

PROPOSED MULTIPLE DWELLINGS

DESIGN DEVELOPMENT

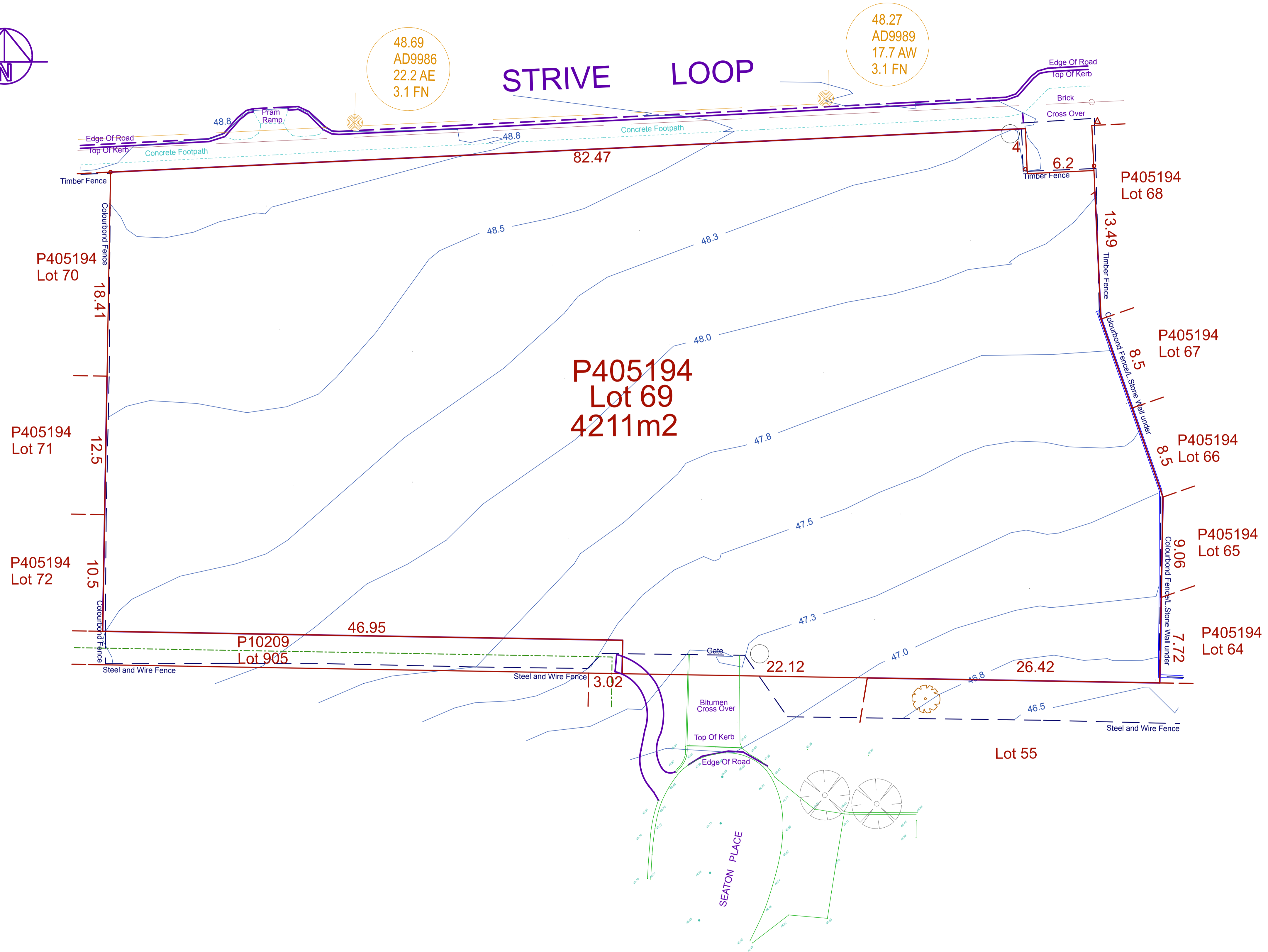
for

Lam Property Development Group PTY LTD

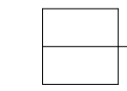
at

Lot 69 Strive Loop, Blackmore Estate Girrawheen

- A01 - EXISTING SITE PLAN - 1:200
- A02 - PROPOSED SITE PLAN - 1:200
- A03 - PROPOSED LANDSCAPING PLAN - 1:200
- A04 - GROUND FLOOR PLAN - 1:100
- A05 - GROUND STORES & BINS STORE - 1:100
- A06 - FIRST FLOOR PLAN - 1:100
- A07 - SECOND FLOOR PLAN - 1:100
- A08 - ROOF PLAN - 1:100
- A09 - ELEVATIONS - 1:100
- A10 - ELEVATIONS - 1:100
- A11 - 3D PERSPECTIVES

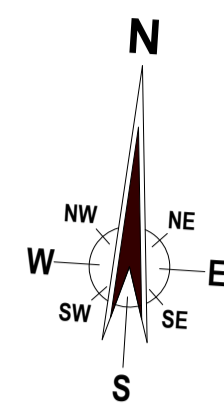


EXISTING SITE PLAN
Scale 1:200

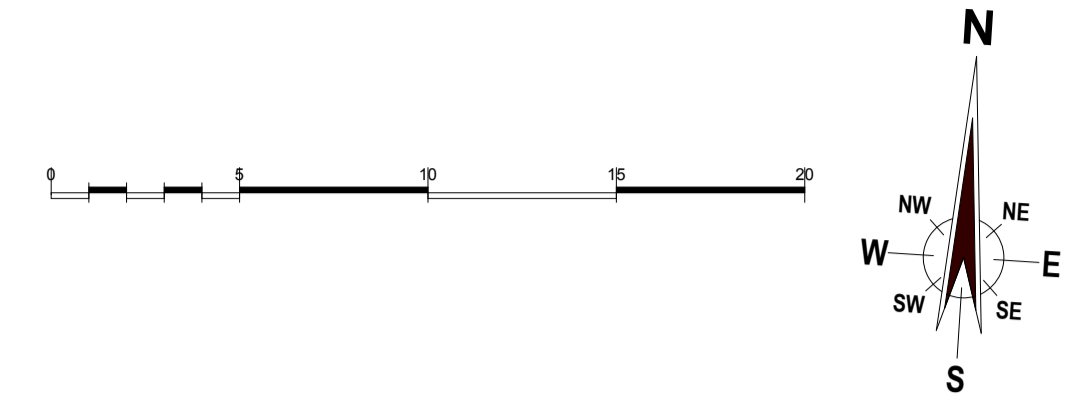


GENERAL SITE NOTES :

- STORMWATER** - TO BE CONTAINED ON SITE OR CONNECTED TO MAIN SW. VIA ON-SITE STORMWATER PIT SUBJECT TO COUNCIL REQUIREMENTS.
- SEWER** - TO BE CONNECTED TO SEWER MAINS LINE SUBJECT TO WATER CORPORATION REQUIREMENTS. LOCATION OF SEWER JUNCTION POINT TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION.
- EFFLUENT DISPOSAL SYSTEMS** - WHERE NO SEWER MAINS PRESENT, EFFLUENT DISPOSAL TO BE PROVIDED TO LUMBER AND MANUFACTURER'S STANDARDS. DRAWING IS NOMINAL ONLY AND SHALL BE SUBJECT TO COUNCIL HEALTH REQUIREMENTS.
- FINISHED FLOOR LEVEL** - MAY BE SUBJECT TO ENGINEER, PLUMBING AND COUNCIL REQUIREMENTS.
- VERGE CROSSOVER** - MAY BE SUBJECT TO COUNCIL ENGINEERING DEPARTMENT REQUIREMENTS. REFER TO COUNCIL DETAILS FOR RECOMMENDED CONSTRUCTION. DRAWING IS DIAGRAMMATIC ONLY.
- SURVEY** - IDENTIFICATION OF LOT BOUNDARIES IS THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.
- CHECK DIMENSIONS ON SITE** - PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DRAWINGS AND DETAILS** - TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.
- DRAWINGS TO BE READ** - IN CONJUNCTION WITH ENGINEER DRAWINGS, DETAILS AND SPECIFICATIONS AND SHALL PRECEED THESE DRAWINGS.
- OWNER AND/OR BUILDER SHALL** - COMPLY WITH ALL STATUTORY AUTHORITY BY-LAWS, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND THE BCA AND SHALL PRECEED THESE DRAWINGS.



Rev.	Date	Item	COUNCIL	CLIENT	Issued To
07	14/12/16	SITE ACCESS ISSUE			
06	26/10/16	LANDCORP & COUNCIL CHANGES			



	ALL DECIDUOUS TREES (16 OFF) TO BE FRAXINUS RAYWOODII (CLARET ASH) PLANTED AS SAPLING MINIMUM 20m HIGH (LANDCORP SPECIES LIST)
	ALL SHADE TREES (8 OFF) TO BE CORYMBIA CALOPHYLLA (MARR) PLANTED AS SAPLING MINIMUM 20m HIGH
	TREES (15 OFF) TO BE LAGERSTROMIA INDICA (CREPE MYRTLE) PLANTED AT A DENSITY OF 1.5 PER SQM
	SHRUBS (40 OFF) TO BE MELALEUCA HUGELY (HONEY MYRTLE) PLANTED AT A DENSITY OF 1.5 PER SQM
	GROUNDCOVER (94 OFF) TO BE CAREX TESTACEA (CARB) PLANTED IN FRONT PLANTER BOX ONLY IN CLOSE PROXIMITY TO ONE ANOTHER

LANDSCAPING PLAN
Scale 1:200

site calculations		Total:	962.76m ²	Total:	962.76m ²
site area:	4211m ²	first floor:	57.35m ²	second floor:	57.35m ²
zoning:	R60	unit 15:	66.46m ²	unit 29:	66.42m ²
plot ratio:	0.7 = 2947m ²	unit 16:	66.35m ²	unit 30:	66.35m ²
ground floor:		unit 17:	78.25m ²	unit 31:	78.25m ²
unit 1:	57.35m ²	unit 18:	66.37m ²	unit 32:	66.37m ²
unit 2:	66.46m ²	unit 19:	66.37m ²	unit 33:	66.37m ²
unit 3:	66.35m ²	unit 20:	78.25m ²	unit 34:	78.25m ²
unit 4:	78.25m ²	unit 21:	78.25m ²	unit 35:	78.25m ²
unit 5:	66.37m ²	unit 22:	66.37m ²	unit 36:	66.37m ²
unit 6:	66.37m ²	unit 23:	66.37m ²	unit 37:	66.37m ²
unit 7:	78.25m ²	unit 24:	78.25m ²	unit 38:	78.25m ²
unit 8:	75.25m ²	unit 25:	78.25m ²	unit 39:	68.35m ²
unit 9:	66.37m ²	unit 26:	68.35m ²	unit 40:	68.35m ²
unit 10:	66.37m ²	unit 27:	66.46m ²	unit 41:	66.46m ²
unit 11:	78.25m ²	unit 28:	66.37m ²	unit 42:	66.37m ²
unit 12:	68.35m ²	Total:	962.76m ²	Total:	962.76m ²
unit 13:	66.46m ²	second floor:	57.35m ²	total area:	2888.28m ²
unit 14:	57.35m ²	unit 29:	66.42m ²	storerooms x11	4.00m ²
Total:	962.76m ²	unit 30:	66.35m ²	storerooms x28	4.20m ²
		unit 31:	78.25m ²	storerooms x2	4.50m ²
		unit 32:	66.37m ²	storerooms x1	5.00m ²
		unit 33:	66.37m ²	comms room x1	4.50m ²
		unit 34:	78.25m ²	comms room x1	4.00m ²
		unit 35:	78.25m ²	total area:	176.6m ²
		unit 36:	66.37m ²		
		unit 37:	66.37m ²		
		unit 38:	78.25m ²		
		unit 39:	68.35m ²		
		unit 40:	68.35m ²		
		unit 41:	66.46m ²		
		unit 42:	66.37m ²		
		Total:	962.76m ²		

GENERAL NOTES :

COMPACTION - SUBMIT AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.

PLUMBING - TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.

TERMITE PROTECTION - A SUITABLE NOTICE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.

STORMWATER - ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED OF TO COUNCIL SATISFACTION.

PAVING - DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE.

FLASHINGS - PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH BCA P.F.

VENTILATION - SHALL COMPLY WITH SEWERAGE LIGHTING, VENTILATION AND CONSTRUCTION REQUIREMENTS EXHAUST FAN (DPV) AND OTHER CEILING ITEM LOCATIONS ARE APPROXIMATE AND SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.

MASONRY - ALL MASONRY CONSTRUCTION TO COMPLY WITH A.S.3700.

LINTELS - PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT-DIP GALVANISED.

EXPOSED TIMBER - ALL SOFTWOODS SHALL BE CCA TREATED AND/OR AS NOTED ON DRAWINGS.

PINE TIMBER - ALL PINE TIMBER TO BE MP10 GRADE UNLESS NOTED OTHERWISE.

CUSTOM-ORB ROOFING BATTENS - SHALL BE 45x70mm PINE @ 100mm MAX CTS TO FIRST AND LAST SPAN WITH 150mm MAXIMUM INTERNAL CENTRES.

DOUBLE LAMINATIONS - CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.

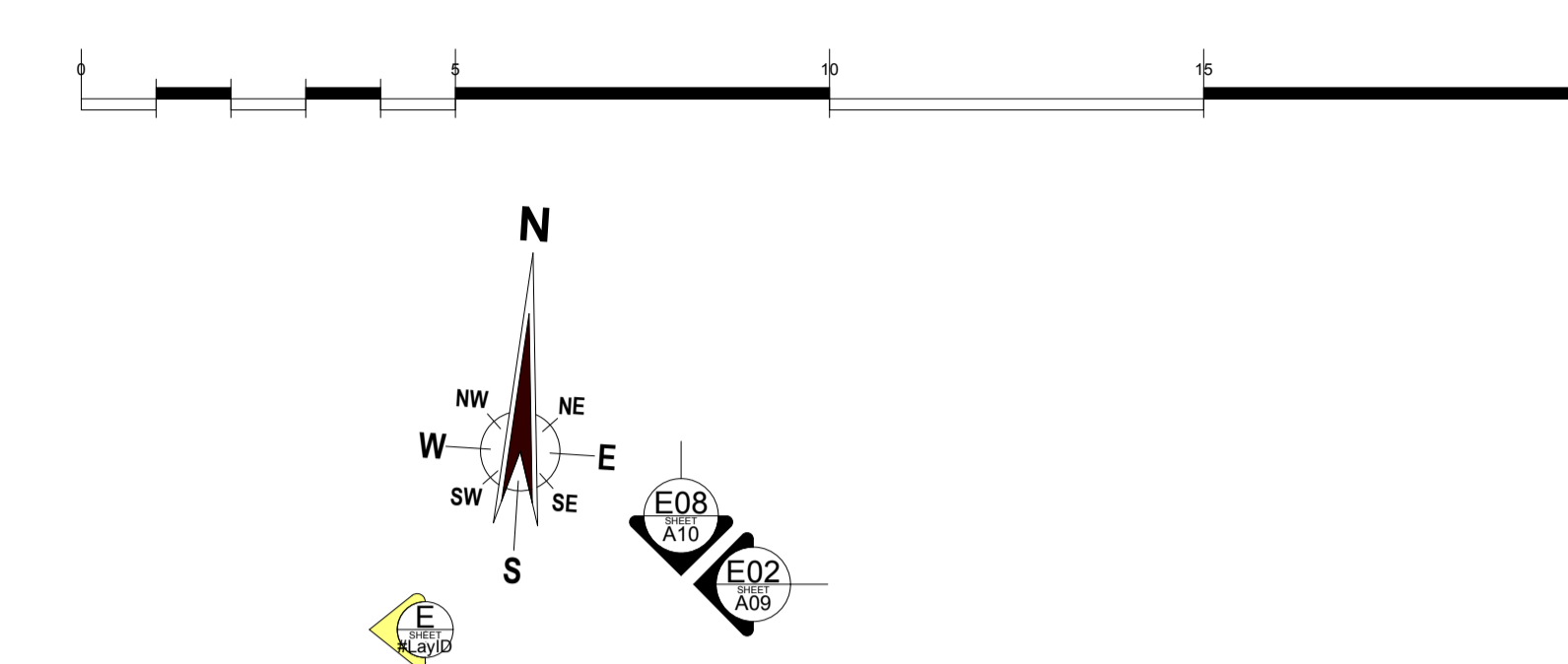
FLOOR, ROOF, CEILING FRAME - SHALL COMPLY WITH A.S.1854. TIMBER FRAMING TO BE CONSTRUCTED PERVIOUS SURFACE. DIAGRAMMATICALLY ONLY.

CHECK DIMENSIONS ON SITE - PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAWINGS AND DETAILS - TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SHALL PRECEED THESE DRAWINGS.

DRAWINGS TO BE READ - IN CONJUNCTION WITH ENGINEER DRAWINGS, DETAILS AND SPECIFICATIONS. AND SHALL PRECEED THESE DRAWINGS.

