



**DROVERS
PLACE
PRECINCT**

**STRUCTURE PLAN No. 80
VERSION - JANUARY 2019**



**This Amendment to the Approved Structure Plan has been prepared under the provisions of
the City of Wanneroo District Planning Scheme No. 2**

IT IS CERTIFIED THAT AMENDMENT NO. 6 TO DROVERS PLACE
PRECINCT AGREED STRUCTURE PLAN NO. 80 WAS APPROVED BY
RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING
COMMISSION ON: **19 FEBRUARY 2019**

Signed for and on behalf of the Western Australian Planning Commission

A handwritten signature in black ink, appearing to read 'Regan', is written over a horizontal line. The signature is fluid and cursive.

an officer of the Commission duly authorised by the Commission pursuant
to Section 16 of *the Planning and Development Act 2005* for that purpose.

RECORD OF AMENDMENTS MADE TO THE DROVERS PLACE PRECINCT

APPROVED STRUCTURE PLAN NO. 80

AMENDMENT NO.	SUMMARY OF THE AMENDMENT	DATE APPROVED BY WAPC
1	<p>Amend table 'C' – Planning Requirements for the Central Precinct as follows:</p> <ul style="list-style-type: none"> • Introducing Hairdresser with a general training component and with a minimum area of 150 m2 (Lot 810); • Introducing Large Format Liquor Store with a minimum area of 1,250 m2 (lot 811); • Deleting, Butcher, Bakery and Fishmonger. 	22 October 2013
3	<ol style="list-style-type: none"> 1. Replacing the Intent in Table "C" – Planning Requirements for the Central Precinct, as follows: <ul style="list-style-type: none"> • The intent of the Central Precinct is to accommodate warehouses, showrooms, trade and professional services and small scale complementary and incidental retailing uses, as well as providing for retail and commercial businesses which require large areas such as bulky goods and category/theme-based retail outlets that provide for the needs of the community but which due to their nature are generally not appropriate to or cannot be accommodated in a commercial area. • Development within the Central Precinct should provide a built form that respects and recognises the environment of Yellagonga Regional Park. 2. Adding in Table "C" - Planning Requirements for the Central Precinct: <ul style="list-style-type: none"> • "Pharmacy" as a discretionary 'D' use; 3. Adding in Table "C" – Planning Requirements for the Central Precinct, provisions for Permitted 'P' uses within the Special Zone, and <ul style="list-style-type: none"> • "Medical Centre" as a permitted 'P' use. 	16 July 2015
5	<ol style="list-style-type: none"> 1. Amend objective (b) of Clause 7.0, General Objectives to read: (b) For land within the Central Precinct, reflect the intent and land use permissibility of the Business zone in District Planning Scheme No. 2; 2. Substitute a new Table 'C' – Planning Requirements for the Central Precinct to implement the following changes: <ul style="list-style-type: none"> • Assign the Business Zone in District Planning Scheme No. 2 to the Central Precinct; • Align the land use permissibility of the Central Precinct with the Business Zone in District Planning Scheme No. 2; • Add the definitions "large format category / theme based showroom", "Retail Nursery" and "Growers Mart" for the Central Precinct; • Identify a list of additional uses that may be contemplated in addition to the land use permissibility applicable to the Business Zone; • Modify and delete various provisions contained in Section 3 that are no longer applicable to the Business development intended for the Central Precinct. 3. Delete Table F – Infrastructure Provision. 4. Amend the Structure Plan map by changing the zone of the Central Precinct from 'Special Use' to 'Business' Zone. 	5 August 2016

AMENDMENT NO.	SUMMARY OF THE AMENDMENT	DATE APPROVED BY WAPC
6	<ol style="list-style-type: none"> 1. Amend Plan No. 1 by depicting Lots 6, 7 and 8 Drovers Place as 'Residential' and including these lots in a new 'Drovers Place West Precinct'. 2. Amend Plan No. 1 by outlining all lots that have been normalised in the City of Wanneroo District Planning Scheme and adding a notation to this effect. 3. Include a new Plan No. 2: Drovers Place West Precinct pertaining to Lots 6, 7 and 8 Drovers Place. 4. Delete existing clauses 2.0 – 5. 0 of Part 1 – Statutory Provisions and renumbering the remaining clauses. 5. Amend the new clause 2.0 to read: "The Structure Plan shall come into operation when it is approved by the Western Australian Planning Commission." 6. Insert a new clause 4.0 'Drovers Place West Precinct – Subdivision And Development Requirements'. 7. Delete Section 5.0 'Tables' and Tables A – E. 8. All references to 'Detailed Area Plan(s)' or DAP(s)' to be replaced with 'Local Development Plan(s)' or 'LDP(s)'. 	19 Feb 2019

