

Legend

- ★ Municipal Heritage Site
- ↔ Dual Use Path
- ◁ ▷ Primary View Corridor & Public Access Way
- Intersection
- ▭ Precinct Boundary
- ▭ Structure Plan Boundary
- ▭ Local Government Boundary
- ⋯ Access Easement
- ▨ Compatible Use Wetland Buffer
- ▨ High Groundwater Area
- Ⓢ Sewer Pump Station
- ▭ Wetland Boundary
- ▨ MRWA Drainage Swale
- ▨ MRWA Drainage Easement

District Planning Scheme No.2

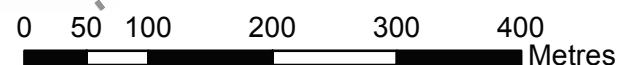
- ▨ Business
- ▨ Residential
- ▨ Special Residential
- ▨ Special Use
- ▨ Public Use
- FS - Fire Station

Metropolitan Region Scheme

- ▨ Primary Regional Road

Legend

▭ This portion of the Structure Plan area has been normalised into the City of Wanneroo District Planning Scheme No.2 (DPS 2). Refer to DPS 2 for detailed planning and development controls.



City of Wanneroo
 Reproduced by Robertsdays
 Revision 2. 18 December 2018

**DROVERS PLACE
 STRUCTURE PLAN No. 80
 PLAN No.1**

CED DRO RD3 007A



OTHER

- POS/DRAINAGE
- INDICATIVE ASSET PROTECTION ZONE (APZ)
- PRINCIPAL SHARED PATH (EXISTING)
- PRINCIPAL SHARED PATH (PROPOSED)
- VIEW CORRIDORS
- POTENTIAL EAST-WEST VEHICLE/ PEDESTRIAN CONNECTION TO BE DETERMINED AT SUBDIVISION STAGE HAVING REGARD TO THE PROVISIONS OF LIVEABLE NEIGHBOURHOODS
- RETENTION OF TREES WITHIN ROAD RESERVE AS FAR AS IS PRACTICABLE

LEGEND

- STRUCTURE PLAN BOUNDARY
- CONTOURS
- EXISTING LOT No./BOUNDARY

DENSITY

- R30
- R40
- R60



SIZE A3
 1:1500
 0 15 30 45 60 75
 metres

REF NO. **CED DRO** DRAW NO. **RD1 004** REV. **H.1**

PLAN No.2 DROVERS PLACE WEST PRECINCT
 Lots 6, 7, 8 and 12462 Drover's Place
 City of Wanneroo

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY