



AMENDMENT NO.15

TO THE

EAST WANNEROO CELL 5 (LANDSDALE)

AGREED STRUCTURE PLAN NO.7

Structure Plan Ref: WANN/*

RECORD OF AMENDMENTS MADE TO EAST WANNEROO CELL 5 (LANDSDALE)

AGREED STRUCTURE PLAN NO.7

Amendment No.	Summary of the Amendment	Date approved by WAPC
15	<p>Recoding Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place, Landsdale from 'Special Residential' to 'Residential R40' as shown on Plan 1: Proposed Modified Structure Plan.</p> <p>Delete 'Section 4.4 Special Residential Precinct' from Part 1, and insert a provision requiring the preparation of a Local Development Plan to guide the development of Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place.</p>	

AMENDMENT NO.15 TO THE EAST WANNEROO CELL 5 (LANDSDALE) AGREED STRUCTURE PLAN NO.7

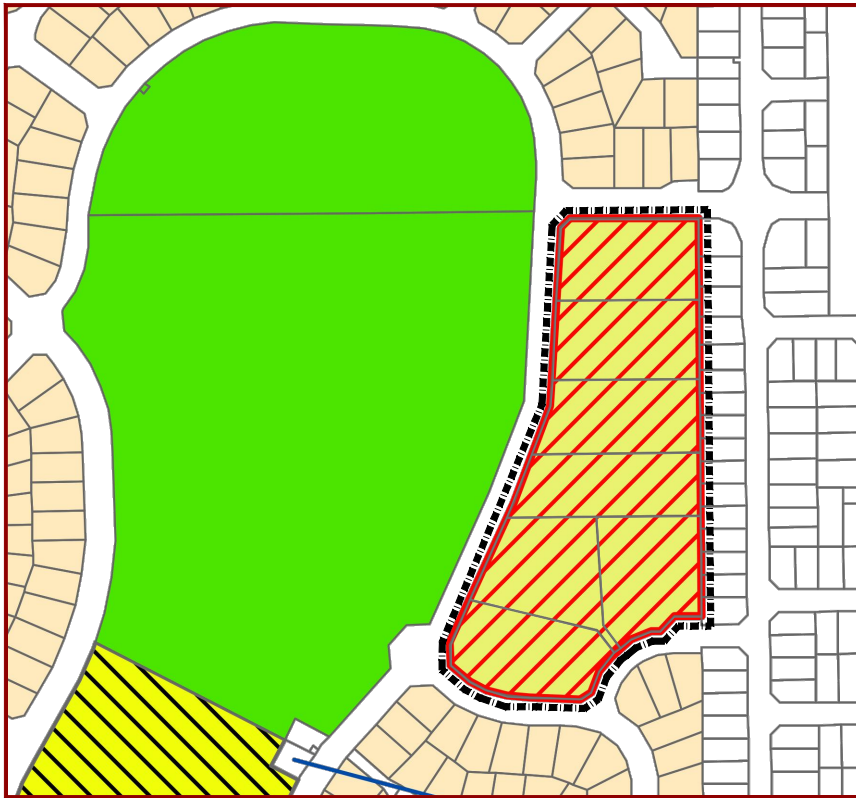
The City of Wanneroo, pursuant to its District Planning Scheme No. 2, hereby amends the above Agreed Structure Plan by:

1. Recoding Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place, Landsdale from 'Special Residential' to 'Residential R40' as shown on Plan 1: Proposed Modified Structure Plan; and,
2. Delete 'Section 4.4 Special Residential Precinct' from Part 1, and insert the following in its place:

4.4 Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place

Prior to the commencement of any development or subdivision, a Local Development Plan shall be prepared for Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place, pursuant to the Western Australian Planning Commission's *Local Development Plan Framework* and Schedule 2 Part 6 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. The Local Development Plan will set out the following:

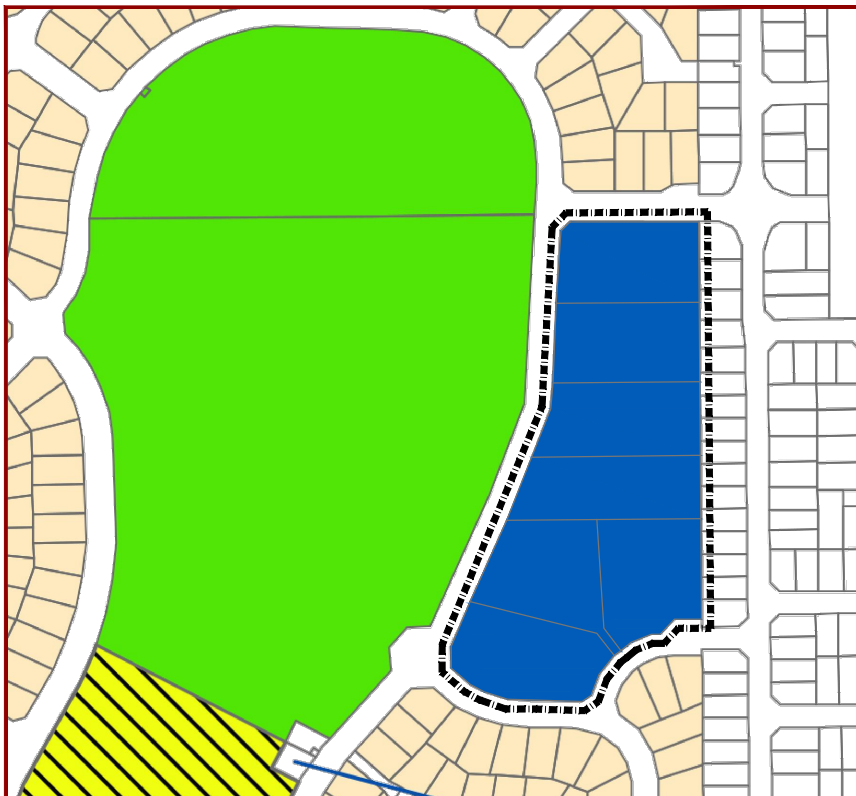
1. The orientation and design of dwellings to address all existing streets and the internal road network;
2. Street, boundary and garage setbacks to respond to the residential character of the area;
3. Street interface treatments along Kevo Place, Warradale Terrace, Rockdale Pass and Grayswood Court to provide a consistent streetscape outcome and high quality verge treatments;
4. Uniform fencing requirements to provide consistent and visually permeable interface to all existing roads;
5. Pedestrian movement network to be integrated across the site; and,
6. Open space, visual privacy and overshadowing requirements to respond to site constraints and character.



EXISTING STRUCTURE PLAN

Legend

- Neighbourhood Community Centre
- POS
- Primary School
- R20
- R25
- R30
- R40
- Special Residential
- CAPS



PROPOSED STRUCTURE PLAN

Legend

- Neighbourhood Community Centre
- POS
- Primary School
- R20
- R25
- R30
- R40
- Special Residential
- CAPS

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PLAN 1



LEGEND



Subject Site



NORTH



SCALE 1:5,000 (A4)

PROPOSED MODIFIED EAST WANNEROO CELL 5 AGREED STRUCTURE PLAN

WARRADALE TCE

LANDSDALE

This Structure Plan Amendment is prepared under the provisions of the City of Wanneroo
District Planning Scheme No. 2

IT IS CERTIFIED THAT THIS STRUCTURE PLAN AMENDMENT NO.15 TO THE [EAST
WANNEROO CELL 5 (LANDSDALE) AGREED STRUCTURE PLAN NO.7

WAS APPROVED BY

RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION ON

.....

Signed for and on behalf of the Western Australian Planning Commission

.....

An officer of the Commission duly authorised by the Commission pursuant to section 24 of the
Planning and Development Act 2005 for that purpose, in the presence of:

..... Witness

..... Date

..... Date of Expiry

PART 2 - EXPLANATORY REPORT

AMENDMENT NO.15 TO THE

EAST WANNEROO CELL 5 (LANDSDALE) AGREED STRUCTURE PLAN NO.7

1 BACKGROUND

1.1 Introduction

This amendment to East Wanneroo Cell 5 (Landsdale) Agreed Structure Plan No.7 proposes to modify the land use classifications for Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place, Landsdale (the subject land) from 'Special Residential' to 'Residential R40'.