OWNER AND/OR BUILDER SHALL - COMPLY WITH ALL STATUTORY AUTHORITY BY-LAWS, AUSTRALIAN STANDARDS, REGULATIONS, RESIDENTIAL DESIGN CODES AND THE BCA AND SHALL PRECEED THESE DRAWINGS.



strive loop



GROUND FLOOR PLAN Scale 1:100

<p>Drawn: TT/AM</p> <p>Checked: RF</p> <p>Date: 14/12/2016</p> <p>Scale: AS SHOWN</p>	<p>Date: 14/12/16</p> <p>Item: SITE ACCESS ISSUE</p>	<p>Date: 26/10/16</p> <p>Item: LANDCORP & COUNCIL CHANGES</p>	<p>Job No.: CP-265-15</p> <p>Stage / Revision: DD-7</p>
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Project: Proposed Multiple Dwellings

Client: Lam Property Development Group PTY LTD

Address: Lot 69 Strive Loop, Blackmore Estate Girrawheen

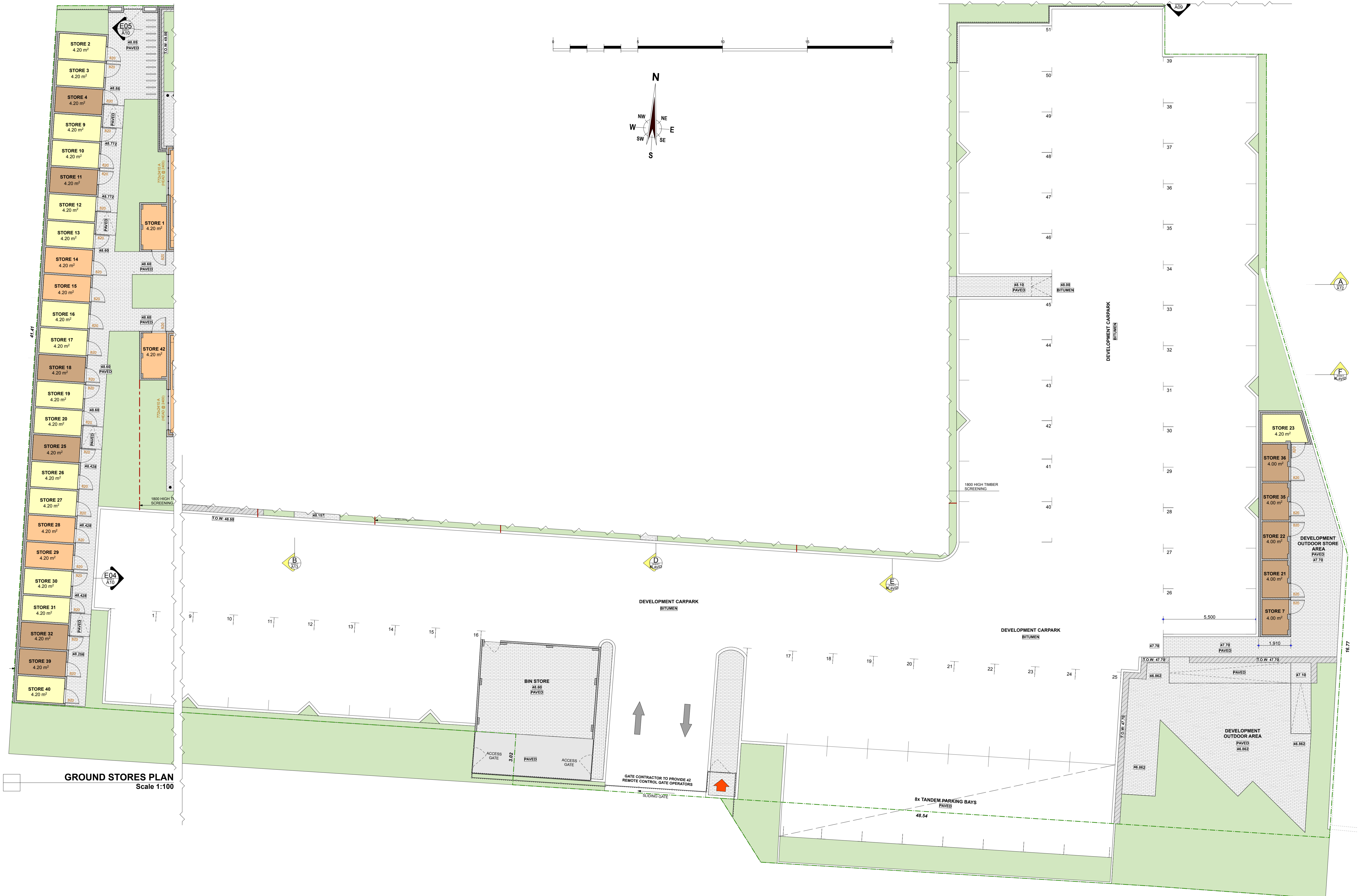
Rev. Date Item

COUNCIL

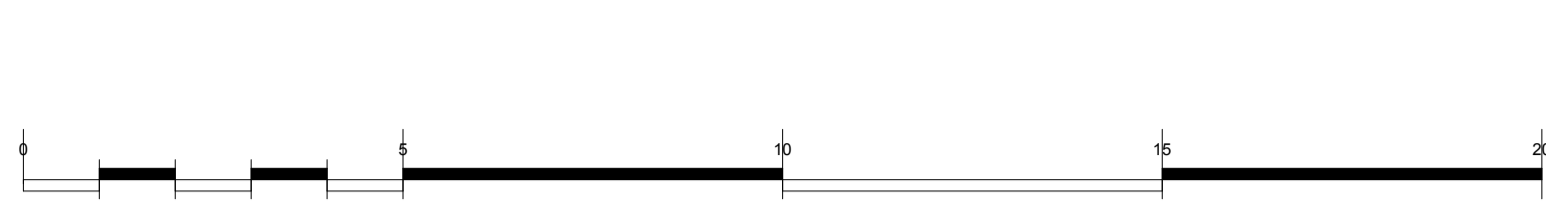
CLIENT

Issued To

Drawing Number: A04 of 11



BIN STORE / GROUND STORES
Scale 1:100



GENERAL NOTES :

- COMPACTION** - SURVEY AN ENGINEER APPROVED PENETROMETER TEST OF COMPACTED FILL PRIOR TO CONCRETING STAGE.
- PLUMBING** - TO COMPLY WITH WATER AUTHORITY REQUIREMENTS AND NATIONAL PLUMBING CODE.
- TERMITE PROTECTION** - A SUITABLE NOTICE INDICATING THE METHOD USED FOR TERMITE BARRIER SHALL COMPLY WITH THE BCA AND SHALL BE DISPLAYED PROMINENTLY ON THE BUILDING.
