

PART 1 – STATUTORY REPORT
LOCAL STRUCTURE PLAN



LOTS 1001 AND 1002
MARMION AVENUE,
ALKIMOS
AS AMENDED



Structure Plan Number 60

**CERTIFIED THAT AGREED LOCAL STRUCTURE PLAN No. 60
LOTS 1001 AND 1002 MARMION AVENUE, ALKIMOS**

WAS ADOPTED BY
RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION
ON 13 NOV 2009

Signed for and on behalf of the Western Australian Planning Commission

.....
an officer of the Commission duly authorised by the Commission pursuant to Section 24 of the
Planning and Development Act 2005 for that purpose,

in the presence of:

PS Chuanke Witness
30 APR 2010 Date

AND BY

RESOLUTION OF THE COUNCIL OF THE CITY OF WANNEROO
(or as otherwise delegated under section 9.1 of its Delegated Authority Register)
ON 27 JAN 2010

AND THE SEAL OF THE MUNICIPALITY WAS PURSUANT
TO THE COUNCIL'S RESOLUTION HEREUNTO AFFIXED IN THE
PRESENCE OF:

[Signature]
.....
Mayor, City of Wanneroo
[Signature]
.....
Chief Executive Officer, City of Wanneroo
1.2.10 Date



RECORD OF AMENDMENTS MADE TO THE LOTS 1001 AND 1002 MARMION AVENUE

ALKIMOS AGREED STRUCTURE PLAN NO. 60

Amendment No.	Description of Amendment	Finally Endorsed Council	Finally Endorsed WAPC
1.	Variations to Residential Design Code Provisions for R20 and R25 front loaded lots.	26 May 2011	19 September 2011

STATUTORY REPORT

1.0 STRUCTURE PLAN AREA

This Structure Plan shall apply to Lots 1001 and 1002 on deposited plan 61236 being the land shown on the Structure Plan location map (Plan 1).

2.0 STRUCTURE PLAN CONTENT

This Structure Plan comprises the:

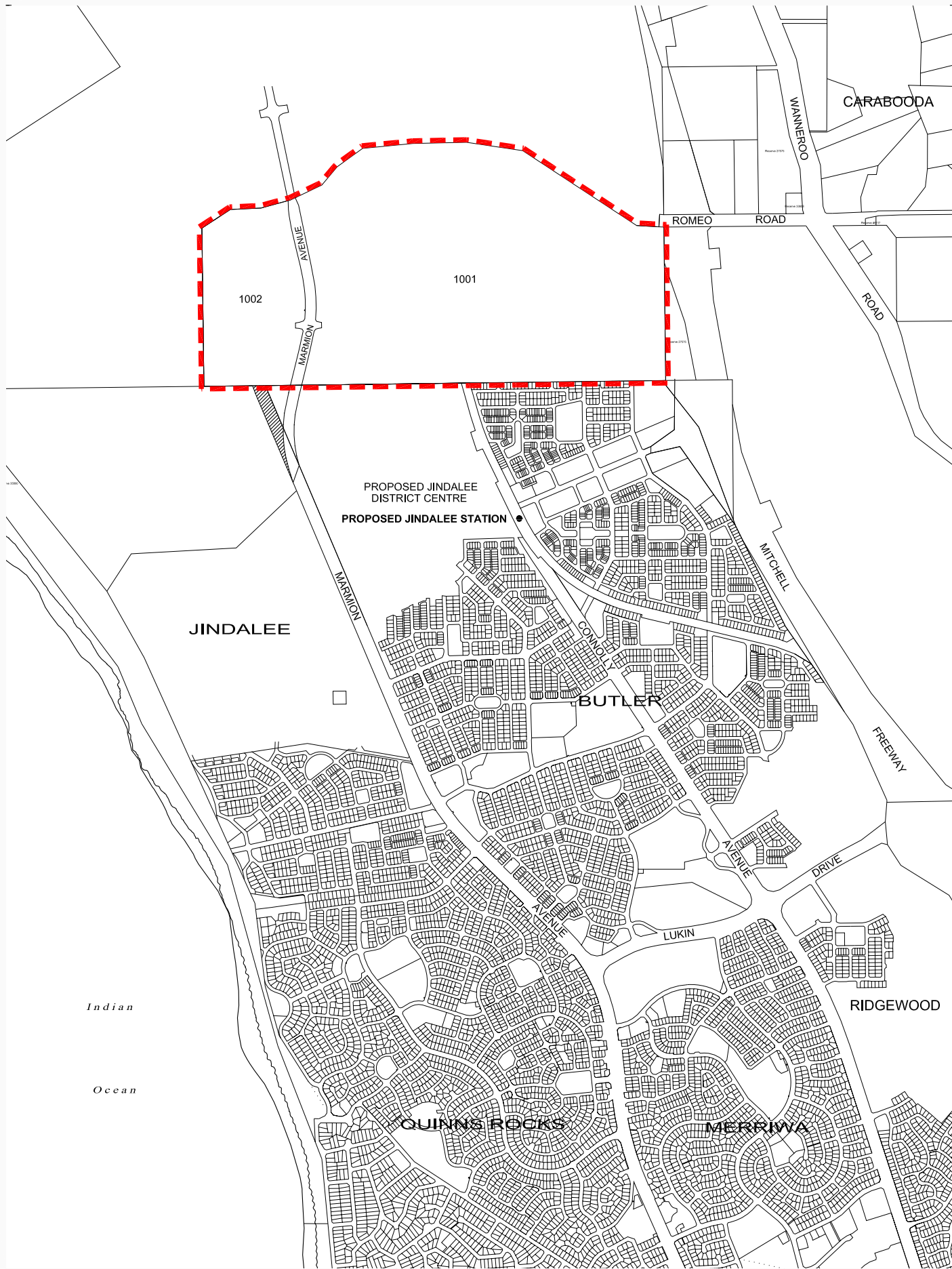
- Statutory Report (Part 1);
- Explanatory Report (Part 2 - separate document).

3.0 INTERPRETATION

The words and expressions used in this Structure Plan shall have the respective meanings given to them in the Scheme, or where not defined in the Scheme, as set out hereunder:

4.0 OPERATION DATE

In accordance with sub-clause 9.8.1 of the Scheme, this Structure Plan shall come into operation on the later date when it is either certified by the Commission pursuant to subclause 9.6.3 or adopted, signed and sealed by the Council under subclause 9.6.5.

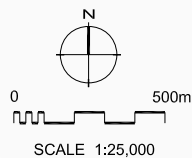


AGREED LOCAL STRUCTURE PLAN
LOTS 1001 & 1002 MARMION, ALKIMOS
LOCALITY PLAN

PLAN 1

28 OCTOBER 2009

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5.0 RELATIONSHIP WITH THE SCHEME

In accordance with clause 9.8 of the Scheme:

- a) The provisions, standards and requirements specified under Part 1 of this Structure Plan shall have the same force and effect as if it were a provision, standard or requirement of the Scheme. Part 2 of this Structure Plan is for explanatory purposes only in order to provide a descriptive analysis of the Structure Plan.
- b) In the event of there being any inconsistencies or conflict between the provisions, standards or requirements of the Scheme and the provisions, standards or requirements of this Structure Plan, the provisions, standards or requirements of the Scheme shall prevail.

5.1 Relationship with Butler Jindalee Agreed District Structure Plan

The Local Structure Plan has been prepared generally in accordance with the Butler Jindalee Agreed District Structure Plan (BJDSP) which was finally adopted by the Western Australian Planning Commission in October 2006.


In respect to Lots 1001 and 1002, the BJDSP depicts the broad land use – primarily residential together with; two primary school sites, portion of a district high school site and district open space; three local centres; and a service industrial corridor on the eastern boundary of the property. The BJDSP also defines the alignment of the Northern Suburbs Railway; the major road structure including the Mitchell Freeway adjacent to the eastern boundary, Marmion Avenue and Romeo Road and the main neighbourhood connector roads.

The Local Structure Plan embraces all of the elements set out in Butler Jindalee Agreed District Structure Plan.





6.0 LOCAL STRUCTURE PLAN

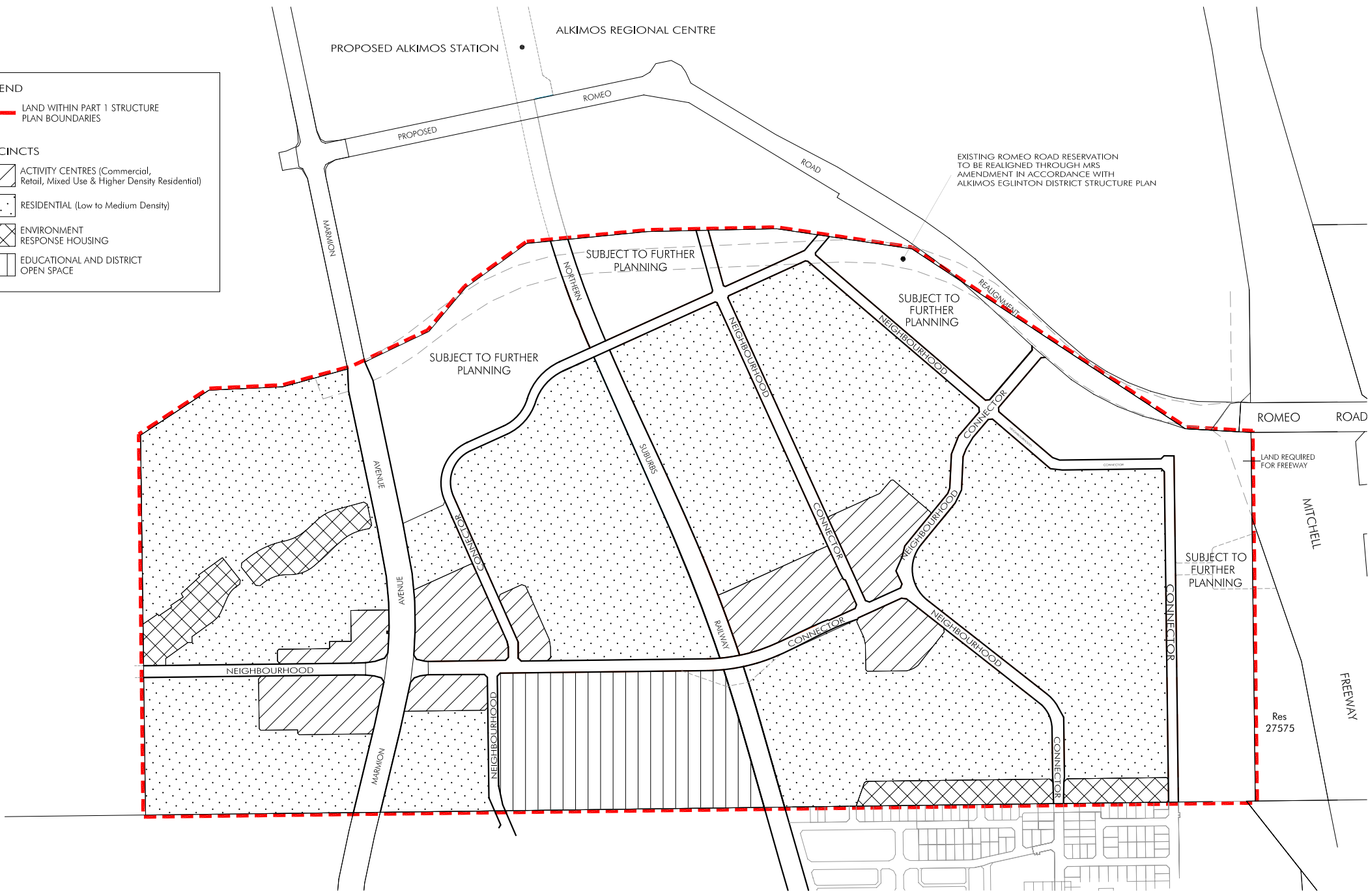
The Local Structure Plan map (Plan 2) outlines the planned pattern of development for the Structure Plan area and depicts the Neighbourhood precincts. All development should be carried out in accordance with the principles outlined in the Agreed Local Structure Plan and as described in clauses 7, 8 and 9 of this document.

LEGEND

 LAND WITHIN PART 1 STRUCTURE PLAN BOUNDARIES

PRECINCTS

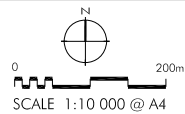
-  ACTIVITY CENTRES (Commercial, Retail, Mixed Use & Higher Density Residential)
-  RESIDENTIAL (Low to Medium Density)
-  ENVIRONMENT RESPONSE HOUSING
-  EDUCATIONAL AND DISTRICT OPEN SPACE



AGREED LOCAL STRUCTURE PLAN
LOTS 1001 & 1002 MARMION AVENUE, ALKIMOS
AGREED LOCAL STRUCTURE PLAN
PLAN 2

28 OCTOBER 2009

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7.0 PLANNING PRINCIPLES

The Local Structure Plan has been prepared having regard to the planning principles derived from the Western Australian Planning Commission's operational policy for the assessment of structure plans and subdivision - Liveable Neighbourhoods, together with the City's Smart Growth and the Activity Centres Strategies.

The following planning principles, objectives and strategies have been adopted in the preparation of the structure plan and these shall be implemented as part of the subdivision and development of the structure plan area.

7.1 Urban Form Principles

- To create a vibrant, sustainable and interactive community that provides a wide range of residential, recreational, retail, education and mixed use areas within walkable neighbourhoods allowing for a variety of living, employment and leisure opportunities;
- To create an urban form which encourages a wide range of lot and housing types in a variety of density settings enhancing lifestyle and affordability opportunities;
- To provide a well connected movement network which facilitates safe, efficient and pleasant walking, cycling and driving, providing access to public transport systems, local employment, retail and community facilities;
- To provide an integrated approach to the retention of key environmental areas, urban servicing and design of open space; and
- To identify and articulate discernable precincts and neighbourhoods addressing Liveable Neighbourhoods Policy.