Pursuant to the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 Part 4 Clause 29 (1) *'A structure plan may be amended by the Commission at the request of the local government or a person who owns land in the area covered by the plan.'*

The purpose of this amendment is to ensure consistency with Scheme Amendment No.139 to City of Wanneroo District Planning Scheme No.2 (DPS2) to the same effect. This Structure Plan Amendment is also intended to facilitate the preparation and determination of a Local Development Plan (LDP) to coordinate future development and result in an integrated built form outcome.

The following report provides an overview of the site characteristics, local context and provides the rationale for the proposed structure plan amendment.

1.2 Site Details

The subject site comprises seven (7) land holdings that can be legally described as:

1. Lot 923 on Deposited Plan 22545 Volume:2129 Folio:326 (owned by Yemmy Effendi);
2. Lot 924 on Deposited Plan 22545 Volume:2129 Folio:327 (owned by Peter Anthony Stokoe & Teresa Marie Stokoe);
3. Lot 925 on Deposited Plan 22545 Volume:2129 Folio:328 (owned by Peter John Huisman & Kaye Jessie Huisman);
4. Lot 926 on Deposited Plan 22545 Volume:2129 Folio:329 (owned by Lynne Amelia Nolan);
5. Lot 927 on Deposited Plan 22545 Volume:2129 Folio:330 (owned by Colin Ivan Gibson);
6. Lot 16 on Deposited Plan 22545 Volume:2129 Folio:324 (owned by Michael John Francis & Doria Francis); and,
7. Lot 17 on Deposited Plan 22545 Volume:2129 Folio:325 (owned by Traian Stiube & Viorica Lenute Stiube).

1.3 Location and Site Particulars

The subject land is located approximately 17 kilometres north of the Perth Central Business District and approximately 10 kilometres from the Joondalup Regional Centre.

The subject land is bound by Kevo Place to the north, Warradale Terrace to the west and Grayswood Court to the south. The eastern boundary adjoins East Wanneroo Cell 9 (East Landsdale) ASP No.57, classified as Residential Precinct (R20-R30).

The subject land comprises large residential dwellings with the exception of Lot 926 which remains undeveloped. The combined area of these lots is approximately 3.5 hectares.

1.4 Surrounding Land Use and Development

The subject land is located directly opposite a large area of Public Open Space (POS) being Warradale Park. Raeside Drive is to the east of the site and comprises lots ranging from 450m² – 560m² in area, with a base coding of R20-R30. To the north of the site, on the opposite side of Kevo Place, are residential dwellings on lots that range between 700m² and 770m², in an area zoned R20. To the south of the site, beyond Rockdale Pass, is further residential development that ranges in size from 640m² to 750m² and is zoned R20.

Other surrounding land uses and facilities include:

- Warradale Community Centre (approximately 250m west of the site);
- Landsdale Primary School (approximately 200-400m south west of site);
- Broadview Park (approximately 400m south of the site);
- Landsdale Childcare Centre (approximately 700m south of the site);
- Landsdale Medical Centre (approximately 700m south of the site);
- Landsdale Forum Shopping Centre (approximately 700m south west site); and
- Landsdale Gardens Adventist School (approximately 500 - 750m south east of the site).

2 PLANNING FRAMEWORK

2.1 Current Zoning

The subject land is zoned 'Urban' under the Metropolitan Region Scheme (MRS).

Under the City of Wanneroo's District Planning Scheme No.2 (DPS2) the subject land is currently zoned 'Special Residential - SRes 3' with an applicable density coding of R2.

Schedule 14 of DPS2 sets out the Special Residential Provisions for SRes 3 as follows:

1. *Subdivision is restricted to a minimum lot size of 5,000m².*
2. *All storm water run-off shall be disposed of by means of drainage systems constructed within the adjacent Residential area to the satisfaction and specification of Council.*
3. *The Council may, as a condition of any approval granted under special provision (b) require the owner or occupier of the land to plant and maintain to its satisfaction mature trees and shrubs.*

2.2 Scheme Amendemnt No.139

Scheme Amendment No.139 proposes to rezone the subject land to Residential R40 (refer Appendix B: Scheme Amendment No.139).

The 'Residential' zone will allow the subject land to be developed in a way that is consistent with surrounding land uses in this area. The Scheme Amendment rationalises the zoning of the subject land which was previously restricted to low density development as a result of an historic Telstra buffer. Given that the buffer no longer applies to the land there is an opportunity to introduce medium density lots in high amenity location.

