



**AMENDMENT NO. 35**

**TO**

**AGREED LOCAL STRUCTURE PLAN NO. 6**

**EAST WANNEROO CELL 4**

**(HOCKING AND PEARSALL)**

**Structure Plan Ref: WANN/ 2015/6-35**

**October 2015**

**RECORD OF AMENDMENTS MADE TO THE CITY OF WANNEROO**

**AGREED STRUCTURE PLAN NO. 6**

<b>Amendment No.</b>	<b>Description of Amendment</b>	<b>Date Approved By WAPC</b>
35	1. Modifies Schedule 2 by adding the use class "Drive-Through Food Outlet".	

**AMENDMENT NO. 35 TO THE  
AGREED LOCAL STRUCTURE PLAN NO. 6  
EAST WANNEROO CELL 4  
(HOCKING AND PEARSALL)**

The City of Wanneroo, pursuant to its District Planning Scheme No. 2, hereby amends the above Agreed Local Structure Plan by:

- a) Modifying Schedule 2 of the Structure Plan by adding the use class “Drive – Through Food Outlet”, as follows:

**SCHEDULE 2 – SPECIAL USE ZONE**

NO	STREET LOCALITY	PARTICULARS OF LAND	SPECIAL USE CONDITIONS
1	154 Shiraz Boulevard, Pearsall	Lot 50	Service Station, Convenience Store, Car Wash and Drive – Through Food Outlet.  <u>Conditions</u>  External open air storage of automotive parts or service yards visible to the public shall not be permitted.

**PART 2 - EXPLANATORY REPORT**

**AMENDMENT NO.35 TO THE**

**HOCKING AND PEARSALL AGREED STRUCTURE PLAN NO. 6**

**1.0 INTRODUCTION**

The East Wanneroo Cell 4 Agreed Structure Plan No. 6 (ASP 6) allows the land uses Service Station, Convenience Store and a Car Wash on Lot 50 Shiraz Boulevard, Pearsall. The subject land is identified as 'Special Use Zone' in ASP 6. Currently the site contains a Convenience Store serving fuel, and a car wash facility may also be approved. Furthermore, a Service Station accommodating an auto shop facility may now be entertained following the endorsement of Amendment 28 to ASP6. However, at this time an opportunity has arisen for the establishment of a small drive through food outlet, being a 'Muzz Buzz' drive - through coffee shop.

**2.0 CONTEXT**

2.1 Regional Context

The amendment site is located approximately 19km north of the Perth CBD and 6km south-east of the Joondalup City Centre. It is bounded on the south by Ocean Reef Road, Lenore Road to the east, Shiraz Boulevard to the north and residential development to the west. Wangara Industrial Area is located to the south of Ocean Reef Road.

The land is zoned "Urban" under the Metropolitan Region Scheme, Urban Development in the City of Wanneroo District Planning Scheme No. 2 (DPS 2) and Special Zone in ASP 6.

2.2 Local Context

Lot 50 is at the fringe of suburban Pearsall, opposite an industrial estate and at the intersection of Lenore and Ocean Reef Roads. Pearsall is a relatively recent suburb in the context of the Perth metropolitan area. Currently, residential development extends northwards from Shiraz Boulevard. Immediately north of Lot 50 is located Voyager Park, a

local open space. Currently, there is no housing adjacent to or opposite Lot 50 in a northerly or easterly direction and industrial zoning to the south prevents housing in that direction.

A medium density housing development has recently been constructed to the west separated by a 1.8-metre high retaining wall. A 1.8-metre high boundary fence has been constructed on top of the retaining wall. The retaining wall together with the boundary wall to the west provides a clear separation between the subject site and the adjoining medium density housing development.

The subject site is established primarily for vehicle based convenience retailing, including a Convenience Store serving fuel. It is currently intended that the balance of land at the site be used for a vehicle based convenience service in the form of a drive - through Muzz Buzz store.