7.2 Urban Form Elements

Urban Form Elements within the Structure Plan area are guided by key elements contained within Liveable Neighbourhoods:

- Movement Network;
- Housing and Lot Layout;
- Sustainability, Environment and Open Space;
- Community and Schools;
- Infrastructure; and
- Activity Centres & Employment.

7.2.1 Movement Network

Primary Objectives:

- To provide an interconnected movement network to facilitate convenient and safe linkages for vehicles, cyclists and pedestrians to and throughout the residential areas, activity centres, open space and other areas of interest within or adjoining the development including the location of future railway station;
- To provide a street network and design which creates a pleasant public realm and encourages walking, less reliance on the private car and enhances public transport use; and
- To ensure efficient use of land through the application of Liveable Neighbourhoods road design principles and standards.

Strategies:

- To locate neighbourhood connectors and major intersection points generally consistent with the locations depicted in the Structure Plan;
- To create a highly interconnected street network to provide focus on the activity centres with strong links both within and external to the structure plan area, maximising safety, encouraging walking and cycling, supporting public transport and minimising the impact of through traffic;

- To locate a road interface to all areas of public open space, unless it can be demonstrated in a particular instance that an alternative form of interface treatment is appropriate;
- To locate a road interface or at least one side of the railway reserve for emergency access in accordance with Public Transport Authority requirements;
- To design the street network in a way that provides for development orientation toward major roads with the use of rear laneways for lot access;
- To identify a conveniently positioned bus route network providing maximum accessibility in conformance with Public Transport Authority policy;
- To locate a public transport node and access points within the activity centres;
- To design the character of major roads, to provide an environment amenable to pedestrian, cyclists, homes and businesses;
- To design and locate local streets to create safe low vehicle speed environments embracing Liveable Neighbourhood standards for widths, cross sections, truncations, street trees and other matters; and
- To provide for a road network that maximises energy efficiency in accordance with Liveable Neighbourhoods standards.

7.2.2 Housing

Primary Objectives:

- To ensure the provision of choice and a wide range of housing responsive to community needs and sustainability principles;

- To promote efficient use of land through the appropriate spatial allocation of densities and site design; and
- To realistically reflect the constraints and opportunities posed by landform, topography and major infrastructure in the design of subdivision.

Strategies:

- To identify areas of environmental significance within the residential development areas and define precincts with specific provisions to adequately demonstrate how environmental qualities may be protected.
- To provide for generally lower density housing outside the activity centres and other focal areas where higher density housing may be desirable, having regard for the broader locational context of the Structure Plan area.
- To allocate higher residential density codings generally consistent with the Structure Plan and in accordance with the criteria below:
 - along neighbourhood connectors;
 - up to 400 metres of local centres;
 - adjacent to public open space; and
 - other suitable locations as contextually relevant and/or in response to the need to promote diversity.
- To provide for higher densities between R40 and R100 within and around the activity centres.
- To design the road network that allows the creation of residential lots that can be developed in a manner that facilitate passive solar design.
- To support residential design standards which are responsive to site and lot attributes and promote energy efficiency, affordable and flexible building designs.

7.2.3 Sustainability, Environment & Open Space

Primary Objectives:

- To deliver triple bottom line sustainability outcomes being;
 - Economic - Commercial success for all;
 - Environment – Preservation and response to natural features, energy, water and waste minimisation;
 - Social – A vibrant and safe community.

- To create a range of recreational opportunities within the Structure Plan area including active and passive recreation spaces, integrated bushland areas within open space, and conservation areas which generally reflect WAPC subdivision policy requirements, and the City of Wanneroo's environmental policy framework;

- To retain a natural landscape character through local vegetation retention, native landscape themes and the reuse of native vegetation;

- To provide for the co-location, integration and sharing of public (district) open space areas and recreation facilities with schools;

- To create an area of quality community open space within the Village Centres (town square);

- To locate open spaces to ensure good pedestrian accessibility and to enhance pedestrian movement opportunities throughout the structure plan area;

- To ensure surveillance of public open space areas to enhance security;
and

- To promote passive solar design.

Strategies:

- To provide a minimum of 10% of the gross subdivisible area as POS in accordance with WAPC policy and should achieve the following:
 - A maximum of 5.5 ha for district open space co located with the high school and primary school in the location depicted on the Structure Plan;
 - Provide a practical balance between the protection of local vegetation, community requirements and provision of active and passive parkland;
 - Provide a range of passive 'pocket parks' with a high amenity focus;
 - Provide good connectivity to and through the open spaces and ensure most residents are no more than 450 metres from an open space; and
 - Integration of drainage into multiple use open space to promote best practice water sensitive urban design. This does not preclude the use of basins where appropriate.