The scheme amendment proposes an R40 density coding to introduce a greater variety of lot densities in an area that is predominantly R20 and takes advantage of the site's high-amenity-location, consistent with State and Local Government Planning Policy. This proposed Structure Plan Amendment has been prepared to ensure consistency with Scheme Amendment No.139 and allow the preparation and approval of a Local Development Plan.

2.3 Strategic Context

2.3.1 State Planning Policy

Directions 2031 and Beyond and Sub-Regional Strategy

Directions 2031 and Beyond is a strategic level framework based on the five key themes for a liveable, prosperous, accessible, sustainable and responsible city.

Directions 2031 identifies the Connected City model as the preferred medium-density future growth scenario for the metropolitan Perth and Peel region. In particular it promotes the planning for an adequate supply of housing and land in response to population growth and changing community needs. It encourages the facilitation of increased housing density, adaptability, affordability and choice.

The Strategy establishes a growth target of 47 per cent or 154,000 dwellings to be provided through infill development by the year 2031. The strategy states that in order to achieve the required housing targets higher R-codes should be applied *"in strategies and schemes within areas that have close proximity to educational institutions, community facilities and services such as hospitals, medical centres and libraries."*

As such, the proposed Structure Plan Amendment to 'Residential R40' is considered to be consistent with Directions 2031 given that it promotes a more efficient use of existing urban land for housing through the use of a suitable infill site for increased residential density. Furthermore, it increases the population catchment near existing educational institutions, recreational areas, community facilities and services.

Liveable Neighbourhoods

Liveable Neighbourhoods is the State Government's operational policy for the design and assessment of structure plans and subdivisions for new urban and urban infill sites. Given the subject land is situated in an established urban area, due regard must be given to the integration of the site with surrounding land uses/development.

As such, the most relevant aspects of Liveable Neighbourhoods that apply to this proposal relate to the standards and objectives of Community Design and Movement Network elements of the policy.

Liveable Neighbourhoods acknowledges that the achievement of more sustainable outcomes will require higher residential densities in many urban areas. The proposed amendment provides an opportunity to diversify the housing stock whilst maintaining the overall character of the existing residential area.

The proposed amendment and subsequent Local Development Plan (LDP) will ensure the subject land can be developed in a manner that will allow it to be appropriately integrated with surrounding land uses without any adverse impacts.

2.3.2 Local Planning Policy

Local Housing Strategy

The Local Housing Strategy 2005 (LHS) is a key component of the City's Smart Growth Strategy 2005 (SGS).

The relevant principal objectives of the LHS are to:

- (a) *“Ensure that a wide range and choice of housing is provided to meet the changing social and economic needs of the community, and to understand the community's attitude to housing choice.*
- (b) *Ensure that an adequate supply of affordable housing is provided particularly for first home buyers.*
- (d) *Promote appropriate forms of housing close to existing and proposed community facilities and services (e.g. Employment centres, transport hubs) to enable more efficient and effective use of those facilities and services.”*

The Local Housing Strategy states that:

- *“Established areas e.g. roads, buildings and land with existing infrastructure should be considered for housing opportunities;*
- *Infill development that provides greater housing choice should be encouraged to revitalise established suburbs.”*

This structure plan amendment to recode the land to 'Residential R40' is consistent with the key objectives and aims of the LHS given that the land is partially developed and is located in an established suburb in close proximity to existing infrastructure and services.

Local Planning Policy 3.1: Local Housing Strategy Implementation

Local Planning Policy (LPP) 3.1 provides a framework for implementing the City of Wanneroo Local Housing Strategy 2005 (LHS) recommendations for land identified for increased residential density within the City of Wanneroo.

It should be noted, the subject land is not currently identified within the 'Housing Precincts' for increased residential density. However, the land is considered appropriate for increased residential density given it complies with the criteria as follows:

Criterion 1 - Easy access/close proximity to retail and employment centres

The proposed Structure Plan Amendment is consistent with this policy criterion, as the land is located approximately 400m north of the Landsdale Neighbourhood Centre. This centre provides a range of retail services including a supermarket and a number of other retail units.

The subject land is located approximately 1.3km west of the Landsdale and Wangara industrial areas, which are large established employment areas, and will provide future residents with good access to potential employment.

