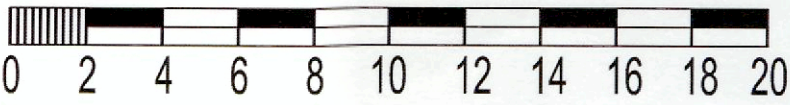
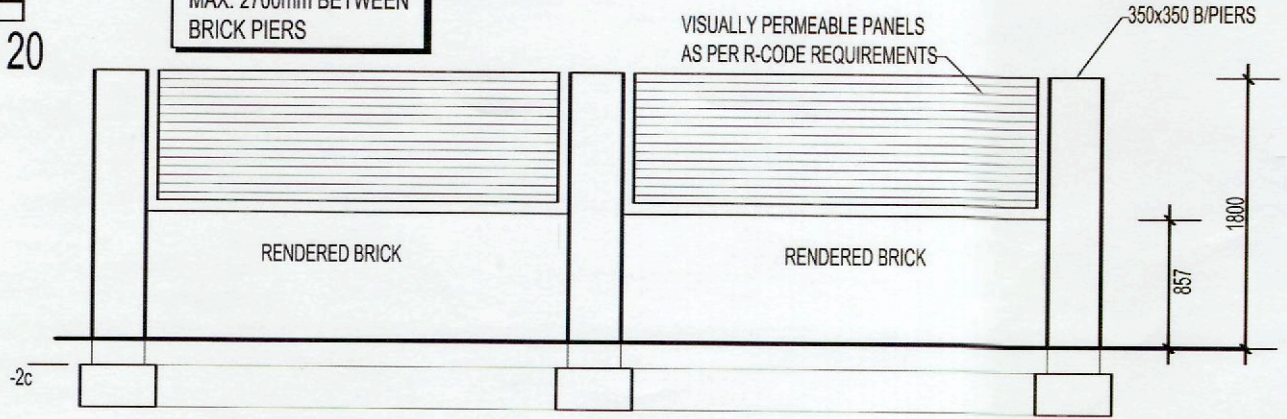


