

YANCHEP VILLAGE CENTRE Structure Plan

August 2003

■ Land Use ■ Design ■ Strategy ■ Economics ■ Research

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YANCHEP VILLAGE CENTRE STRUCTURE PLAN

Structure Plan No. 49

Adopted:

This Structure Plan is prepared under the provisions of Part 9
of the City of Wanneroo District Planning Scheme No. 2

CERTIFICATION OF AGREED STRUCTURE PLAN

CERTIFIED THAT AGREED STRUCTURE PLAN:

YANCHEP VILLAGE CENTRE

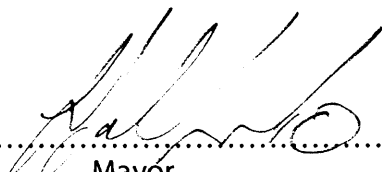
WAS ADOPTED BY RESOLUTION OF
THE WESTERN AUSTRALIAN PLANNING COMMISSION
ON1.2 JAN 2004.....

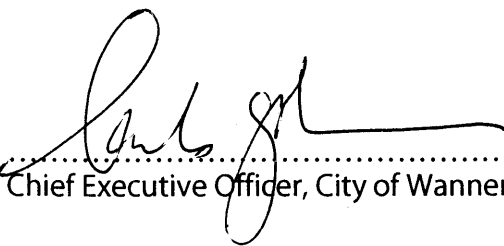
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Chairperson,
Western Australian Planning Commission

AND BY RESOLUTION OF
THE COUNCIL OF THE CITY OF WANNEROO
ON16 DEC 2003.....

AND THE SEAL OF THE MUNICIPALITY WAS PURSUANT TO THE COUNCIL'S
RESOLUTION HERETO AFFIXED IN THE PRESENCE OF

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Mayor,
City of Wanneroo

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.....
Chief Executive Officer, City of Wanneroo



RECORD OF AMENDMENTS TO THE
AGREED STRUCTURE PLAN

YANCHEP VILLAGE CENTRE

Amendment No.	Description of Amendment	Finally Endorsed by Council	Finally Endorsed by WAPC

PART 1: STATUTORY SECTION

This Structure Plan is in two parts. In accordance with clause 9.8.3 (f) of the City of Wanneroo District Town Planning Scheme No. 2 ('the Scheme'), this Part has the same force and effect as a provision, standard or requirement of the Scheme. Part 2 is for explanatory purposes only.

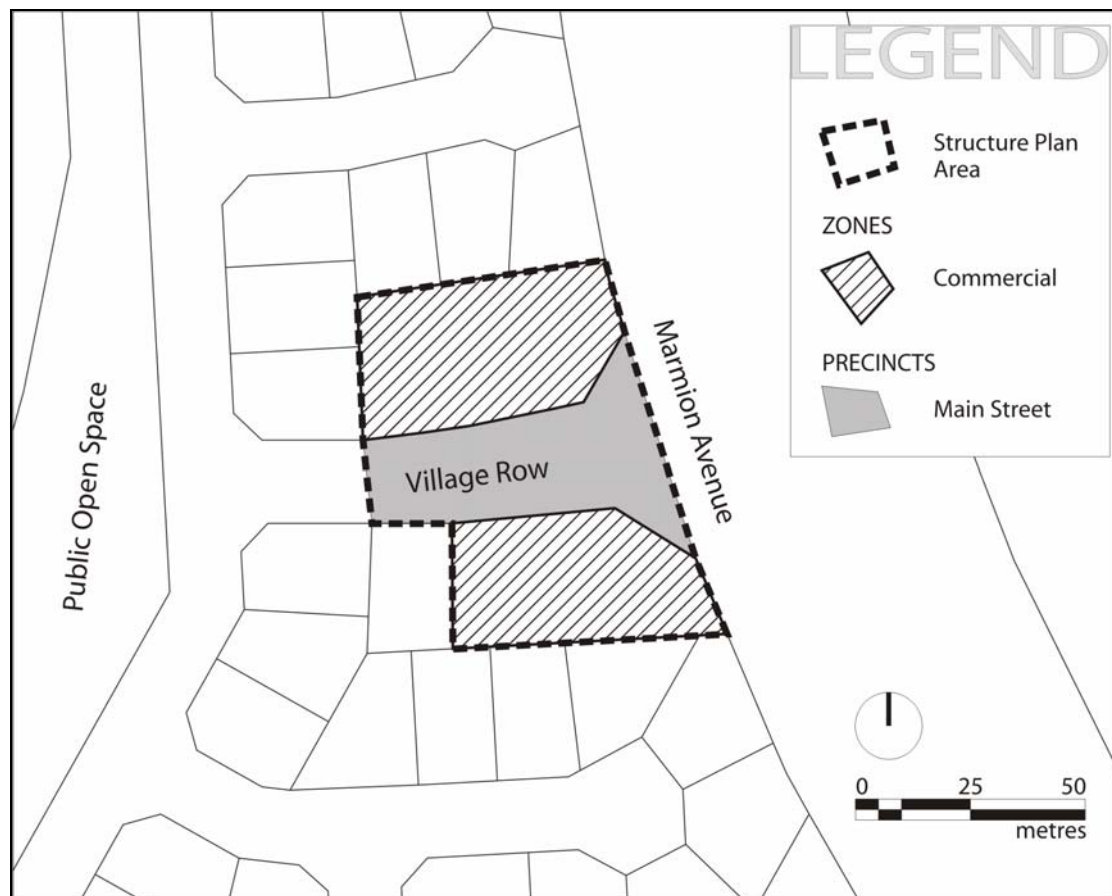
1.1 Structure Plan Area

The Structure Plan Area is depicted in Figure 1. The developable area (hatched) is currently described as Part Lot 9000 on Deposited Plan 35744.

1.2 Zoning and Precincts Map

Figure 1 illustrates the Zones and Precincts that apply to the Structure Plan Area. The provisions and standards applicable to each zone depicted in Figure 1 are those applicable to the equivalent zone in the Scheme, except where they are varied and/ or supplemented by this Structure Plan.

Figure 1 Zoning and Precincts Plan



1.3 Commercial Zone

The following additional provisions shall apply to the Commercial zone in the Structure Plan, in addition to all relevant Scheme provisions:

1.3.1 Shop/Retail Floorspace

The maximum permitted Retail net lettable area (NLA) for the Yanchep Village Centre as shown in Schedule 3 of the Scheme is 550 square metres. The amount of Retail NLA shall not exceed 400 square metres on the northern side of Village Row; and not exceed 150 square metres on the southern side of Village Row.

1.3.2 Residential Development

Residential development shall not be permitted in the Commercial zone unless it forms part of a mixed-use development that complies with Clause 4.2 of the Residential Design Codes of Western Australia. Any residential development within the Structure Plan Area shall conform to the Residential Density Code depicted in the Residential Density Code Plan (Figure 2).

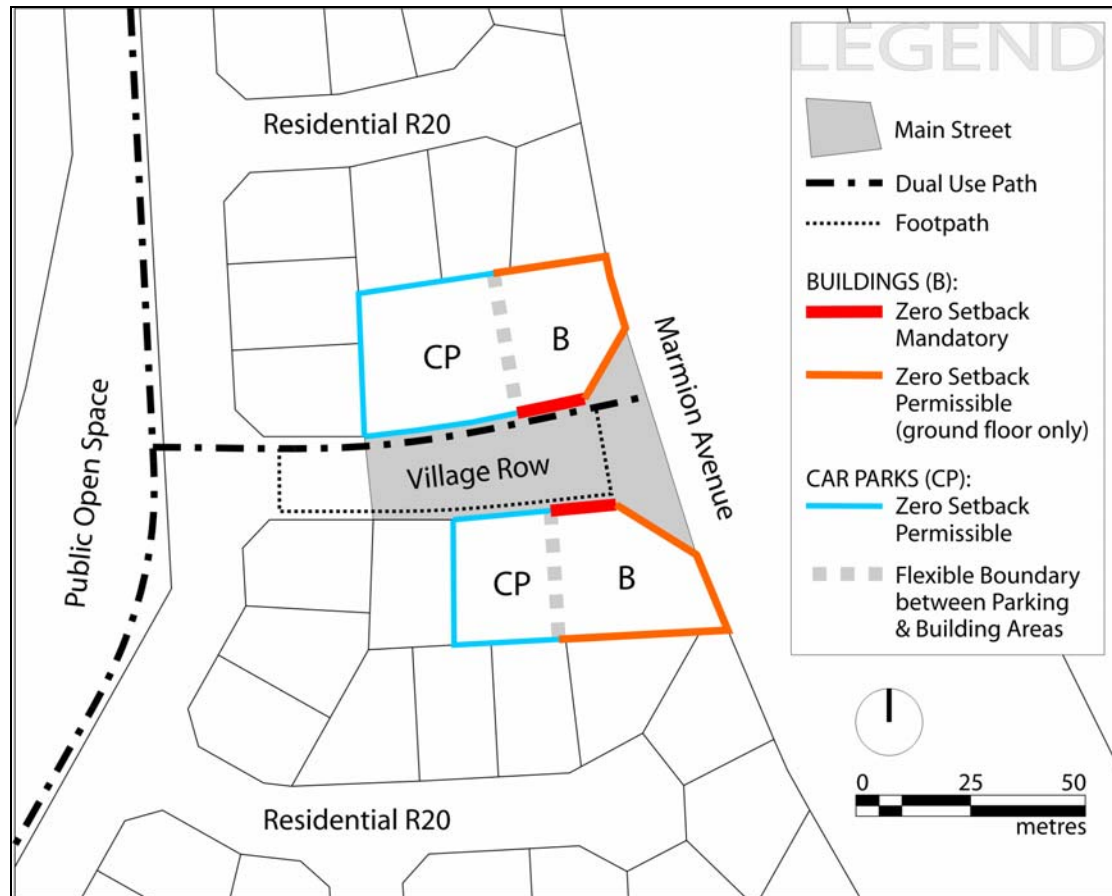
Figure 2 Residential Density Code Plan



1.3.3 Development Control Plan

Development within the Structure Plan Area shall generally be in accordance with the Development Control Plan presented in Figure 3.

Figure 3 Development Control Plan



1.3.4 Car Parking

- (i) On-street car parking is permitted within the Main Street Precinct.
- (ii) Off-street car parking areas shall be provided on the western sides of the Structure Plan Area in accordance with the Development Control Plan.
- (iii) Having regard to the provisions contained in Clause 4.2 of the Scheme, the number of off-street parking bays to be provided shall be sufficient to cater for the size and nature of the particular development/s proposed in the Structure Plan Area, as agreed and/ or determined by the Council.

1.3.5 Pedestrian and Cycle Paths

Pedestrian and cycle paths will be provided generally in accordance with the Development Control Plan.

1.3.6 Main Street Precinct

The Zoning and Precincts Map (Figure 1) and the Development Control Plan (Figure 3) include a Main Street Precinct, in acknowledgement of and in relation to which the following provisions shall apply to any development in the Structure Plan Area:

- (i) One façade of every building or building complex developed in the Structure Plan Area shall be adjacent to the Main Street Precinct.
- (ii) Buildings fronting any section of the Main Street Precinct shall be oriented towards the Precinct and shall have active frontages.
- (iii) The setback to all building façades adjacent to the Main Street Precinct shall be zero.
- (iv) The façade of any building adjacent to the Main Street Precinct shall have continuous and/ or colonnade awnings attached, to provide cover to the footpath. Awnings shall be a minimum of 2 metres in width and have a 2.75 metre clearance from the finished pavement level.
- (v) The awnings on both sides of the Main Street Precinct shall be of the same or complementary style and be made of the same or complementary materials.
- (vi) At least 80 percent of the length of the façade of buildings adjacent to the Main Street Precinct should be glazed.
- (vii) Where practicable, the façades of buildings adjacent to or facing Marmion Avenue shall be glazed, or incorporate some glazing.
- (viii) The façade of each building adjacent to or facing Marmion Avenue shall exhibit a high standard of design, incorporating some variation in its appearance through the appropriate use of glazing, other materials, colour, roof pitch, etc.
- (ix) At least one building within the Structure Plan Area at or near the corner of Marmion Avenue and Village Row shall be designed as a landmark building, which has a special building elevation and window treatment that draws attention to the location, including such features as distinctive roof forms, balconies, articulation of corner wall elements, entry forecourts, materials and colours.
- (x) Signs shall integrate with the building form, be appropriate in character and not project above a building parapet or extend beyond the eave line unless they are part of a design feature that was identified in an approved development application.
- (xi) The Village Row street verges shall be fully paved and incorporate street trees, car parking bays and street furniture.
- (xii) Pedestrian links shall be provided from the street system and car parks to building entrances.
- (xiii) The finished floor level of buildings fronting the Main Street shall be at grade to the adjoining path system.
- (xiv) Service areas, bin and material storage areas and services such as air conditioners, compressors and other machinery shall be located away from public areas and screened from public areas and the street by an

enclosure compatible with the style and materials of the building. Such areas shall be designed and located to minimise the visual, noise and odour impacts on adjoining residential properties.

- (xv) Roof mounted mechanical equipment, if required, shall be screened from view by the roof form of parapet walls.
- (xvi) The wall height of any buildings located along the boundary of a residential property shall be limited to 5 metres beyond which comments are to be sought by the affected adjoining landowners with any comments received being considered by Council when determining the development application.
- (xvii) The permissible zero setback being restricted to the extent shown on the development control plan.
- (xviii) The applicant shall provide an appropriate road safety audit to address the suitability of access points and on street car parking embayments, prior to development being approved for the site by the City of Wanneroo.

End of Part 1