Additionally, the site is located in close proximity to retail and employment centres (such as Landsdale Forum Shopping Centre). As such, the proposed Structure Plan Amendment is consistent with this LPP 3.1 criterion and is therefore considered suitable for an R40 coding.

Criterion 2 – Easy access/close proximity to public transport with priority towards rail nodes and bus interchanges

The subject land is located directly opposite the 'Warradale Terrace after Rockdale Pass' timed Bus Stop No.16054.

High frequency bus services operate from this bus stop covering two (2) routes:

- Route 376 – Landsdale – Mirrabooka Bus Station
- Route 352 – Whitfords Station – Landsdale (train connections)

The proposed Structure Plan Amendment is consistent with the LPP 3.1 criterion given it is located within close proximity to a high frequency bus route. The site also has good access to the North-West corridor train network via the bus network.

Criterion 3 – Easy access/close proximity to areas of high amenity including public open space (POS) and recreational facilities.

The subject land is located directly opposite Warradale Park, which is an approximately 11ha park and recreation area. This public open space (POS) area accommodates an oval, BMX track, walking and cycle paths, children's play park, community centre and a lake.

Broadview Park is located approximately 400m south of the subject land and is approximately 3ha in size. Additionally there are areas of proposed POS approximately 100m east of the subject land within the East Wanneroo Cell 9 (East Landsdale) ASP No.57.

The subject land complies fully with this LPP 3.1 criterion in that it is located within 250m of a District POS and neighbourhood POS. The District POS has an active playing field, a community centre, landscaped passive recreation areas and a playground.

It is considered that given this area benefits from high amenity the subject land is highly suitable for R40 coding.

Criterion 4 – Easy access/close proximity to major arterial routes, educational institutions (including primary, secondary and tertiary institutions), community facilities (including libraries and medical centres).

The subject land is located in close proximity to Gnangara Road, Alexander Drive and Hepburn Avenue. All three roads are reserved as 'Other Regional Roads' under the MRS and provide good regional access to and from the subject land.

Landsdale Primary School is located approximately 200m south of the subject land and Landsdale Gardens Adventist High School is located approximately 500m south east of the subject land

The subject land is also located in close proximity to community facilities, such as; Warradale Community Centre located approximately 250m south west of the site; and Landsdale Childcare Centre, Medical Centre and Retail Centre located approximately 700m south west of the subject land. As such, the site is well served and has easy access to educational institutions and community facilities.

3 AMENDMENT PROPOSAL

The Structure Plan Amendment seeks to recode the subject land from 'Special Residential' to 'Residential R40' to facilitate the development of the site for residential purposes (refer Appendix A: Proposed Modified Structure Plan).

3.1 Rationale for Amendment

This Structure Plan Amendment is proposed to ensure consistency with proposed Scheme Amendment No.139 and provide the City with greater certainty that future development will be well integrated through the subsequent preparation and approval of a Local Development Plan (LDP).

The 'Special Residential' zoning of the subject land was the result of a previous requirement from Telstra to provide a buffer area around the Perth International Telecommunications Centre (PITC) which is located to the east of the subject land. This buffer imposed a requirement for low density development on the subject land due to its topography and proximity to the PITC.

Through negotiations with Telstra and with the formulation of the East Wanneroo Cell 9 (East Landsdale) ASP No.57, located on the eastern boundary of the subject land, the restrictions of the Telstra buffer zone have subsequently been removed. As such, the original intent of the 'Special Residential' zoning is no longer applicable.

With the lifting of this historical restriction the City has been presented the opportunity to support Scheme Amendment No.139, and subsequent Structure Plan Amendment to increase the residential density of the land.

This Structure Plan Amendment is consistent with the surrounding land use zoning and State and Local Government planning policies which encourage greater residential density in the Perth Metropolitan Area. Landsdale has a very high proportion of low density, single-detached dwellings. As such, the proposed Structure Plan Amendment will encourage diversity in the housing stock in close proximity to an existing shopping centre, primary school, public transport service and public open space.

Residential development at an R40 density will also assist the City of Wanneroo in achieving its housing targets set out under the Directions 2031, and the objectives of the City's Housing Strategy.

3.2 Future Development Proposal

3.2.1 Concept Plan

Under the existing R2 density code the subject land is capable of accommodating 7 lots, with a minimum site area of 5000m². At the proposed R40 density, the subject land could provide for 106 s dwellings/lots.