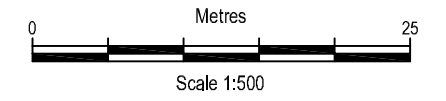
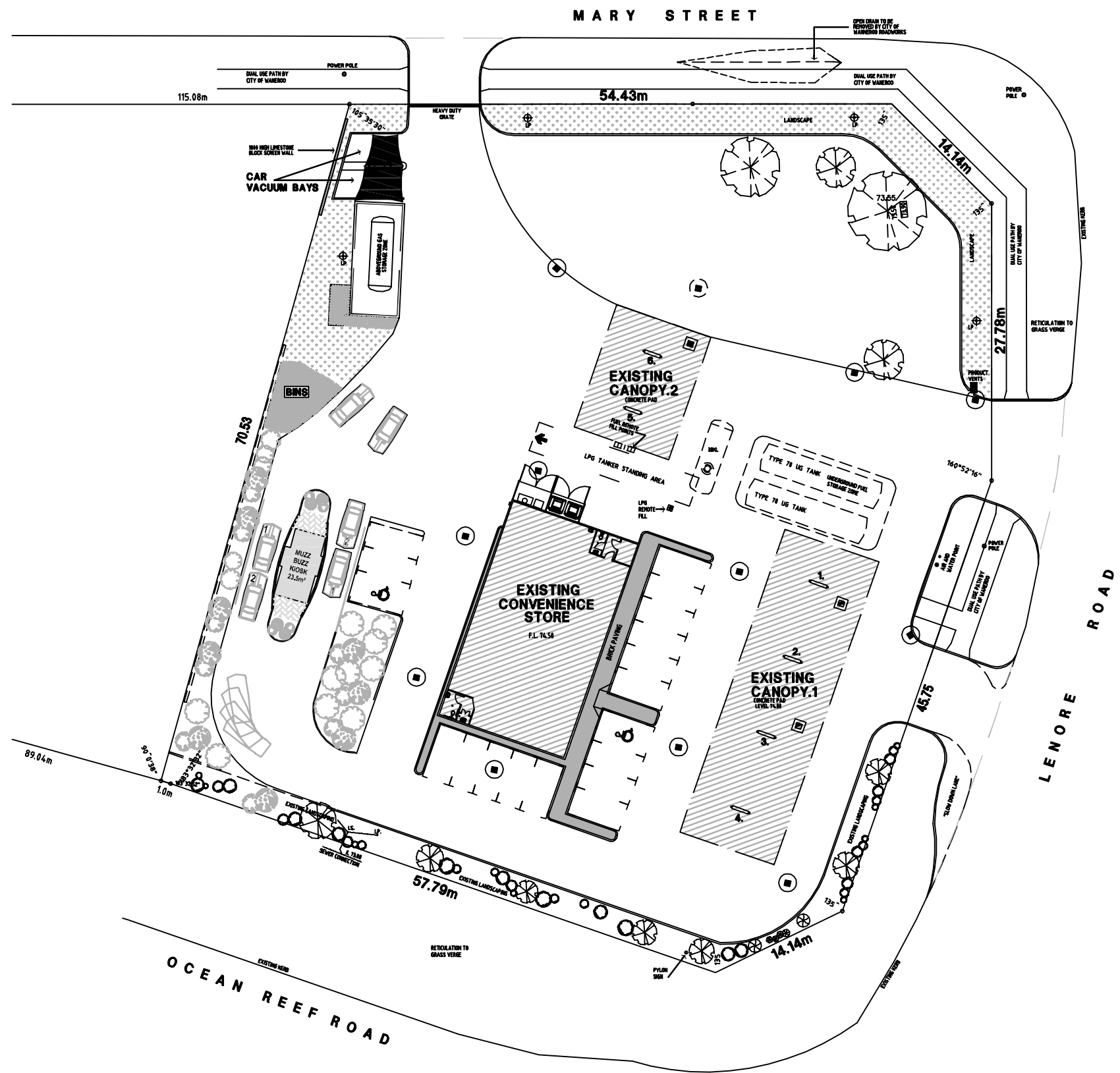
### **3.0 PROPOSAL**

3.1 Currently Lot 50 may accommodate a convenience store, car wash and a service station. It was intended that an auto - shop might be implemented (in accordance with the use class service station) for the retailing of automotive parts and accessories, to complement the existing Convenience Store with its associated fuel retailing. However, an alternative current priority is to facilitate the establishment of a Muzz Buzz drive - through food outlet.

3.3 The number of car parking bays required for a Drive – Through Food Outlet is contained in Table 2 of DPS 2. Table 2 indicates that 1 bay per 4 guests for indoor and outdoor seated areas, plus 7 per 100m<sup>2</sup> NLA for non – seated areas is required. Also, up to 50% of non – seated area parking may be located in a drive – through queue. However, Muzz Buzz stores do not accommodate seating for customers, and the buildings also have no non - seated areas for customers, given customers do not enter the premises. If however, the rate of 7 per 100m<sup>2</sup> is applied to the total floor area, which is non-seated, a demand for 2 bays is calculated based on a floor area of 23.5m<sup>2</sup>. This rate of parking demand is able to be accommodated on site, and is lower than the Service Station use previously considered by the City in the location of the proposed Muzz Buzz drive - through coffee shop.

3.4 **Figure 1** shows how the drive through food outlet would be best established on site, including a depiction of traffic circulation and existing uses.

3.5 A Muzz Buzz drive - through coffee shop is a form of vehicle based retailing consistent with and complementing the existing Convenience Store and associated fuel retailing. Such local convenience retailing is to be expected within a local activity centre.



Date: 13 October 2015  
Ref: 2724/Pearsall Rev B/A3LS

All dimensions and areas subject to survey

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A3

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Figure 1  
INDICATIVE SITE PLAN

#### **4.0 CONCLUSION**

Lot 50 Shiraz Boulevard, Pearsall is zoned 'Special Use Zone' under ASP 6 wherein the land uses, Convenience Store, Car Wash and Service Station are permitted. Currently, a Convenience Store operates at this site also serving fuel. The use class Drive – Through Food Outlet is considered to be an appropriate use, consistent with existing vehicle - based convenience retailing on the site. The site is also well buffered from adjoining residential areas, resulting in no land use conflicts.