AMENDED PLAN
RECEIVED

SCALE 1:200

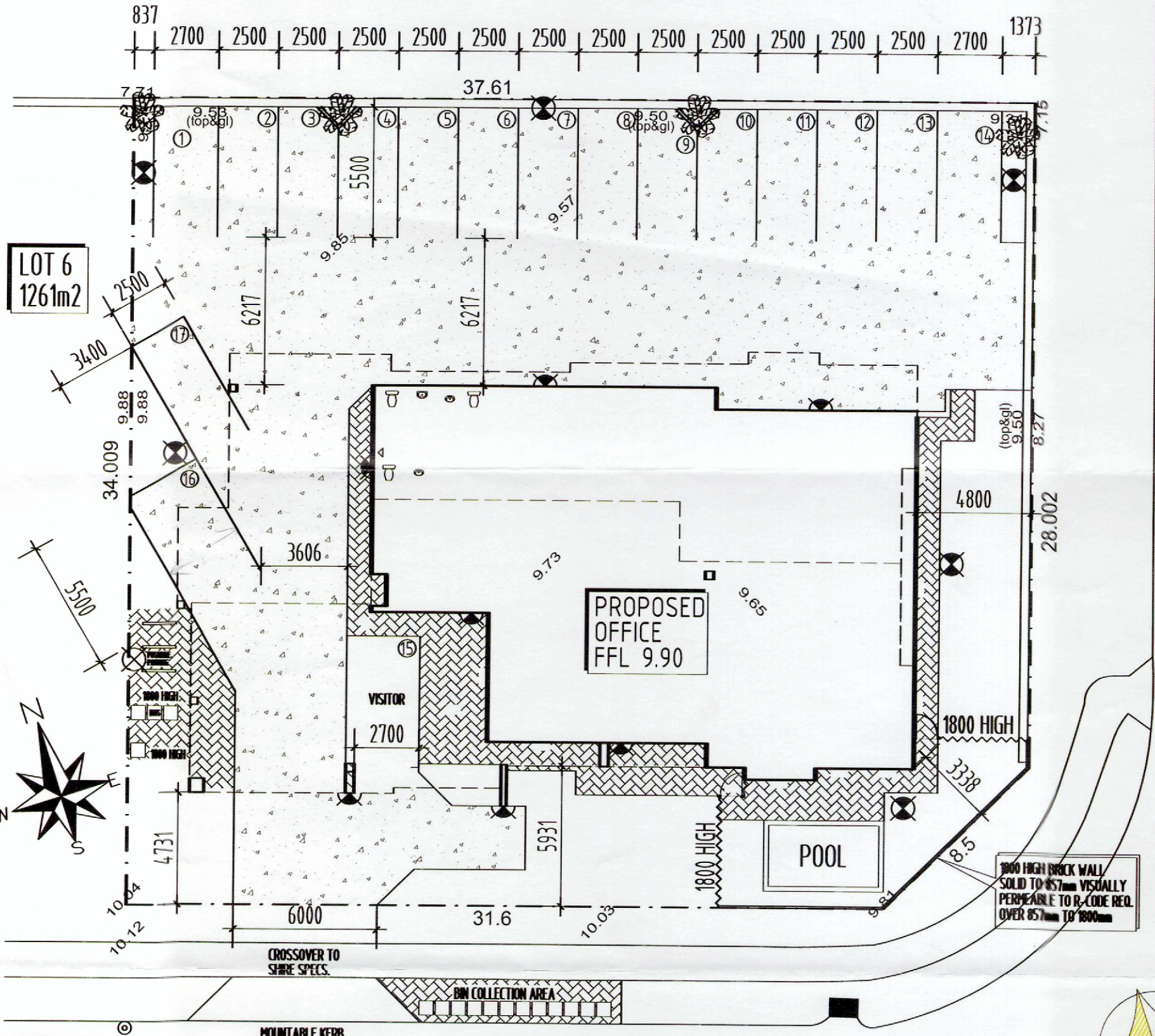


NOTE:
MAX. 2700mm BETWEEN
BRICK PIERS



TYPICAL FRONT FENCE DETAIL
SCALE 1:25

- NATIVE TREE
- SECURITY LIGHTING
- WALL MOUNTED



Ref Nail at base of kerb assumed datum 10.00 m

- BITUMEN
- B/PAVING

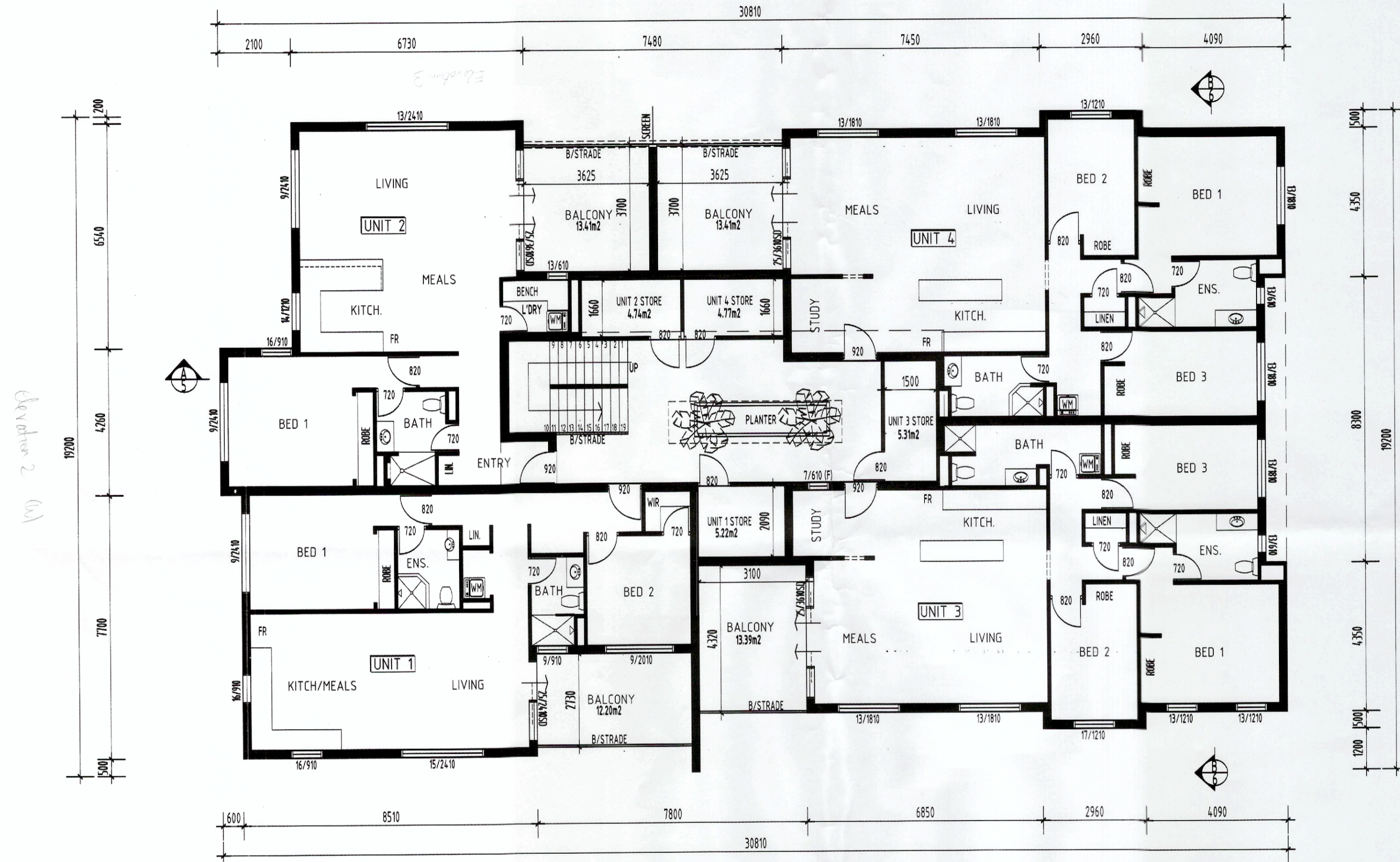
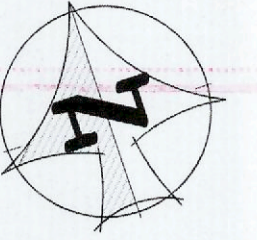
PLOT RATIO
TOTAL AREA (PLOT RATIO) = 825.37m²
TOTAL PLOT RATIO ALLOWED = 882.70m²

CAR BAYS = 225m/30 = 7.5 BAYS (OFFICE)
TOTAL = 5 BAYS (FIRST FLOOR)
TOTAL = 2.75 BAYS (SECOND FLOOR)
VISITORS 6 UNITS x 0.25 = 1.5 BAYS
TOTAL REQ. BAYS = 16.75 = 17 BAYS

- NOTE:**
- TERMITE MANAGEMENT SYSTEM AS PER BCA 3.13 INC.
 - (1) CONC. SLAB AND FOOTINGS TO AS 2870.
 - (2) CHEMICAL BARRIER SPRAY TO AS 3660.1 (B1 - FLEX PRE-CONSTRUCTION (OR SIMILAR))
 - (3) DURABLE NOTICE IN PROMINENT POSITION WITH FULL DETAILS AS PER BCA 3.13(b).
 - (4) REGULAR MAINTENANCE.
 - (5) PHYSICAL BARRIER TO PARAPET WALLS

PARAPET WALL TERMITE TREATMENT = PHYSICAL BARRIER AS PER A.S. 3600 AND BCA REQUIREMENTS. HOMEGUARD BLUE (0.3mm) WILL BE INSTALLED

DRAWING TITLE: SITEPLAN		PROPOSED OFFICE/UNITS		AMENDMENTS:	
DRAWN: MG	JOB No: A3	ON LOT 6 (#44) BORANUP AVENUE CLARKSON		DWG. A01	TOTAL DWG. 06
SCALE: 1:200 U.O.N.	DATE: 1/3/2015				



Development 2 (M)