The Concept Plan shows an indicative Survey-Strata subdivision layout over the land (refer Appendix C: Concept Plan). This is considered to be the most appropriate option, given the characteristics of the overall land parcel. The Concept Plan also allows for parcels to be developed independently over time, whilst still providing an integrated overall outcome.

The Concept Plan shows an integrated outcome for the site with a pedestrian spine, 10m in width, running in a north-south direction towards the rear (eastern) boundary of the site. This pedestrian spine will provide uninterrupted pedestrian access through the site from Grayswood Court to Kevo Place. This spine connects to several east-west access ways that ultimately connect to Warradale Terrace, providing excellent views and access to Warradale Park.

It should be noted, vehicle access along the north-south spine is not continuous, as this link is considered to be appropriate for pedestrian use only and does not provide any additional benefit for vehicular connection.

The Concept Plan minimises the visual impact of retaining walls through a gradual and successive rise in lot levels along the length of the east-west roads. This is particularly important, given the 9m level difference from Warradale Terrace to the eastern boundary of the site.

The Concept Plan has been prepared to provide an indication of the potential form redevelopment may take within the amendment area but does not form part of the formal Structure Plan Amendment.

3.2.2 Development Perspective Images

The Development Perspective Images provide an illustration of potential development of the subject land that could be facilitated by the proposed Structure Plan amendment and subsequent preparation of a Local Development Plan (refer Appendix D: Development Perspective).

A Local Development Plan (LDP) will be prepared to coordinate development and provide more specific design guidelines and development requirements for the site. The LDP may address matters such as:

- Designating verandahs along street frontages that are accessible from living rooms and bedrooms to encourage streetscape activation and social interaction;
- Designating minimum glazed areas from habitable rooms along street frontages to maintain passive surveillance;
- Identifying colour pallets and architectural details that are generally consistent with dwellings in the surrounding area; and,
- Specifying uniform fencing along all existing street frontages to provide a cohesive appearance across the site.

The Local Development Plan will be prepared in consultation with the City, and in accordance with the proposed Provision 4.4 (to replace the existing Provision 4.4 *Special Residential Precinct*) to ensure that future development will be effectively integrated with the surrounding suburb.

4 CONCLUSION

The recoding of the subject land (Lots 16, 17 & 923 Grayswood Court, Lots 924, 925 & 926 Warradale Terrace, and Lot 927 Kevo Place, Landsdale) from 'Special Residential' to 'Residential 40 (R40)' is considered appropriate given the existing urban context and local character. This proposed Structure Plan Amendment also ensures consistency with Scheme Amendment No.139, and requires the preparation of an LDP in consultation with the City.

The Structure Plan Amendment provides an opportunity for infill development, and is consistent with the City's planning framework; including the Local Housing Strategy given the subject land is located within close proximity to public transport services, educational infrastructure, recreational areas and community services and facilities.