- To selectively retain native vegetation in road reserves, public parkland and lower density lots;

- To use native landscape themes where appropriate for public open spaces, street trees and private landscape packages.

- To undertake seed collection and propagation of indigenous plant species within the identified good to pristine quality condition vegetation for rehabilitation of degraded sites and reuse in POS / conservation areas.

- To prepare and implement an Integrated Urban Water Management Plan to incorporate best practice urban water management techniques including, where appropriate, stormwater harvesting, water demand management (including landscaping, POS, nutrient management) and overall water quality management;

7.2.4 Community and Schools

Primary Objectives:

- To create a distinctive and responsive built form that enhances the sense of neighbourhood and community identity, place and character.
- To provide community facilities and services (including retail, education, leisure, health, community centre, recreation child care etc), a variety of housing choice and a legible street network which facilitates community interaction, supports different needs and lifestyles and provides acceptable levels of safety and convenience for all;
- To provide educational facilities and services that meets the needs of the future community;
- To promote efficiency of land use through innovative design and site planning solutions; and
- To promote the co location of educational facilities and services with, and within, areas of active open space and community uses.

Strategies:

- To provide two Public Primary School sites, one stand alone (4.0 ha min) and one co located (3.5 ha min); and one High School site co located with the District Open Space within the development area in accordance with the Department of Education and Training requirements and the Butler Jindalee Agreed District Structure Plan provisions.
- To incorporate within the District Open Space, recreational facilities including active playing fields and associated buffers, hard courts, car parking, change rooms and other facilities as proposed by the City and Department of Education and Training and implemented by the City;
- To design and locate all educational facilities to encourage contemporary urban form outcomes. Buildings will be encouraged to address and integrate with the street and be designed to promote multiple use of

buildings by the public and safe access by a range of transport modes with a sufficient size, configuration and topography to accommodate the intended use;

- To encourage the sharing of school infrastructure with the broader community through partnerships with local governments, and the developer; and
- To incorporate a public art program reflecting the local, European and Aboriginal culture as well as responding to the natural environment.

7.2.5 Infrastructure

Primary Objectives:

- To optimise the use of existing infrastructure and assets within and surrounding the site;
- To ensure that community, commercial and employment infrastructure together with roads, rail services and public transport, are provided in an appropriate staged manner as development proceeds; and
- To achieve land use and infrastructure efficiency and sustainability through integrated drainage management, consistent with Liveable Neighbourhoods.

Strategies:

- To liaise with all service providers to ensure the efficient and timely provisions of all service infrastructure.
- To provide communications infrastructure to improve local employment opportunities.

7.2.6 Activity Centres & Employment

Primary Objectives:

- To establish accessible and amenable main street based village centres in accordance with Liveable Neighbourhoods principles to best service the commercial, social and employment needs of the community and act as a focus for community activity and interaction;
- To create a robust urban framework within and around centres which enhances the opportunity for mixed use local based employment and active focal points.

Strategies:

- To design main street based village centres in locations central / accessible to their respective catchments in the east and west of the Structure Plan area.
- To promote multimodal access to centres through their location on higher order roads and public transport, pedestrian and cycle routes.
- To maximise on-street parking at centres to enable appropriately reduced private parking, make best use of urban land and encourage alternative modes of transport.
- To incorporate a diversity of land uses within centres consistent with their function under the City's Activity Centres Strategy.
- To incorporate vertical as well as horizontal mixed use integration.
- To concentrate higher residential densities in and around centres to maximise catchment, access to the centres, reduced car dependence and after-hours surveillance and use.
- To provide a range of programs to facilitate local economic development and employment; and

- To finalise the Employment Strategy as well as the implementation of the strategy actions arising from the final report to the satisfaction of the City.

8.0 ZONING AND R-CODING

The Zoning Map (Plan 3) delineates and depicts the zone applicable to the structure plan area according to the legend thereon. The R-Code map (Plan 4) delineates and depicts the residential density code applicable to the structure plan area.

The zones and residential density codes designated under this structure plan apply to the land within it as if the zones and residential density code were incorporated in the Scheme.

All provisions, standards and requirements applicable to the zones and residential density codes in the Scheme shall apply, unless specific provision is made to the contrary in this Structure Plan.

9.0 LAND USE PRECINCTS

Four separate land use precincts are identified on the Local Structure Plan;

- Precinct 1: Activity Centres – Commercial / Retail, Mixed Use and Higher Density Residential.
- Precinct 2: Residential – Low to Medium Density.
- Precinct 3: Environment Responsive Housing.
- Precinct 4: Educational and District Open Space.