PLOT RATIO
 TOTAL AREA (PLOT RATIO) = 825.37m²
 TOTAL PLOT RATIO ALLOWED = 882.70m²

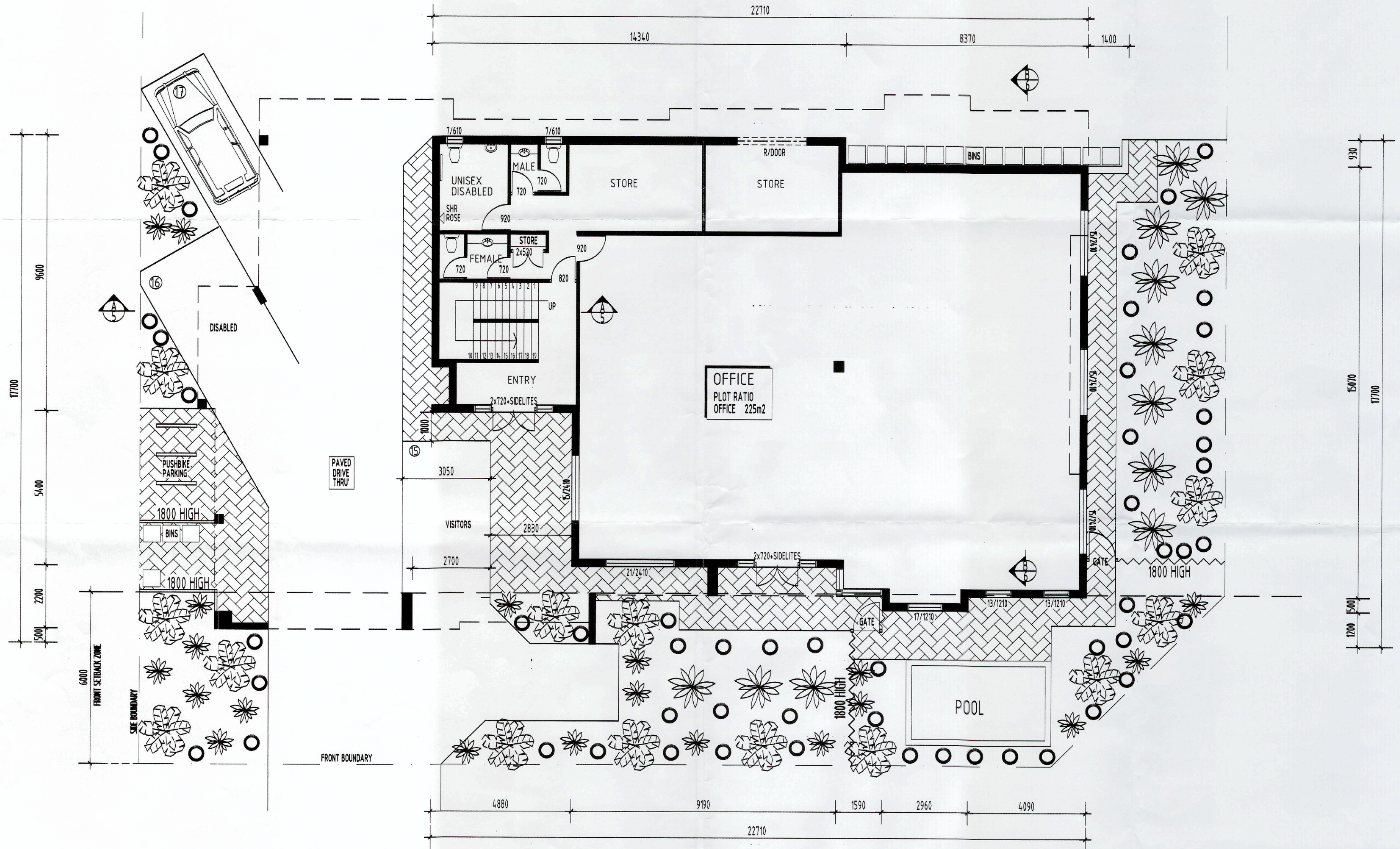
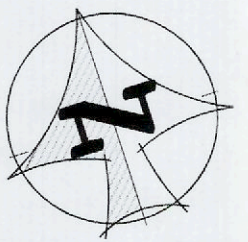
PLOT RATIO	
UNIT 1	89.69m ²
UNIT 2	81.77m ²
UNIT 3	111.82m ²
UNIT 4	114.41m ²
TOTAL	397.69m²
CAR BAYS	
UNIT 1 =	1.25 BAYS
UNIT 2 =	1 BAY
UNIT 3 =	1.5 BAYS
UNIT 4 =	1.5 BAYS
TOTAL =	5 BAYS

CAR BAYS = 225m/30 = 7.5 BAYS (OFFICE)
 TOTAL = 5 BAYS (FIRST FLOOR)
 TOTAL = 2.75 BAYS (SECOND FLOOR)
 VISITORS 6 UNITS x 0.25 = 1.5 BAYS
 TOTAL REQ. BAYS = 16.75 = 17 BAYS

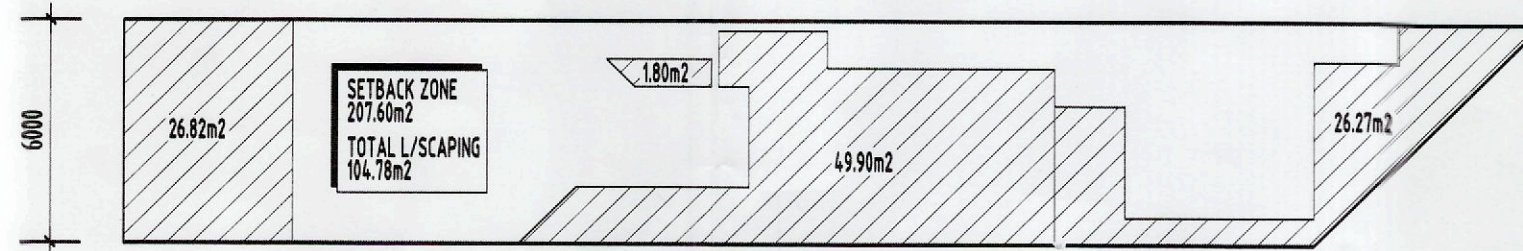
DRAWING TITLE: FIRST FLOOR PLAN		PROPOSED OFFICE/UNITS		AMENDMENTS:		AREA: UNITS/STORE/ BALC.: 476.57m ²		NOTES:	
DRAWN: MG	JOB No: A2	ON LOT 6 (#44) BORANUP AVENUE CLARKSON		DWG: A03	TOTAL DWG: 06	TOTAL: 517.87m ²		TILED SKIRTING TO WET AREAS AS PER BCA 3.8 FLOOR WASTE GULLEYS TO WET AREAS AS PER BCA 3.8 HARDWIRED SMOKE DETECTOR TO AS 3786-1993	RWP'S AND SPREADER POSITION INDICATIVE ONLY FINAL POSITION BY ROOF PLUMBER TO A.S. ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AMNDT 1-2012 MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON
SCALE: 1:100	DATE: 1/3/2015							VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971 & AS1688) CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED. DRAFT PROOFING TO ALL EXTERNAL DOORS	UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/WORK 90mm. ALL INT. B/WORK 90mm. SEALED EXHAUST FAN. TILED FLOORS.