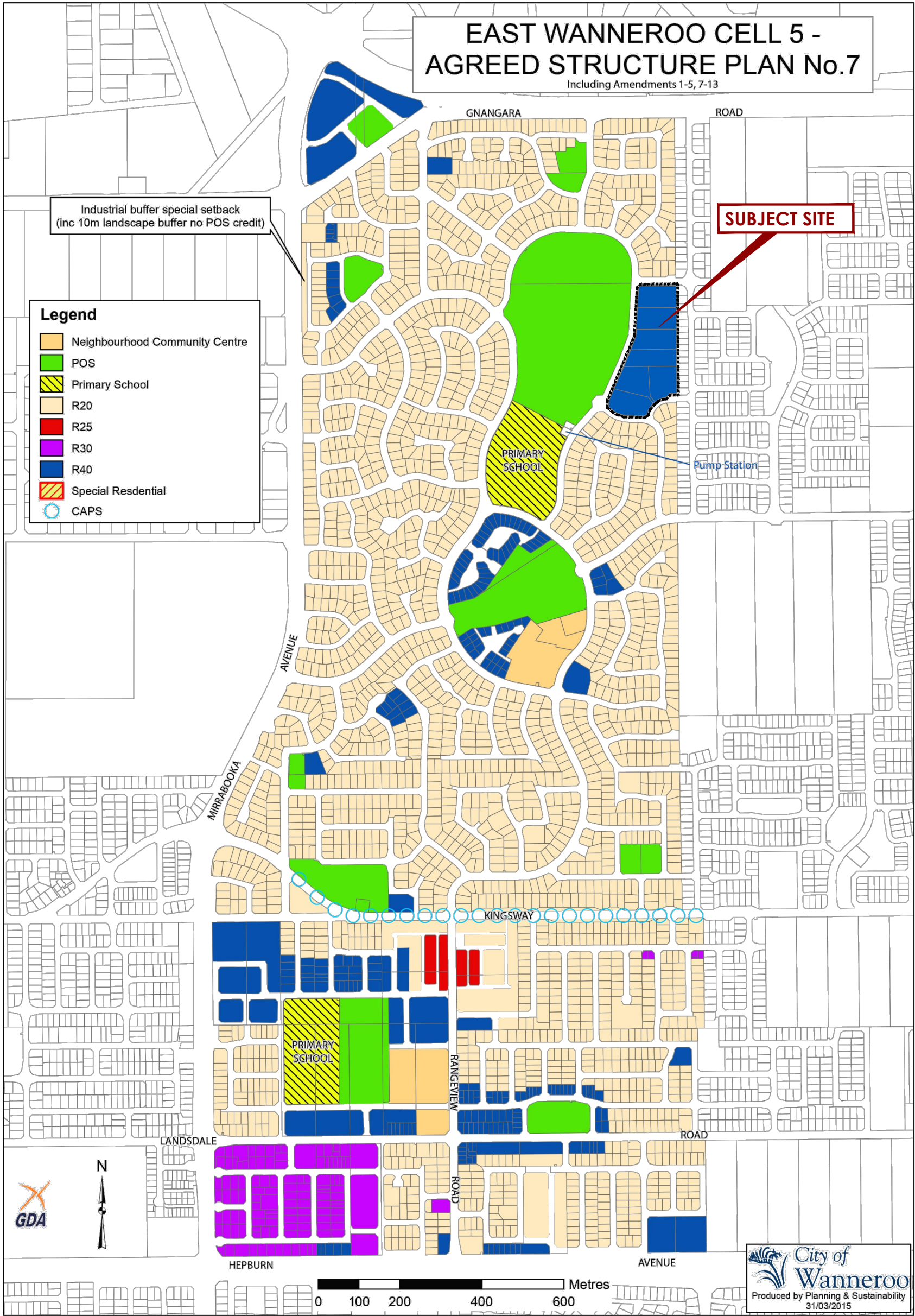
Pedestrian connectivity, sight lines, community safety, streetscape impacts, and topography have all been addressed through the Concept Plan. Development Perspectives are also provided to illustrate the potential development of the subject land that could be facilitated by the proposed Structure Plan amendment.

In light of the above, we respectfully request the City's favourable assessment and adoption of the proposed amendment to the East Wanneroo Cell 5 (Landsdale) Agreed Structure Plan No.7.