Part 1

IMPLEMENTATION

1.0 STRUCTURE PLAN AREA

The Drovers Place Precinct Structure Plan (“the Structure Plan”) shall apply to the area located within the “Structure Plan Boundary” as depicted on Plan 1 – Structure Plan.

2.0 OPERATION

The Structure Plan shall come into operation when it is approved by the Western Australian Planning Commission.

3.0 GENERAL OBJECTIVES

The general objectives of the Structure Plan are to:

- (a) Guide subdivision and provide for a variety of appropriate land uses and development where proposals will have high exposure to Yellagonga Regional Park, Wanneroo Road, Drovers Place and Joondalup Drive;
- (b) Facilitate adaptive built form that maintains a visual relationship with and provides pedestrian access to Yellagonga Regional Park; and
- (c) To protect and enhance the environmental and landscape values of the Structure Plan area and adjacent regional park.

4.0 DROVERS PLACE WEST PRECINCT – SUBDIVISION AND DEVELOPMENT REQUIREMENTS

4.1 Precinct Area

The Drovers Place West Precinct shall apply to Lots 6, 7, 8 Drovers Place, Wanneroo as depicted on Plan No. 1: Structure Plan No. 80 Drovers Place.

4.2 Land Use Zones And Reserves

Plan No. 2: Drovers Place West Precinct outlines land use, zones and reserves applicable within the Drovers Place West Precinct.

4.3 Residential Density

Residential densities applicable to the Drovers Place West Precinct shall be generally in accordance with the residential densities shown on Plan No. 2: Drovers Place West Precinct.

In accordance with the Directions 2031 target, subdivisions are to achieve a minimum average density of 26 dwellings per site hectare across the structure plan area.

4.4 Public Open Space

The provision of a minimum of 10% public open space being provided in accordance with the WAPC’s Liveable Neighbourhoods. Public open space is to be provided generally in accordance with Plan 2, with a Public Open Space Schedule to be provided at the time of subdivision for determination by the WAPC.

4.5 Subdivision And Development Requirements

- (a) The design of development adjacent to Yellagonga Regional Park shall limit the visual impact of site levels, retaining walls, and fencing. Visually impermeable fencing and retaining walls above 1 metre in height shall be prohibited adjacent to Yellagonga Regional Park.

- (b) The City of Wanneroo’s “Medium-Density Housing Standards (R-MD) Local Planning Policy (R-MD Codes LPP) sets out acceptable variations to the deemed-to-comply provisions of the R-Codes for lots coded R25-R60. Except in a situation where an approved Local Development Plan imposing R-Code variations for lots coded R-60 or less applies, the variations set out in the R-MD codes LPP apply to this Local Structure Plan and thereby constitute Acceptable Development within the Structure Plan area.
- (c) Notifications on Titles to warn of mosquito nuisance in the area shall be included as a condition of subdivision approval.

4.6 Local Development Plans

Local Development Plans are to be prepared in accordance with Part 6 of Schedule 2 – Deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015*, prior to any subdivision and/or development that is affected by the following design considerations:

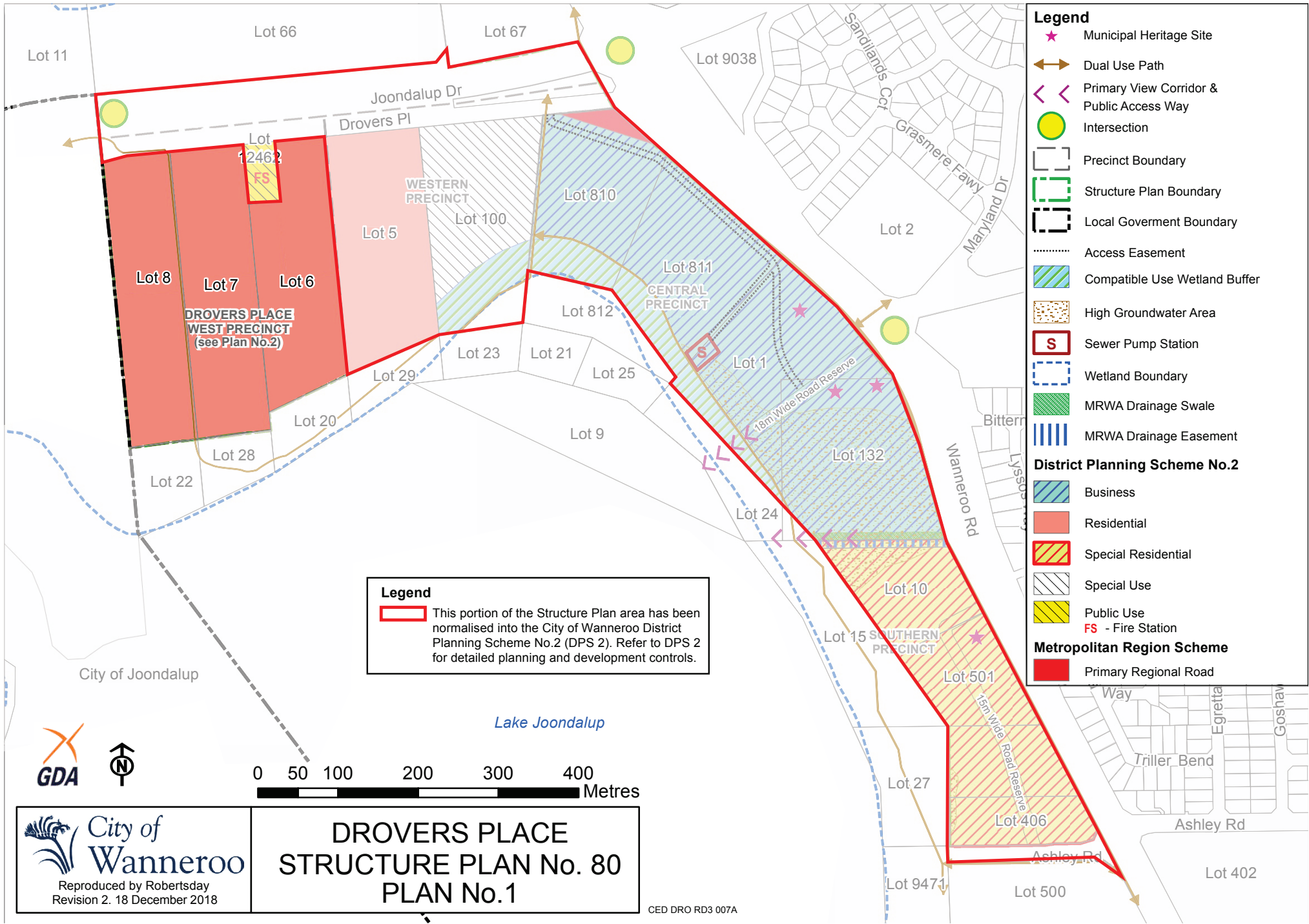
- (a) Lots with vehicle access from a laneway.
- (b) Lots with a direct interface with Public Open Space / Regional Open Space.
- (c) Any lots that propose grouped or multiple dwelling development.
- (d) Lots affected by an Asset Protection Zone.
- (e) Lots affected by transport noise requiring mitigation measures including Quiet House Design.

4.7 Additional Information

Prior to any subdivision or development being supported, the strategies and plans specified in the following table are required to be prepared and approved.