DIMENSIONS ARE FOR BRICK ONLY NO WALL FINISHES ALLOWED FOR DO NOT SCALE FROM THESE DRAWINGS





AMENDED PLAN
RECEIVED



PLOT RATIO
TOTAL AREA (PLOT RATIO) = 825.37m²
TOTAL PLOT RATIO ALLOWED = 882.70m²



SETBACK LANDSCAPE CALCULATION
NTS

-  B/PAVING
-  NATIVE SHRUB TO 1.2 HIGH
-  AGAPANTHUS
-  GREVILLIA

CAR BAYS = 225m/30 = 7.5 BAYS (OFFICE)
TOTAL = 5 BAYS (FIRST FLOOR)
TOTAL = 2.75 BAYS (SECOND FLOOR)
VISITORS 6 UNITS x 0.25 = 1.5 BAYS
TOTAL REQ. BAYS = 16.75 = 17 BAYS

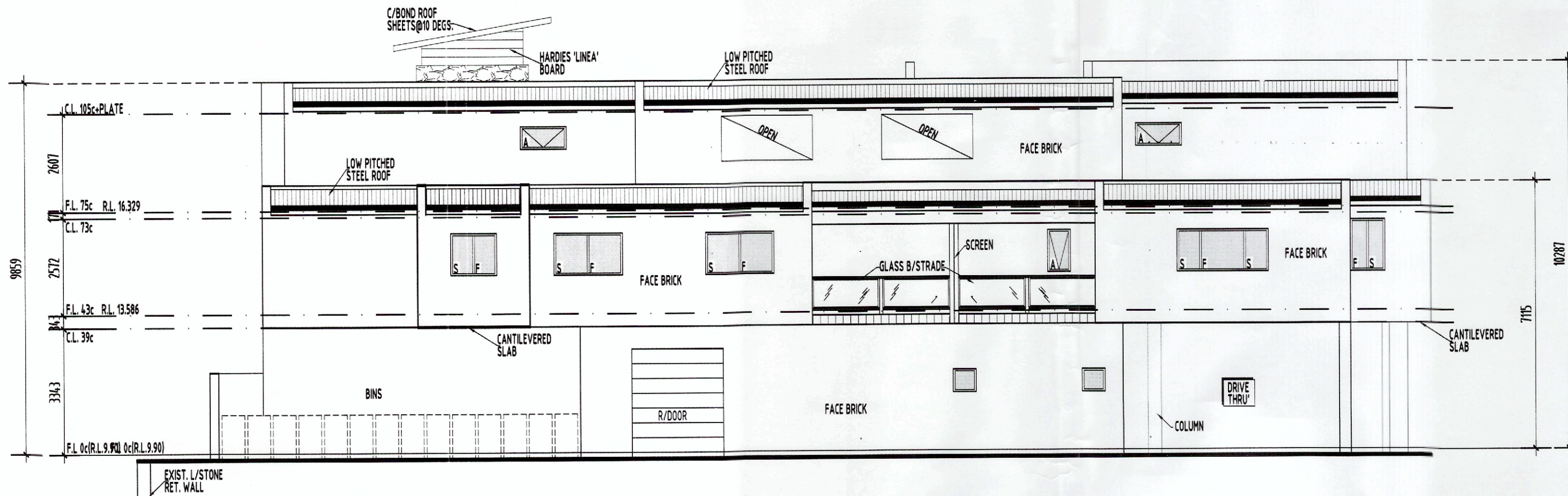
PLOT RATIO
NETT LEASABLE 224.31m²
CAR BAYS = 225/30 = 7.5 BAYS

DRAWING TITLE: GROUND FLOOR PLAN		PROPOSED OFFICE/UNITS	
DRAWN: MG	JOB No: A2	AMENDMENTS:	AREA: OFFICE: 315.80m ²
SCALE: 1:100	DATE: 1/3/2015	DWG: A02	TOTAL DWG: 06
ON LOT 6 (#44) BORANUP AVENUE CLARKSON			

NOTES:

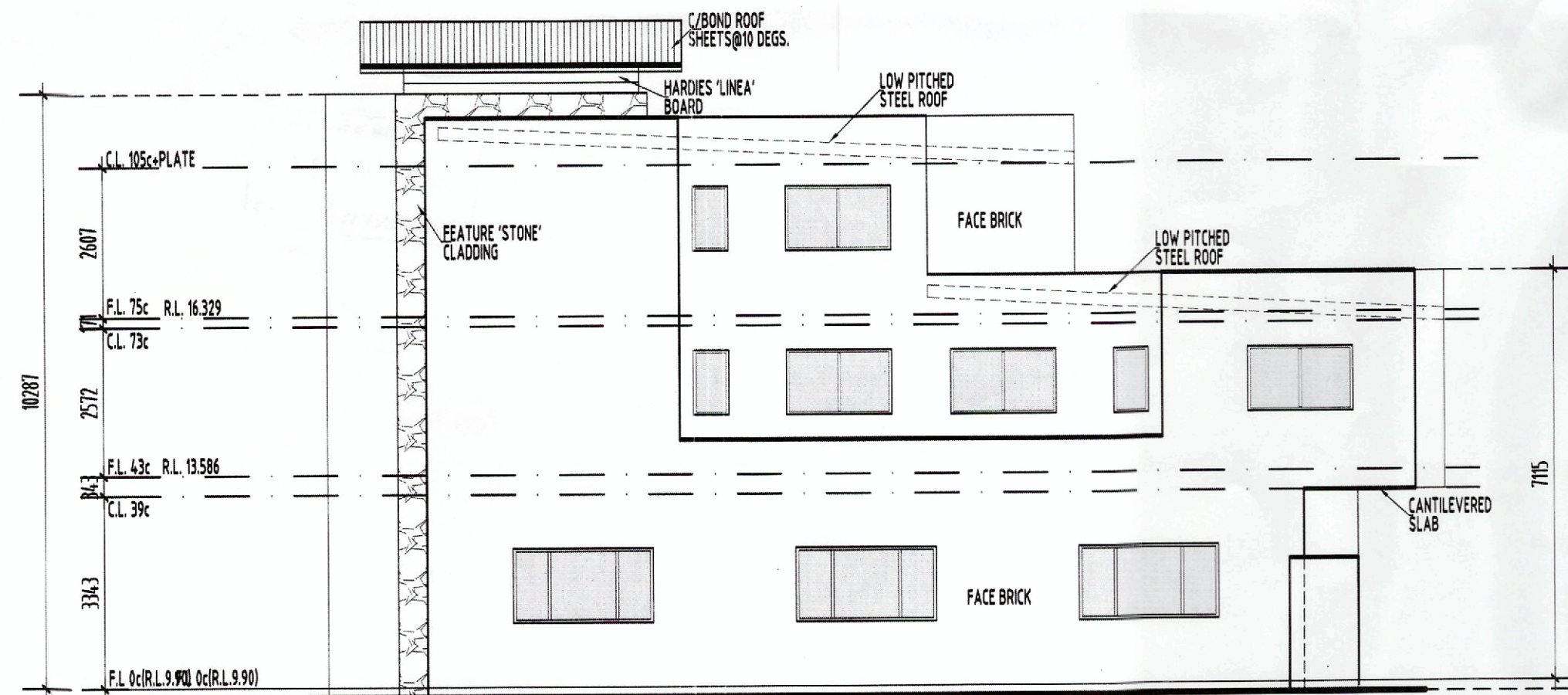
- TILED SKIRTING TO WET AREAS AS PER BCA 3.8
- FLOOR WASTE GULLEYS TO WET AREAS AS PER BCA 3.8
- HARDWIRED SMOKE DETECTOR TO AS 3786-1993.
- RWP'S AND SPREADER POSITION INDICATIVE ONLY. FINAL POSITION BY ROOF PLUMBER TO A.S.
- ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AMNDT 1-2012
- MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON
- VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971& AS1688)
- CHECK ALL DIMENSIONS, DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED.
- DRAFT PROOFING TO ALL EXTERNAL DOORS
- UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/WORK 90mm. ALL INT. B/WORK 90mm.
- SEALED EXHAUST FAN.
- TILED FLOORS.