- STORMWATER** - ROOF RUNOFF TO BE CONTAINED ON SITE AND DISPOSED OF TO COUNCIL SATISFACTION.
- PAVING** - DRIVEWAY AND CROSSOVER TO BE CONSTRUCTED WITH A STABLE IMPERVIOUS SURFACE.
- FLASHINGS** - PROVIDE SUITABLE FLASHINGS AROUND ALL OPENINGS, WALL COLUMNS AND WET AREAS WITH DETAILING TO COMPLY WITH SCAP.
- VENTILATION** - SHALL COMPLY WITH SEWERAGE (LIGHTING, VENTILATION AND CONSTRUCTION) REQUIREMENTS. EXHAUST FAN (MPV) AND OTHER CEILING ITEM LOCATIONS ARE APPROXIMATE AND SHALL BE FITTED TO SUIT LOCATION OF ROOF AND CEILING TIMBERS.
- MASONRY** - ALL MASONRY CONSTRUCTION TO COMPLY WITH A.S.3700.
- LINTELS** - PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT-DIP GALVANISED.
- EXPOSED TIMBER** - ALL SOFTWOODS SHALL BE OCA TREATED WHERE EXPOSED TO THE WEATHER AND/OR AS NOTED ON DRAWINGS.
- PINE TIMBER** - ALL PINE TIMBER TO BE MGP10 GRADE UNLESS NOTED OTHERWISE.
- CUSTOM-ORB ROOFING BATTENS** - SHALL BE 45x70mm PINE @ 900mm MAX CTS TO FIRST AND LAST SPAN WITH 150mm MAXIMUM INTERNAL CENTRES.
- DOUBLE LAMINATIONS** - CONSTRUCT DOUBLE LAMINATIONS TO TIMBER BEAMS AND JOISTS AS PER RELEVANT FRAMING CODES UNLESS NOTED OTHERWISE.
- FLOOR, ROOF, CEILING FRAME** - SHALL COMPLY WITH A.S.1684. TIMBER FRAMING CODES AND THE BCA. DRAWN DIAGRAMMATICALLY ONLY.
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site calculations

site area:	421m ²
zoning:	R60
plot ratio:	0.7 = 2947m ²
ground floor:	
unit 1:	57.35m ²
unit 2:	66.46m ²
unit 3:	68.35m ²
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unit 5:	66.37m ²
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unit 12:	68.35m ²
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unit 14:	57.35m ²
Total:	962.76m²
first floor:	
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unit 27:	66.46m ²
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Total:	962.76m²
second floor:	
unit 29:	57.35m ²
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unit 38:	66.37m ²
unit 39:	78.25m ²
unit 40:	68.35m ²
unit 41:	66.46m ²
unit 42:	57.35m ²
Total:	962.76m²
total area:	2888.28m²

SECOND FLOOR PLAN
Scale 1:100

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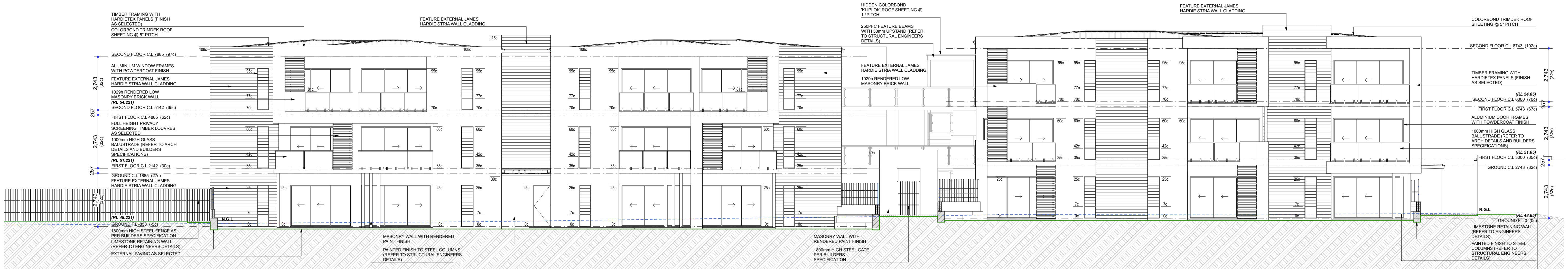
Project:
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Address:
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Site Access Issue

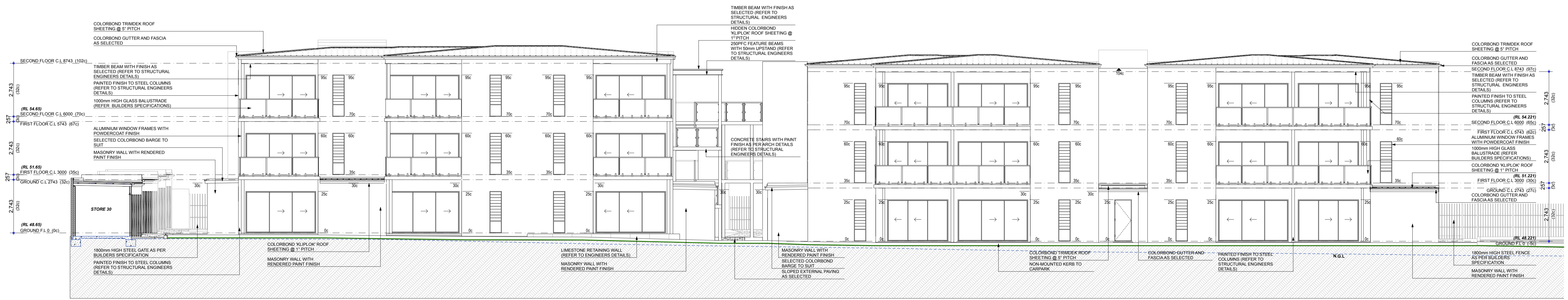
Job No.: CP-265-15
Scale: AS SHOWN
Drawing Number: A07 of 11
Stage / Revision: DD-7



ELEVATION 01 - NORTH
Scale 1:100



ELEVATION 02 - EAST
Scale 1:100



ELEVATION 03 - SOUTH
Scale 1:100



TYPICAL 3D PERSPECTIVE 1
Scale 1:0.71



TYPICAL 3D PERSPECTIVE 2
Scale 1:0.72