**APPENDIX A:
Proposed Modified
Structure Plan**

EAST WANNEROO CELL 5 - AGREED STRUCTURE PLAN No.7

Including Amendments 1-5, 7-13



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APPENDIX A



LEGEND

Subject Site



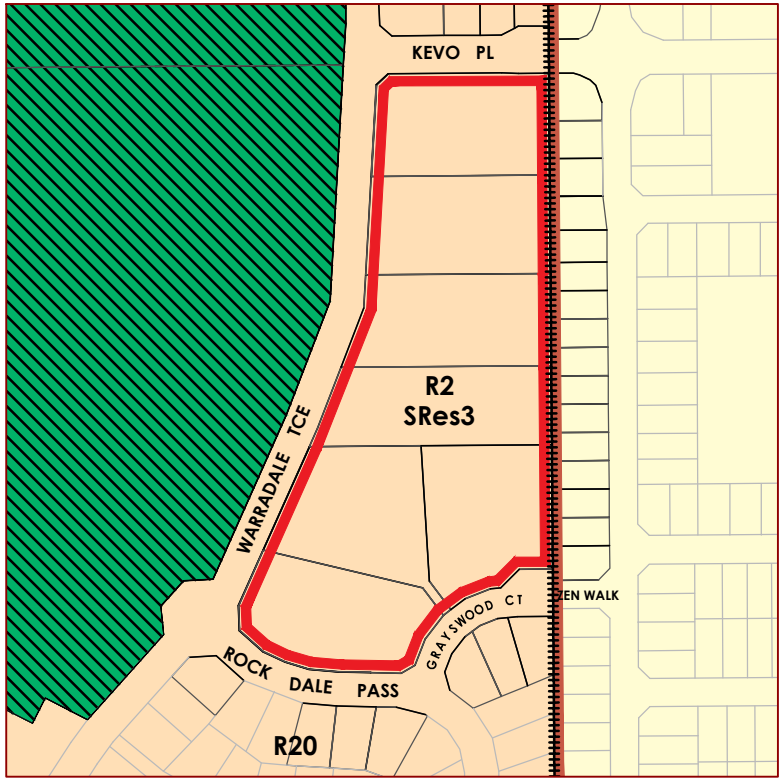
PROPOSED MODIFIED EAST WANNEROO CELL 5 AGREED STRUCTURE PLAN

WARRADALE TCE

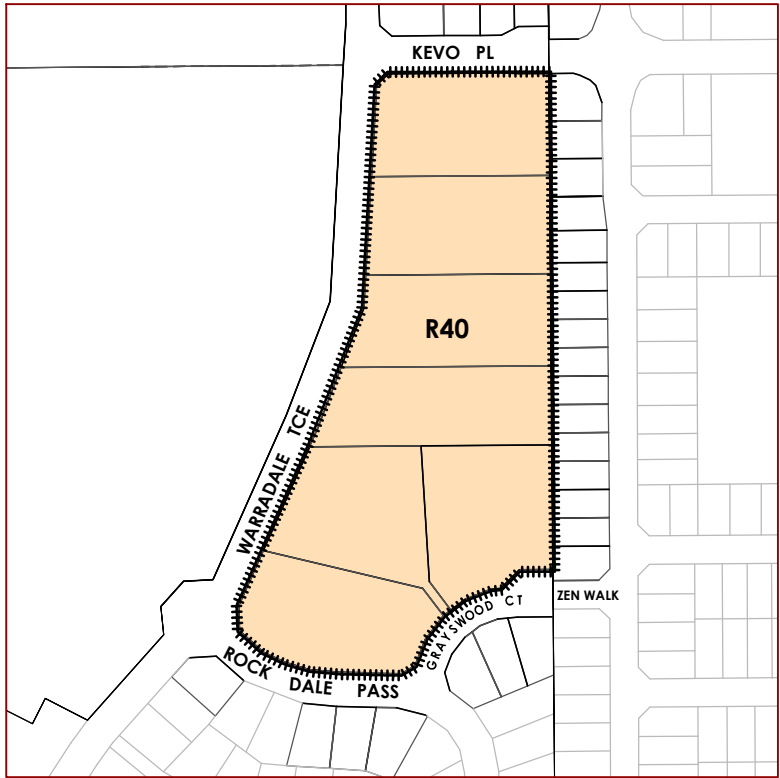
LANDSDALE



**APPENDIX B:
Scheme Amendment
No.139**



EXISTING ZONING



PROPOSED ZONING

- LEGEND**
- LOCAL SCHEME RESERVES**
 - Parks and Recreation
 - ZONES**
 - Residential
 - Special Residential
 - Urban Development
 - OTHER**
 - R Codes
 - Special Residential Area (See Scheme Text)

APPENDIX B



**SCHEME AMENDMENT NO.139
TOWN PLANNING SCHEME NO.2
WARRADALE TCE, LANDSDALE**

**APPENDIX C:
Concept Plan**



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APPENDIX C



CONCEPT ONLY



NORTH



SCALE 1:1000 (A3)

CONCEPT PLAN
WARRADALE TCE
LANDSDALE

burgess design group
TOWN PLANNING + URBAN DESIGN

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Plan No: SRL LAN 1-02a
Date: 30.03.16

Client: SRL
Planner: MB/JB

CITY OF WANNEROO

**APPENDIX D:
Development
Perspectives**



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APPENDIX D



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TOWN PLANNING + URBAN DESIGN

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Plan No: SRL LAN 9-01 Client: SRL
Date: 30.03.16 Planner: MB/JB

DEVELOPMENT PERSPECTIVE
WARRADALE TCE
LANDSDALE
CITY OF WANNEROO