DIMENSIONS ARE FOR BRICK ONLY
NO WALL FINISHES ALLOWED FOR
DO NOT SCALE FROM THESE DRAWINGS



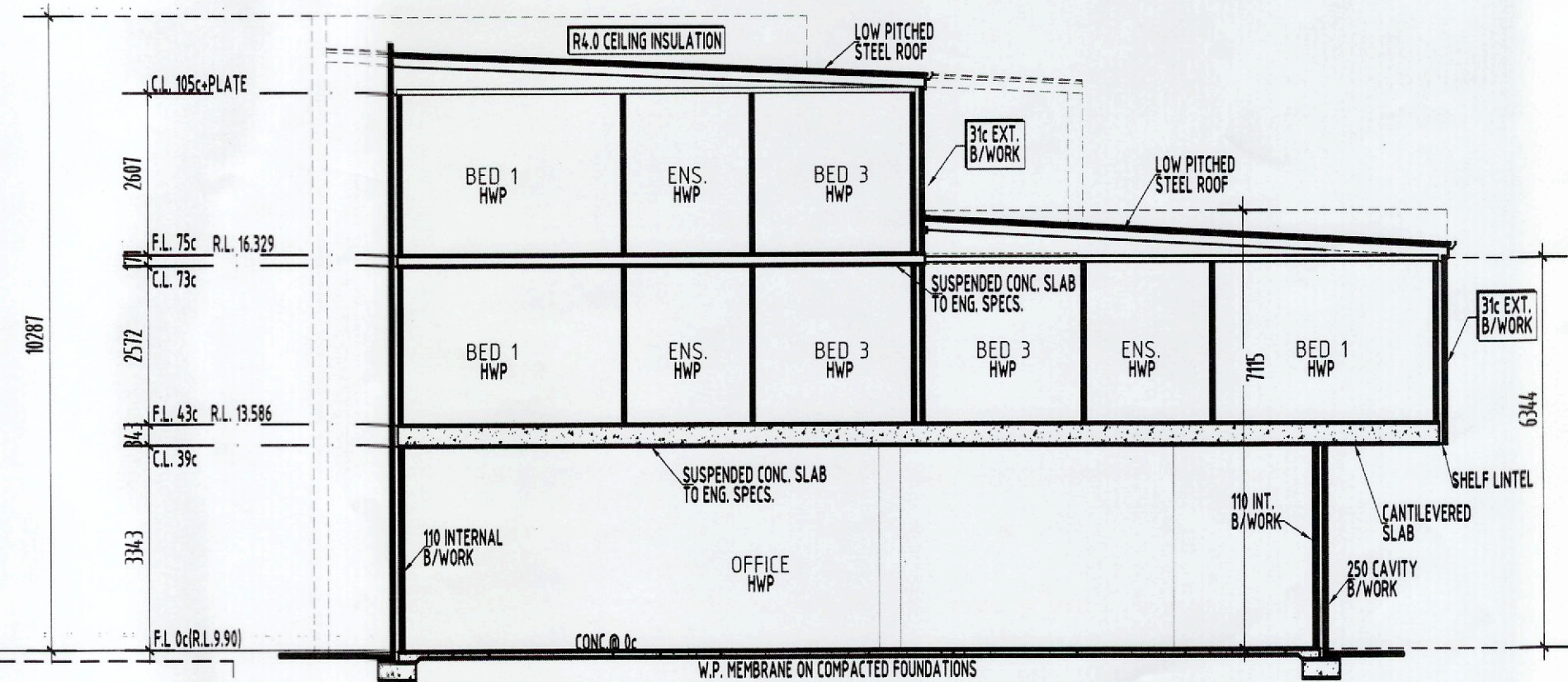
ELEVATION 3

SCALE 1:100



ELEVATION 4

SCALE 1:100

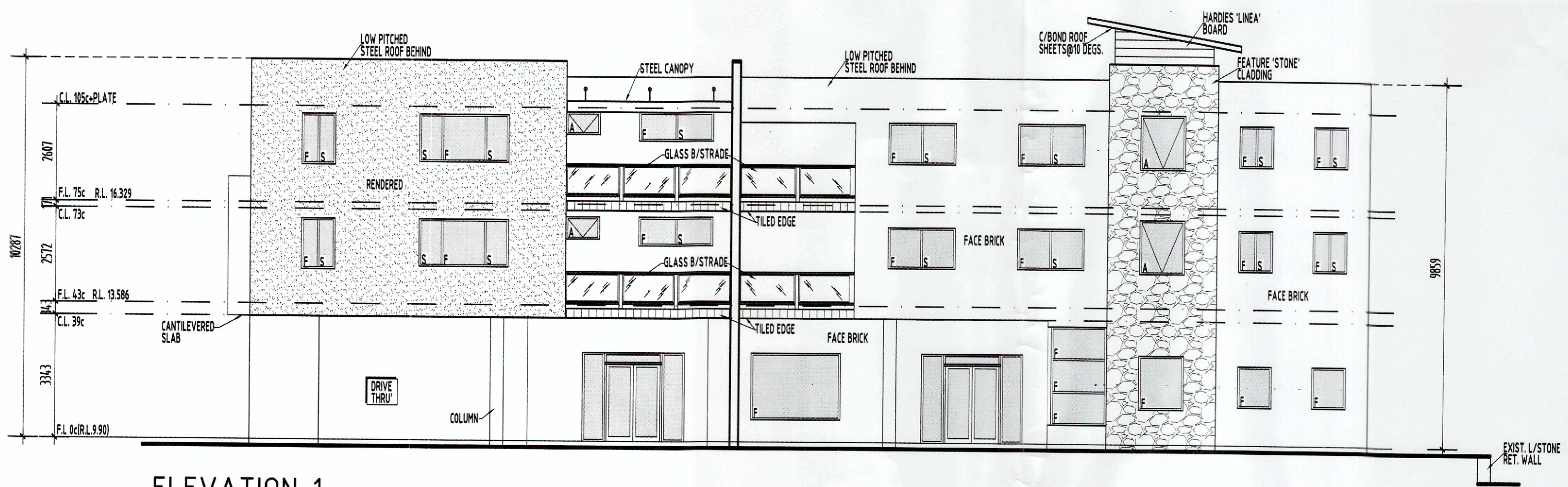


SECTION B-B

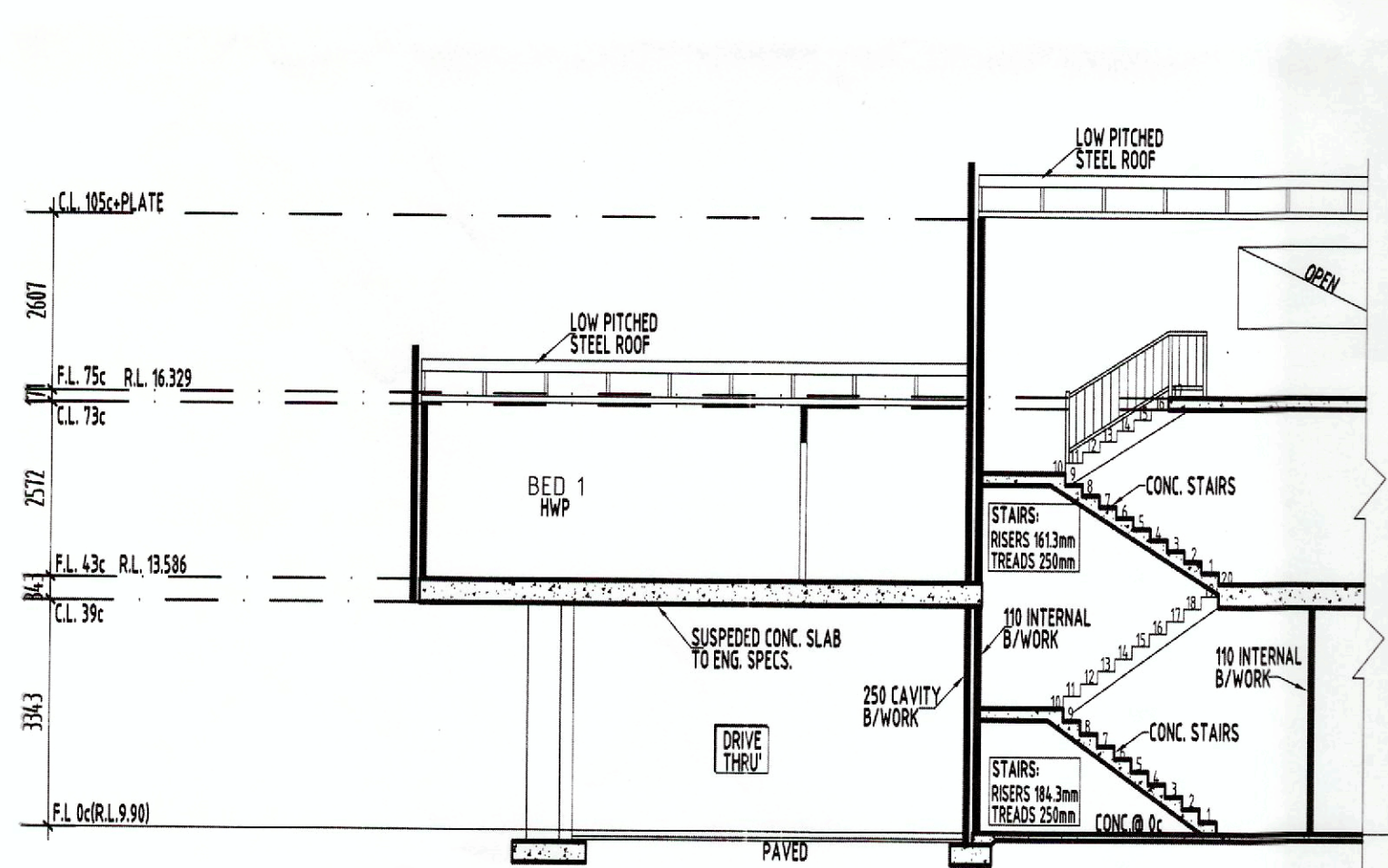
SCALE 1:100

DRAWING TITLE:		PROPOSED OFFICE/UNITS		AMENDMENTS:	
ELEVATIONS/SECTION					
DRAWN: M/G	JOB No: A2	ON LOT 6 (#44) BORANUP AVENUE CLARKSON		DWG: A06	TOTAL DWG: 06
SCALE: 1:100	DATE: 1/31/2015				

AMENDED PLAN
RECEIVED

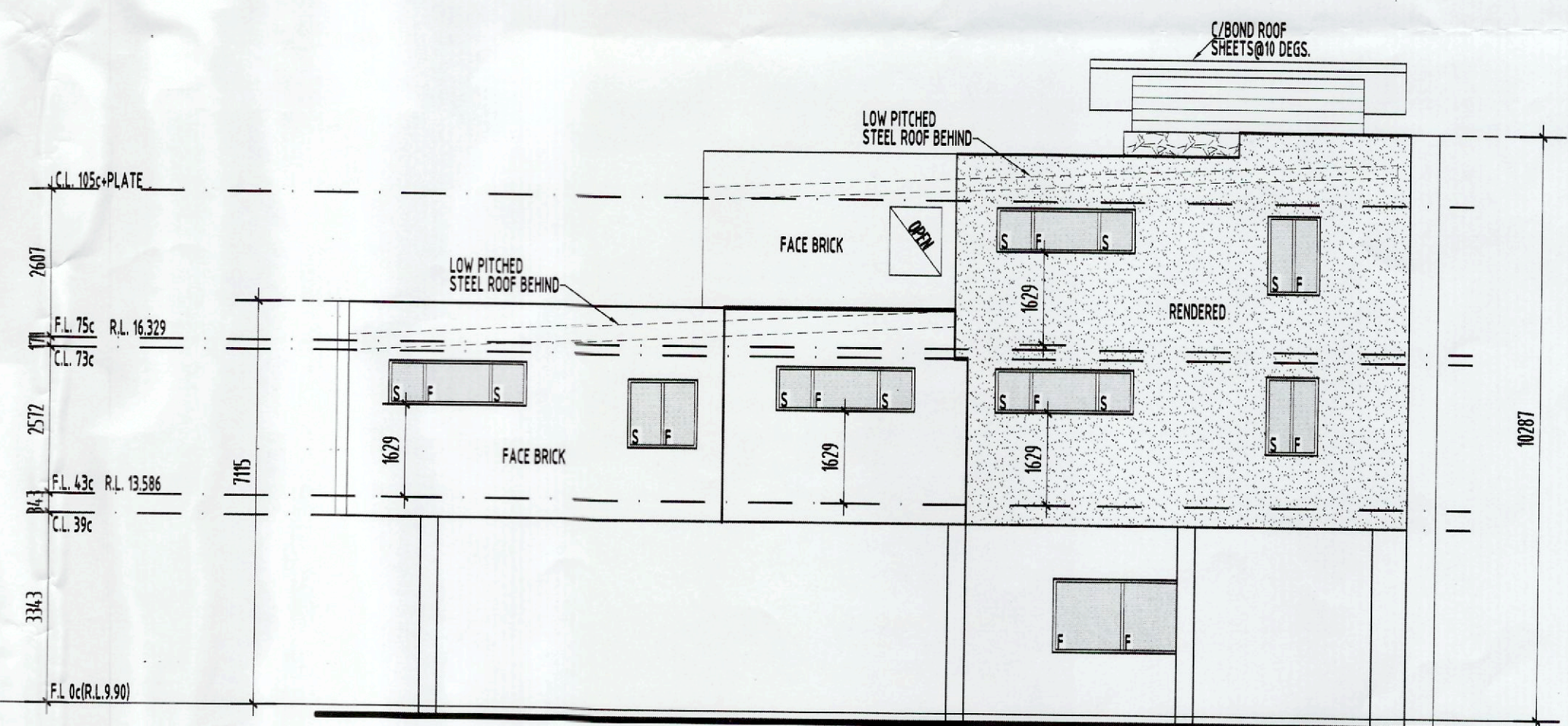


ELEVATION 1
SCALE 1:100



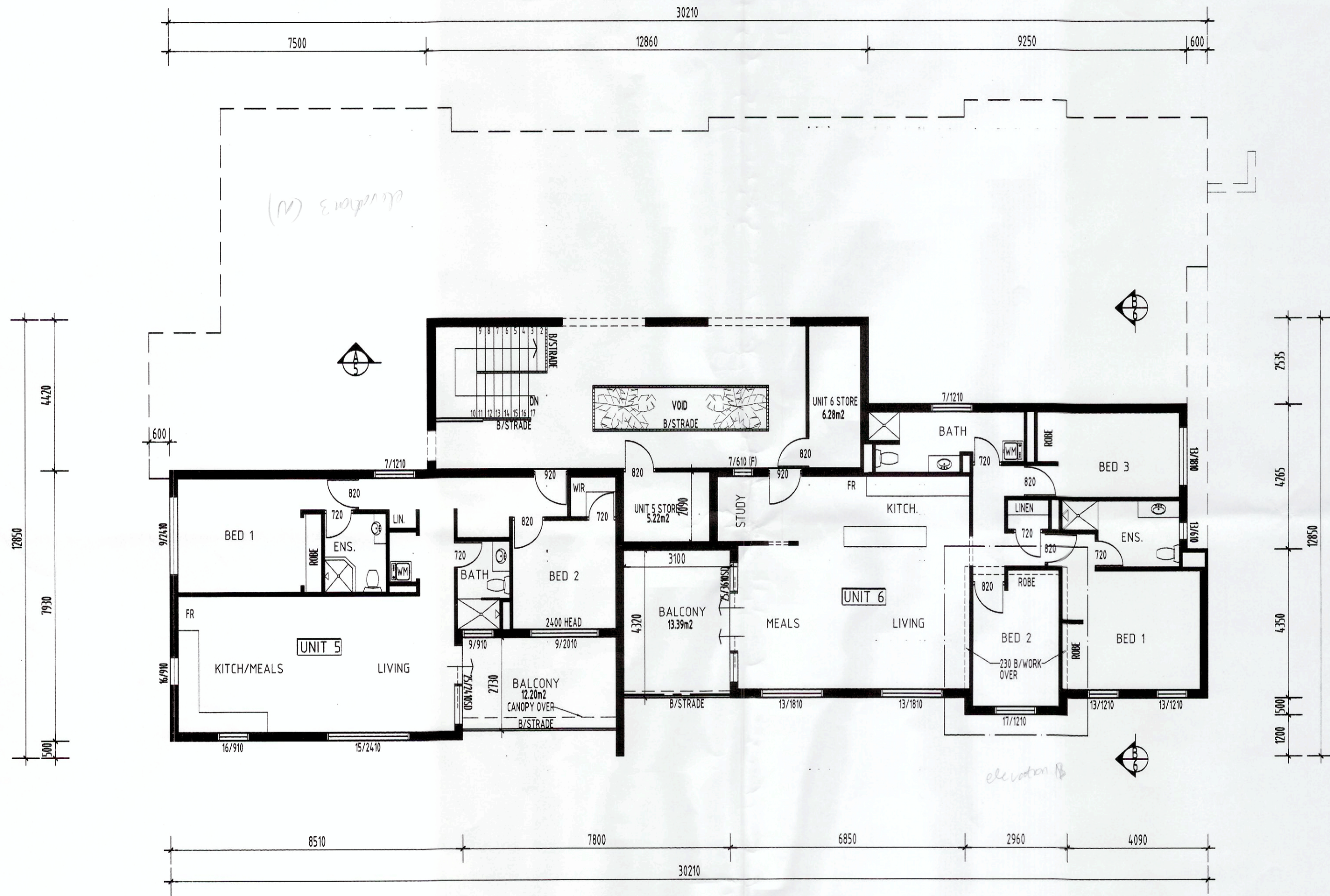
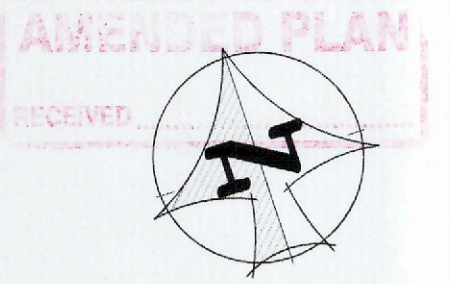
SECTION A-A
SCALE 1:100

NOTE:
ROOF FRAME TO COMPLY WITH AS. 1684.2-2010 AMNDT 1 2012
BALUSTRADE TO COMPLY WITH A.S. AND BCA PART 3.9.2



ELEVATION 2
SCALE 1:100

DRAWING TITLE: ELEVATIONS/ SECTION		PROPOSED OFFICE/UNITS		AMENDMENTS:	
DRAWN: MG	DOS No: A2	ON LOT 6 (#44) BORANUP AVENUE CLARKSON		DWG: A05	TOTAL DWG: 06
SCALE: 1:100	DATE: 1/3/2015				



PLOT RATIO
 TOTAL AREA (PLOT RATIO) = 825.37m²
 TOTAL PLOT RATIO ALLOWED = 882.70m²

PLOT RATIO
 UNIT 5 90.74m²
 UNIT 6 112.63m²
 TOTAL 203.37m²

CAR BAYS = 225m/30 = 7.5 BAYS (OFFICE)
 TOTAL = 5 BAYS (FIRST FLOOR)
 TOTAL = 2.75 BAYS (SECOND FLOOR)
 VISITORS 6 UNITS x 0.25 = 1.5 BAYS
 TOTAL REQ. BAYS = 16.75 = 17 BAYS

CAR BAYS
 UNIT 5 = 1.25 BAYS
 UNIT 6 = 1.5 BAYS
 TOTAL = 2.75 BAYS

DRAWING TITLE: SECOND FLOOR PLAN		PROPOSED OFFICE/UNITS	
DRAWN: MG	JOB No: A2	ON LOT 6 (#44) BORANUP AVENUE CLARKSON	
SCALE: 1:100	DATE: 1/3/2015	DWG. A04	TOTAL DWG. 06

AREA:
 UNITS/STORE/ BALC: 243.69m²
 LANDING: 48.79m²
 TOTAL: 292.48m²

NOTES:
 TILED SKIRTING TO WET AREAS AS PER BCA 3.8
 FLOOR WASTE GULLEYS TO WET AREAS AS PER BCA 3.8
 HARDWIRED SMOKE DETECTOR TO AS 3786-1993.
 RWP'S AND SPREADER POSITION INDICATIVE ONLY FINAL POSITION BY ROOF PLUMBER TO A.S.
 ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AMNDT 1-2012
 MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON
 VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971& AS1688)
 CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED.
 DRAFT PROOFING TO ALL EXTERNAL DOORS
 UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/WORK 90mm. ALL INT. B/WORK 90mm.
 SEALED EXHAUST FAN.
 TILED FLOORS.

DIMENSIONS ARE FOR BRICK ONLY NO WALL FINISHES ALLOWED FOR
 DO NOT SCALE FROM THESE DRAWINGS