9.1 Precinct 1 Activity Centres – Commercial/Retail, Mixed Use and Higher Density Residential

There are two Activity Centre Precincts within the Structure Plan area. The western precinct is located around the intersection of Marmion Avenue and the main east-west neighbourhood connector. The eastern precinct is located in the heart of the eastern cell at the intersection of two neighbourhood connectors.

LEGEND

LAND WITHIN PART 1 STRUCTURE PLAN BOUNDARIES

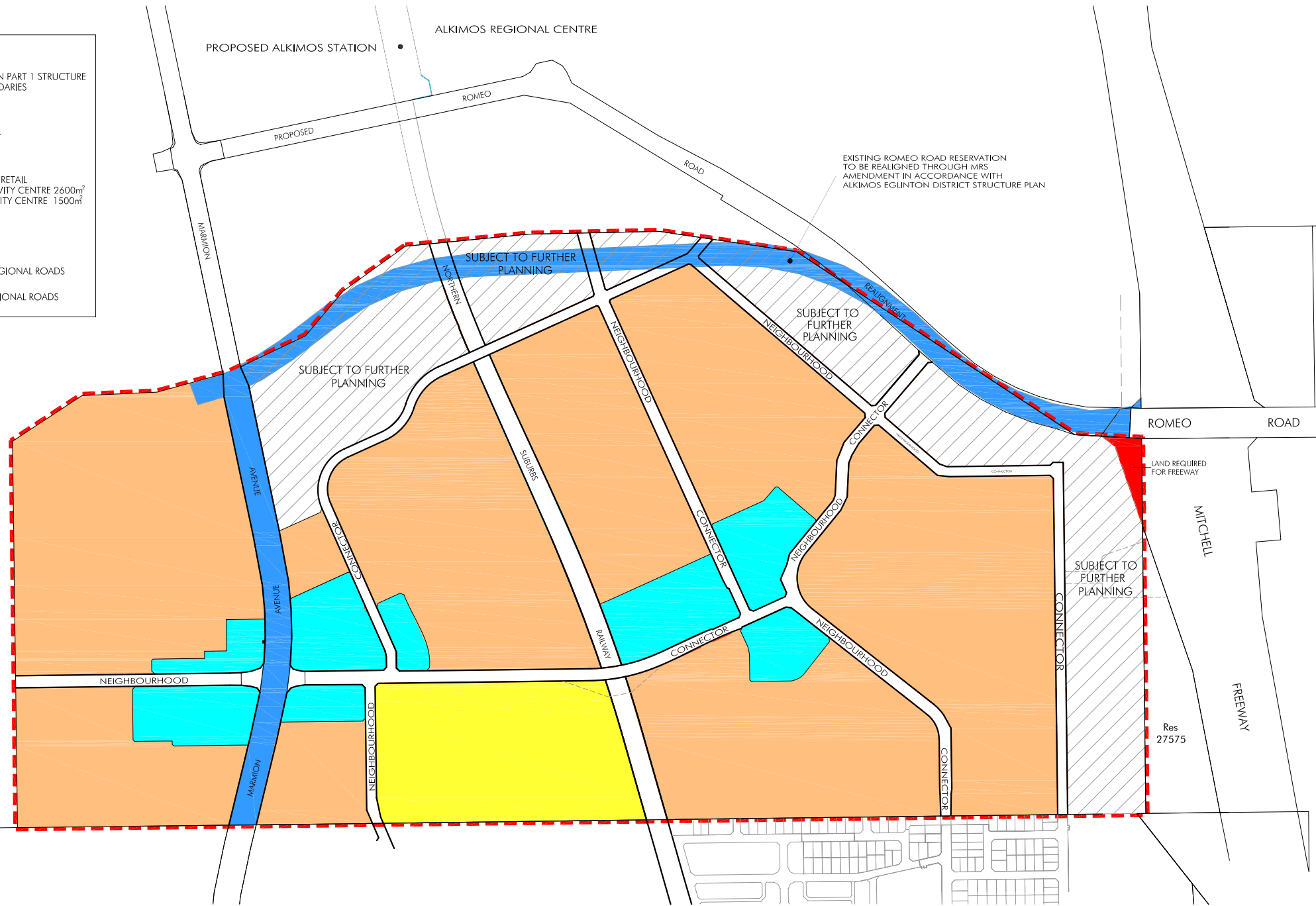
ZONES

- RESIDENTIAL
- CENTRE

NOTE : MAXIMUM NLA RETAIL
 WESTERN ACTIVITY CENTRE 2600m²
 EASTERN ACTIVITY CENTRE 1500m²

RESERVATIONS

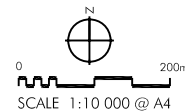
- PUBLIC USE
- PRIMARY REGIONAL ROADS
- OTHER REGIONAL ROADS



AGREED LOCAL STRUCTURE PLAN
LOTS 1001 & 1002 MARMION AVENUE, ALKIMOS
ZONING MAP
PLAN 3

28 OCTOBER 2009

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9.1.1 Objectives:

- The objective of the Activity Centre Precinct is to facilitate the creation of vibrant centres with a diverse mix of uses including commercial and retail activities as well as leisure, health and community services. More intensive housing is also proposed within and around the activity centres. The creation of a strong public realm based upon more intensive urban design with an emphasis on streetscape amenity to enhance the sense of place is also a fundamental objective in the creation of activity centres.
- The land included within the Local Structure Plan boundary is located between the proposed District Centre at Jindalee and the proposed Regional (City) Centre at Alkimos. As such, the two activity centres within the Structure Plan area will be relatively small and intimate.

9.1.2 Provisions:

- Centre Zone Structure Plan

The two Activity Centres Precincts are zoned 'Centre'. A separate Centre (Local) Structure plan(s) will be required for each activity centre in accordance with clause 3.13 of the Scheme. The Centre Structure Plans will be prepared as more detailed planning is progressed to refine the design and mix of uses.

The Centre zone Structure Plans will specify the requirement for the preparation of accompanying Detailed Area Plans to define built form, carparking etc as defined under the provisions of the Scheme.

- Land Use Permissibility

Land use permissibility within this precinct shall be in accordance with those contained in the Scheme for Centre zone.

- Retail Floorspace Provision

The retail floorspace provision within each activity centre is identified on Plan 3.

The maximum Retail Nett Leasable Area's (NLA) are as follows;

- Western Centre 2600m² NLA
- Eastern Centre 1500m² NLA

9.2 Precinct 2 Residential – Low to Medium Density Residential

9.2.1 Primary Objectives:

- To ensure the provision of choice and a wide range of housing responsive to community needs and sustainability principles having regard also to the broader locational context and adjacent land uses;
- To promote efficient use of land through the appropriate spatial allocation of densities and site design; and
- To realistically reflect the constraints and opportunities posed by planned infrastructure (railway) as well as landform and topography in the subdivision design.

9.2.2 Strategies:

- To ensure an appropriate mix in lot size and housing forms, a density range from R20 – R60 applies to the whole of the Residential Land Use Precinct. In the detailed subdivision design, lot size will vary depending upon proximity to key design element as generally described below:
 - Provide for generally lower density (R20) traditional housing in areas not directly adjacent to activity centres, school sites, public open space or main connector roads.
 - Allow for higher density (R30-40) housing adjacent to activity centres, school sites, public open space and main connector roads.
 - In the northern transition area on the fringe of the 800 metre radius from the proposed Alkimos Railway Station, higher residential densities (R60) may be supported.
 - Strategically located group housing sites may be developed to R60 density.

9.2.3 Provisions

Land Use Permissibility

- Land use permissibility within this precinct shall be in accordance with the Residential zone under the scheme.

Lot Size/Residential Density

- The Residential Density Code applicable to Residential Land Use Precinct is R20-R60.
- Justification for the variation in densities and lot sizes having regard for the objectives and strategies set out above will be required as part of any subdivision application.
- A Residential Density Code Plan is to be submitted at the time of subdivision to the Western Australian Planning Commission in accordance with the Local Structure Plan. Approval of the Residential Density Code Plan shall be undertaken at the time of determination of the subdivision application by the Western Australian Planning Commission. The approved Residential Density code Plan shall then form part of the Local Structure Plan and shall be used for the determination of future development applications. Variations to the Residential Density Code Plan will require further approval from the Western Australian Planning Commission.
- All higher density single residential lots should be designed with rear laneway access except where lots directly front public open space.

Detailed Area Plans

- Detailed Area Plans will be required as a condition of subdivision to indicate acceptable development standards for all Residential Development at R30 density and higher with rear laneway access, or for lots directly fronting public open space or other sites as specified by the Western Australian Planning Commission.

9.2.4 Residential Design Code Variations

Table A sets out variations to the Residential Design Codes that are deemed Acceptable Development for single houses on R20 and R25 coded lots within the Structure Plan area, and which do not therefore require neighbour consultation and planning approval. The variations are optional not mandatory.

TABLE A – RESIDENTIAL DESIGN CODE VARIATION TABLE		
1. Front Dwelling Setbacks		
Lot Type	Minimum	Average
Front loaded R20 and R25 lots as denoted on the Coding Plan approved at the time of subdivision.	2.5 metres	5.0 metres
In determining the acceptable length of any boundary wall pursuant to Clause 6.3.2.A2 of the R Codes, the front setback shall mean the setback of the dwelling itself on that boundary.		
2. Open Space		
The minimum open space requirement for R20 and R25 lots may be reduced from those specified in the R Codes to a minimum of 40%.		
3. Outdoor Living Area		
The minimum outdoor living area requirement for R20 and R25 lots may be reduced from those specified in the R Codes to a minimum of 25m ² .		

9.3 Precinct 3 Environment Responsive Housing

Two separate areas are identified under Precinct 3 Environment Responsive Housing:

- Western Precinct – Dune Protection Area.
- South Eastern Precinct – Vegetation Protection Area.

9.3.1 Western Precinct – Dune Protection Area

9.3.1.1 Objective:

- The area identified on the Local Structure Plan west of Marmion Avenue comprises part of the southern arm of the parabolic dune system. It is proposed to retain this landform as a significant feature of the development. The steeper southern face is proposed to be retained as public open space. The more gentle northern face is proposed for terrain responsive housing where landform will be retained and less traditional housing forms promoted - light weight structures.

9.3.1.2 Provisions

Land Use Permissibility

- Land use permissibility within this Precinct shall be in accordance with Residential zone under the scheme.

Detailed Area Plan

- A Detailed Area Plan (DAP) will be required for the Environment Responsive Housing – Dune Protection Area Precinct to address:
 - Site contours;
 - Building height;
 - Building location;
 - Setbacks;
 - Protection of view corridors and vistas; and
 - Re-vegetation.

9.3.2 South Eastern Precinct – Vegetation Protection Area

9.3.2.1 Objective:

- As part of a negotiated agreement with Department of Environment, Water, Heritage and the Arts (DEWHA) through the assessment of the project under the Environmental Protection Biodiversity Conservation Act (EPBC) there was a requirement to protect existing vegetation, primarily Tuart Trees, along a portion of the south eastern boundary of Lots 1001 and 1002. This objective has been satisfied with the identification of the Environment Responsive Housing Precinct – Vegetation Protection Area. The extent of the vegetation protection area comprises a depth of approximately 50-60 metres and length of approximately 620 metres as shown on the Local Structure Plan.

9.3.2.2 Provisions

Land Use Permissibility

- Land use permissibility within this Precinct shall be in accordance with Residential zone under the scheme.

Lot Size/Residential Density

- The minimum lot size that is permitted within this Precinct is 1,800m².

Detailed Area Plan

- A Detailed Area Plan (DAP) will be required for the Vegetation Response Housing Precinct to address:
 - Building location and setbacks;
 - Vegetation Protection zones;
 - Fencing
 - Building Design
 - Fire Management
 - Retaining walls (rear interface).

9.4 Precinct 4 Educational and District Open Space

9.4.1 Objective:

- To provide for the co-location of a public high school, district open space and primary school, in a central location with good accessibility. A conceptual plan for the integrated development of the site has been prepared by the City of Wanneroo in conjunction with the Department of Education and Training.

9.4.2 Provisions

Land Use Permissibility

- Land Use permissibility within this Precinct allows for the development of educational and recreation facilities including a public high school, primary school and District Open Space together with any other associated community facilities as agreed by the City. Development will be subject to the provisions under Part 2 (Reserves) of the Scheme.

Land Area Allocation

- The combined area of the site which extends into the Butler Joint Venture land holding to the south is to comprise 23.5 hectares made up as follows:

District Open Space	11.0ha	50% (5.5ha)	from Lots 1001 and 1002
High school site	9.0ha	50% (4.5ha)	from Lots 1001 and 1002
Primary school site	<u>3.5ha</u>	100% (3.5ha)	from Lots 1001 and 1002
			<u>23.5 ha</u>

Of this site total area, 13.5 hectares is to be provided from Lots 1001 and 1002 and 10 hectares from the landholding to the south. The District Open Space is to form part of the 10% provision of public open space from Lots 1001 and 1002.

10.0 GENERAL PROVISIONS

10.1 Economic and Employment Strategy

Preparation of an Economic and Employment Strategy that would integrate at a regional level to the satisfaction of the City Wanneroo within 12 months of the adoption of Lots 1001 and 1002 Marmion Avenue, Alkimos Agreed Structure Plan by the Western Australian Planning Commission.

10.2 Geotechnical Assessment Report

Prior to final approval of the subdivision (at endorsement of Deposited Plans) by the Western Australian Planning Commission, the developer is to have prepared a Geotechnical Assessment Report to the satisfaction of the City of Wanneroo.

10.3 Management Plans

Management Plans for the management and protection of Conservation Areas shall be prepared in consultation with the Department of Environment and Conservation.