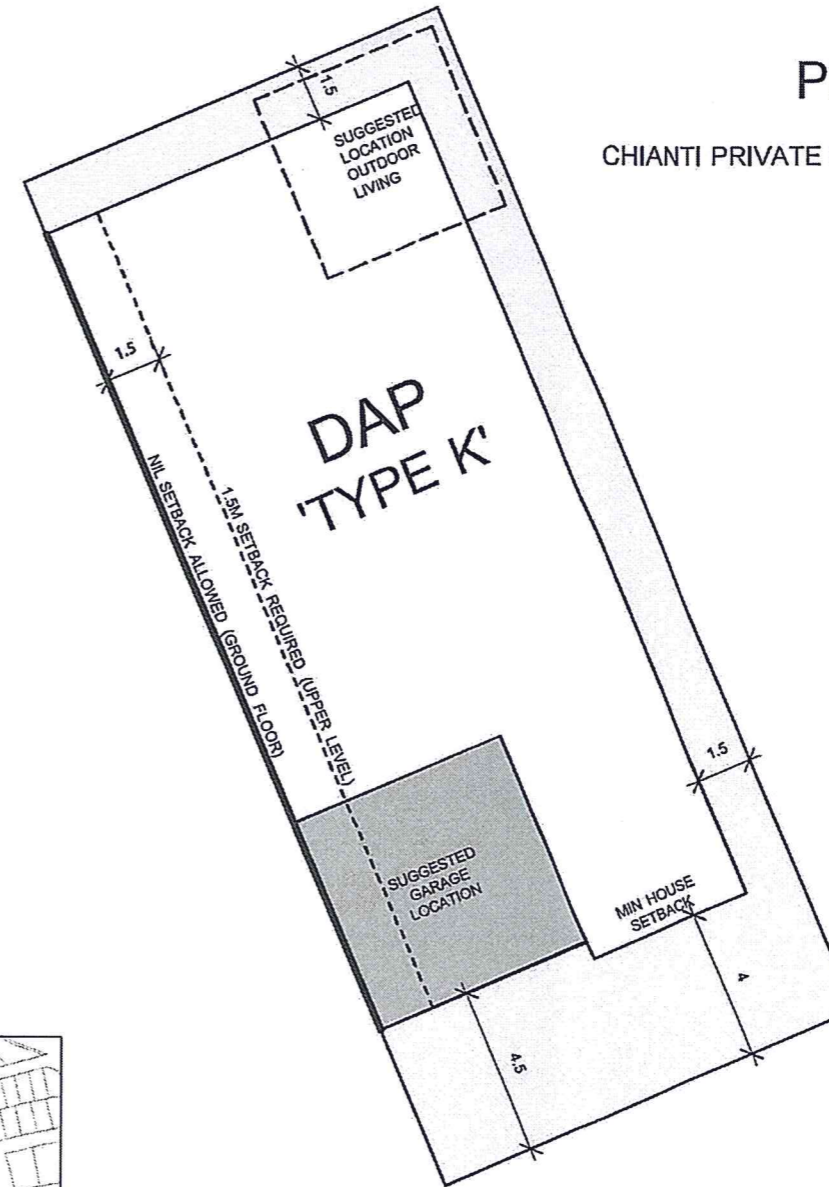
## Fencing

Front fencing is discouraged.

# DETAILED AREA PLAN TYPE K

## PRECINCT 2

CHIANTI PRIVATE ESTATE - WOODVALE



LOCATION PLAN  
CHIANTI PRIVATE ESTATE -  
WOODVALE

*[Signature]*  
Manager, Approval Services  
14/6/18  
Date