ADDITIONAL INFORMATION	APPROVAL STAGE	CONSULTATION REQUIRED
<p>Landscape Management Plan, including:</p> <ul style="list-style-type: none"> (a) Detailed site analysis including topography, vegetation, tree survey, view corridors and microclimate. The vegetation analysis and tree survey shall clearly identify and justify the extent of: <ul style="list-style-type: none"> • Any clearing that is proposed during the development stages; and • Vegetation that will be retained and managed at the development stages; (b) Footpaths and shared paths, linking with Yellagonga Regional Park; (c) Integration of landscaping and public realm with Yellagonga Regional Park; (d) Principles of landscape design; (e) Maintenance of visual relationship with Yellagonga Regional Park; (f) Uniform fencing for lots adjacent to Yellagonga Regional Park; (g) Earthworks plan with indicative design levels and likely extent of retaining walls; and (h) Ensuring that Yellagonga Regional Park is not adversely affected by weed invasion and fertilisers, including a prohibition on the use of flora species known to be invasive or environmentally damaging in landscaping. 	<p>Condition of Subdivision approval</p>	<p>City of Wanneroo</p>

ADDITIONAL INFORMATION	APPROVAL STAGE	CONSULTATION REQUIRED
Dieback Management Plan, including protocols and guidance to prevent construction works introducing dieback to Yellagonga Regional Park	Condition of subdivision approval	Department of Biodiversity, Conservation and Attractions
Midge Management Plan, including control measures, provisions for signage to be maintained during lot sales, and notifications on title to warn of midge nuisance in the area	Condition of subdivision approval	Department of Health
Urban Water Management Plan	Subdivision Application	Department of Water / City of Wanneroo
Transportation Noise Assessment	Subdivision Application	City of Wanneroo
Bushfire Management Plan	Subdivision Application	City of Wanneroo / Department of Fire and Emergency Services (as required)
Public Open Space Schedule	Subdivision Application	City of Wanneroo



Legend

- ★ Municipal Heritage Site
- ↔ Dual Use Path
- ◁ ▷ Primary View Corridor & Public Access Way
- Intersection
- ▭ Precinct Boundary
- ▭ Structure Plan Boundary
- ▭ Local Government Boundary
- ⋯ Access Easement
- ▨ Compatible Use Wetland Buffer
- ▨ High Groundwater Area
- Ⓢ Sewer Pump Station
- ▭ Wetland Boundary
- ▨ MRWA Drainage Swale
- ▨ MRWA Drainage Easement

District Planning Scheme No.2

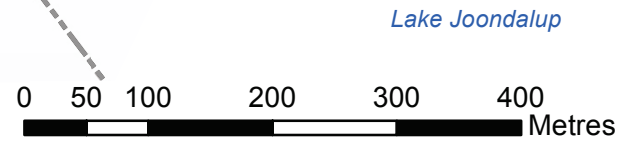
- ▨ Business
- ▨ Residential
- ▨ Special Residential
- ▨ Special Use
- ▨ Public Use
- FS - Fire Station

Metropolitan Region Scheme

- ▨ Primary Regional Road

Legend

▭ This portion of the Structure Plan area has been normalised into the City of Wanneroo District Planning Scheme No.2 (DPS 2). Refer to DPS 2 for detailed planning and development controls.



City of Wanneroo
 Reproduced by Robertsdays
 Revision 2. 18 December 2018

**DROVERS PLACE
 STRUCTURE PLAN No. 80
 PLAN No.1**

CED DRO RD3 007A



OTHER

- POS/DRAINAGE
- INDICATIVE ASSET PROTECTION ZONE (APZI)
- PRINCIPAL SHARED PATH (EXISTING)
- PRINCIPAL SHARED PATH (PROPOSED)
- VIEW CORRIDORS
- POTENTIAL EAST-WEST VEHICLE/ PEDESTRIAN CONNECTION TO BE DETERMINED AT SUBDIVISION STAGE HAVING REGARD TO THE PROVISIONS OF LIVEABLE NEIGHBOURHOODS
- RETENTION OF TREES WITHIN ROAD RESERVE AS FAR AS IS PRACTICABLE

LEGEND

- STRUCTURE PLAN BOUNDARY
- CONTOURS
- EXISTING LOT No./BOUNDARY

DENSITY

- R30
- R40
- R60



SIZE A3
 1:1500
 0 15 30 45 60 75
 metres

REF NO. **CED DRO** DRAW NO. **RD1 004** REV. **H.1**

PLAN No.2 DROVERS PLACE WEST PRECINCT
 Lots 6, 7, 8 and 12462 Drovers Place
 City of Wanneroo

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY