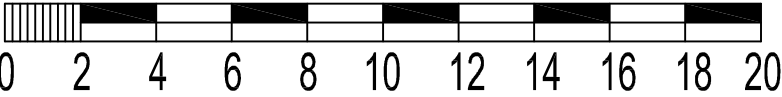


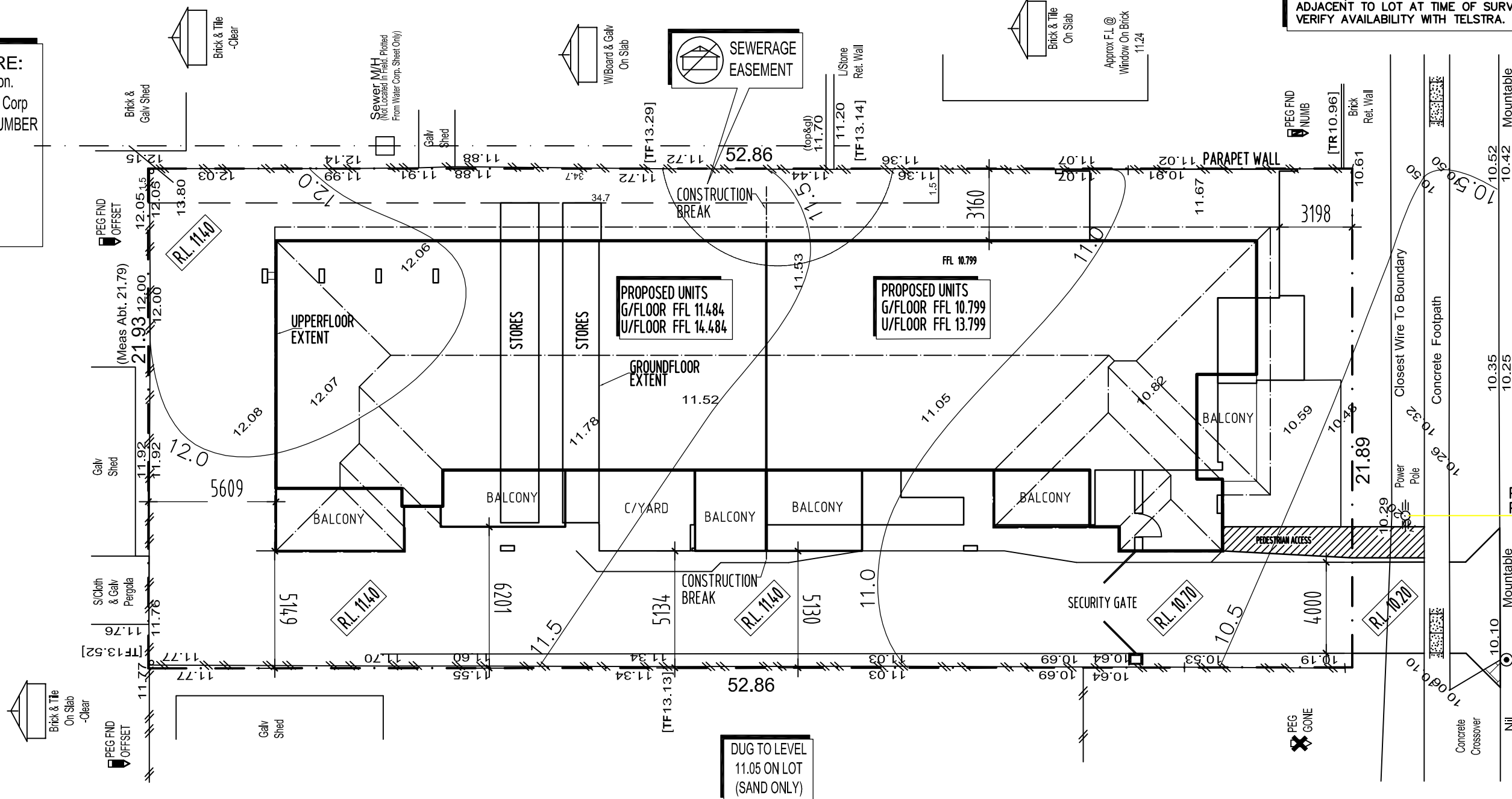
SCALE 1:200



NOTE/BEWARE: ADVISE TRADES
O/Head power lines

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELSTRA.

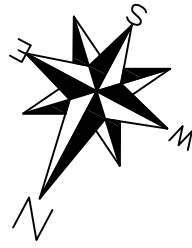
BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.
Sewer Junction
In: 1.6 Up: 0.3
Inv: 8.8 Depth: 3.0
NOTE: UP



Frederick Street

Bitumen

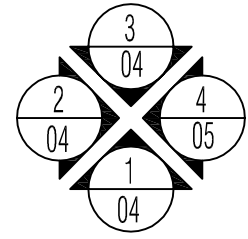
DRAWING TITLE: SITEPLAN			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO		
DRAWN: MG	JOB No: A3		AMENDMENTS:		
SCALE: 1:200	DATE: 1/2/2017		A AMENDED	4/17	
			DWG. A01	TOTAL DWG. 06	



NOTE/BEWARE: ADVISE TRADES
O/Head power lines

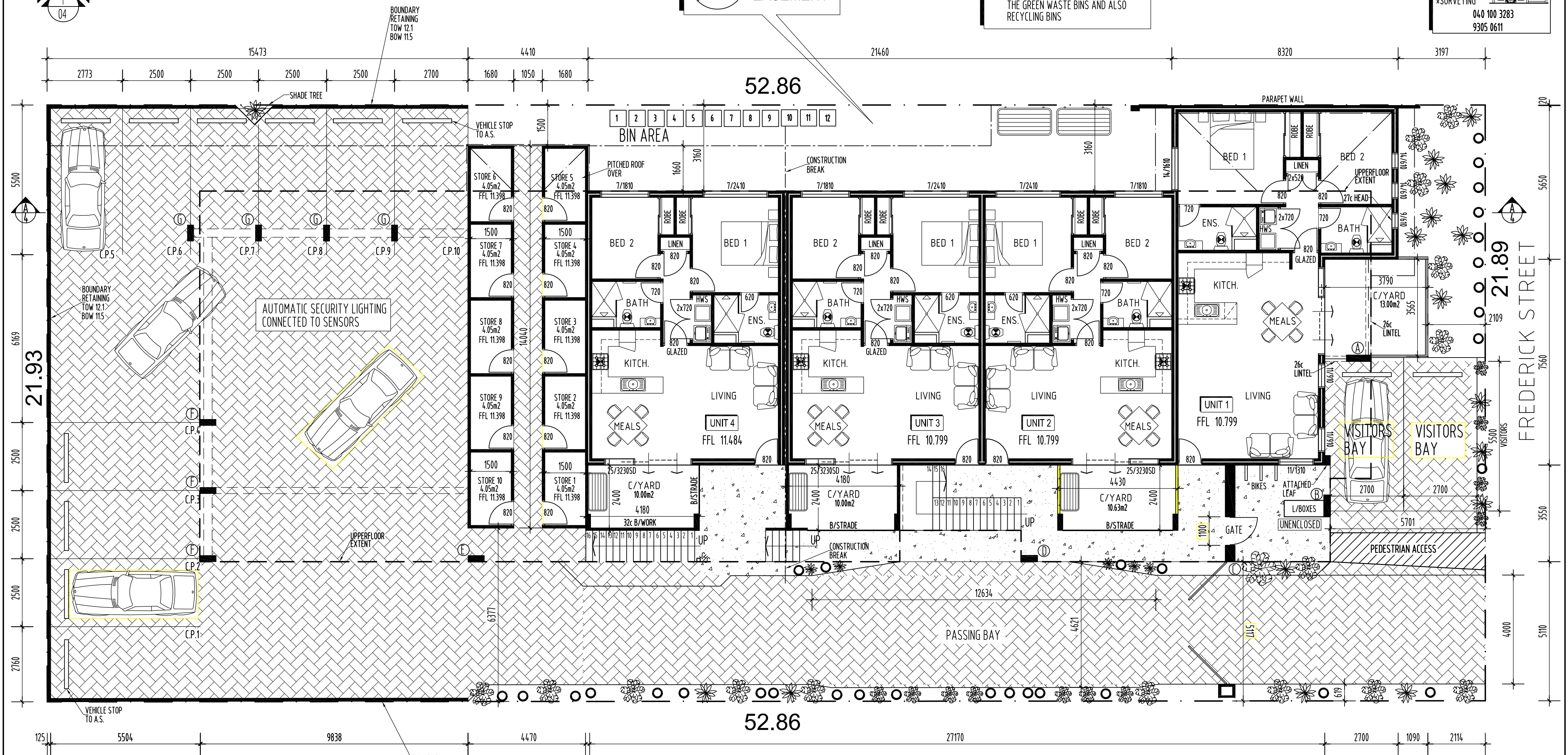
PARAPET WALL TERMITE TREATMENT
= PHYSICAL BARRIER AS PER A.S. 3660.1
AND BCA REQUIREMENTS.
HOMEGUARD BLUE (0.3mm) WILL BE INSTALLED
OR SIMILAR

NOTE:
TERMITE MANAGEMENT SYSTEM AS PER BCA 3.1.3
INC.
(1) CONC. SLAB AND FOOTINGS TO AS 2870.
(2) CHEMICAL BARRIER SPRAY TO AS 3660.1
(BI - FLEX PRE-CONSTRUCTION (OR SIMILAR))
(3) DURABLE NOTICE IN PROMINENT POSITION
WITH FULL DETAILS AS PER BCA 3.1.3(b).
(4) REGULAR MAINTENANCE.
(5) PHYSICAL BARRIER TO PARAPET WALLS



NOTE:
WASTE COLLECTION WILL BE BY SMALL RUBBISH TRUCK WHICH WILL EMPTY THE GREEN WASTE BINS AND ALSO RECYCLING BINS

MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611



UNIT 1
P.R. AREA 88.33m²
INT. AREA 79.80m²
FFL 10.799

UNIT 2
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 10.799

UNIT 3
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 10.799

UNIT 4
P.R. AREA 72.71m²
INT. AREA 65.92m²
FFL 11.484

UNIT 5
P.R. AREA 80.39m²
INT. AREA 71.61m²
FFL 13.455

UNIT 6
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 13.455

UNIT 7
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 13.455

UNIT 8
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 15.129

UNIT 9
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 15.129

UNIT 10
P.R. AREA 79.82m²
INT. AREA 72.46m²
FFL 15.129

NOTES:
• TILED SKIRTING TO WET AREAS AS PER BCA 3.8
• FLOOR WASTE GULLIES TO WET AREAS AS PER BCA 3.8
• HARDWIRED SMOKE DETECTORS TO AS 3786-1993. INTERCONNECTED
• R/W'S AND SPREADER POSITION INDICATIVE ONLY FINAL POSITION BY ROOF PLUMBER TO A.S./BCA 3.5.2
• ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AND NOT 1-2012
• MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON
• VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971& AS1688)
• CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED.
• DRAFT PROOFING TO ALL EXTERNAL DOORS
• UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/W/WORK 90mm. ALL INT. B/W/WORK 90mm.
• SEALED EXHAUST FAN.
• TILED FLOORS.

FRONT SETBACK L/SCAPED AREA = 30.2m²

AGAPANTHUS
NATIVE SHRUB TO 1.2 HIGH
GREVILLIA

FOLDING DRYING LINE

DIMENSIONS ARE FOR BRICK ONLY NO WALL FINISHES ALLOWED FOR
DO NOT SCALE FROM THESE DRAWINGS

NOTES:
BALUSTRADE/HANDRAIL TO COMPLY WITH A.S.1170.1-2009 AND BCA PART 3.9.2 (MIN. 1000 HIGH) 125mm MAX OPENING
PROTECTION OF U/FLOOR BEDROOM WINDOWS AS PER BCA 3.9.2.5 MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY BCA PART 3.9.1
ALL GUTTERS SHALL BE FRONT 'SLOTTED' AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF TILES TO A.S.
ACOUSTIC LAGGING TO UPSTAIR UNIT PIPEWORK AS PER BCA SPECS.

AUTOMATIC SECURITY LIGHTING CONNECTED TO SENSORS FOR ALL COMMUNAL AREAS

NOTE:
ALL ENTRANCE DOORS SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

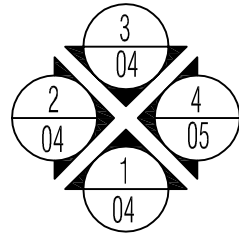
DRAWING TITLE: **GROUND FLOOR PLAN**

PROPOSED UNITS FOR **MR & MRS BAZOUNI**
ON LOT 16 (#50a) **FREDERICK STREET WANNEROO**

AMENDMENTS:
A1 AMENDED 4/17
DWG. A02 TOTAL DWG. 06

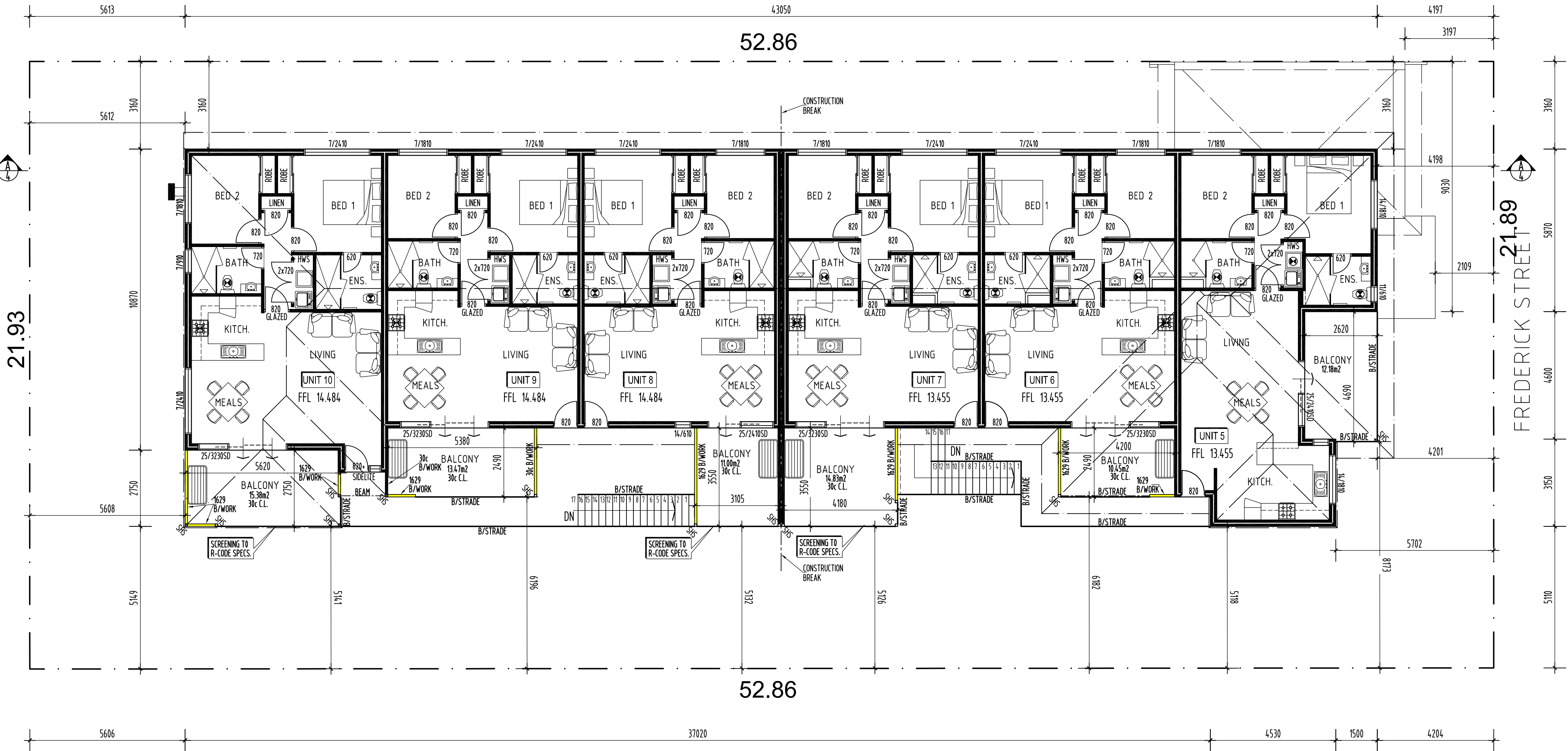
AREA:
RESIDENCE:
GARAGE:
PORTICO:
TOTAL AREA:
ALFRESCO:

SCALE: 1:100
DATE: 1/2/2017



NOTE:
WASTE COLLECTION WILL BE BY SMALL
RUBBISH TRUCK WHICH WILL EMPTY
THE GREEN WASTE BINS AND ALSO
RECYCLING BINS

MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611

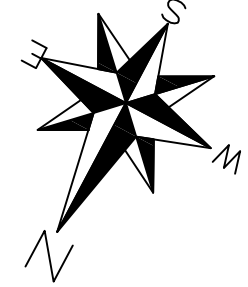


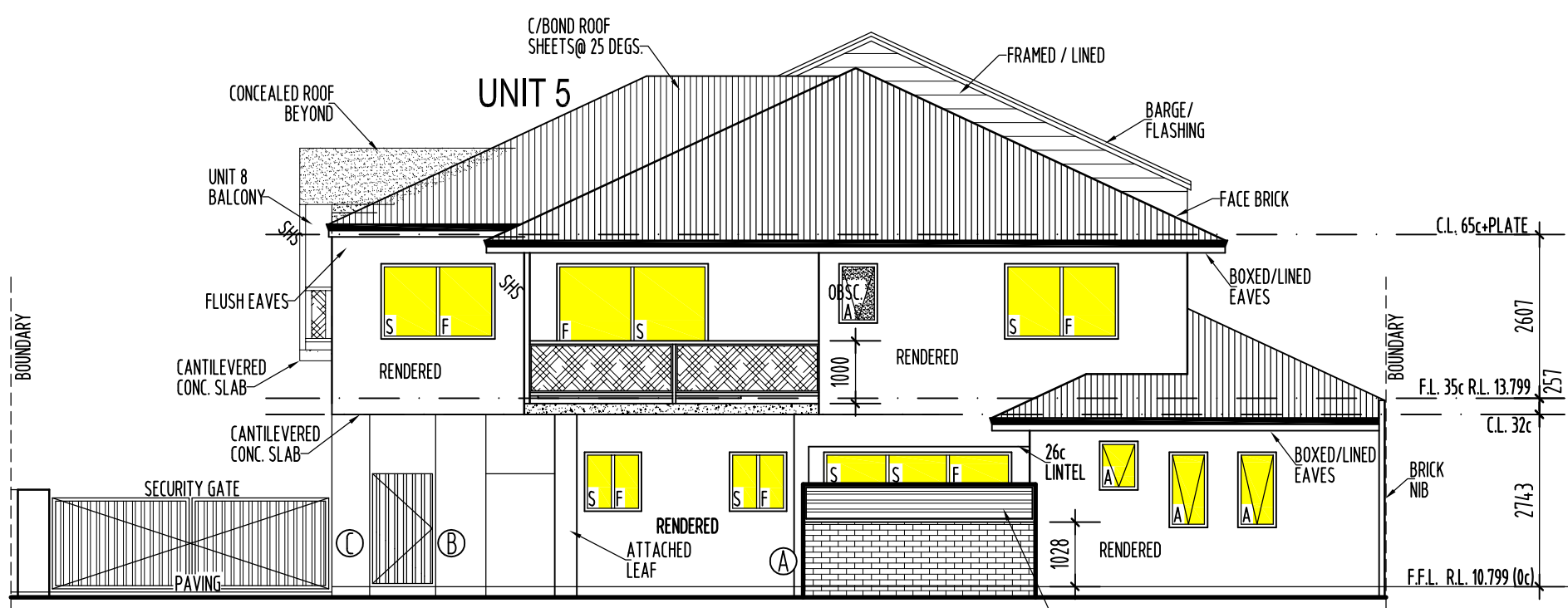
UNIT 1 P.R. AREA 88.33m ² INT. AREA 79.80m ² FFL 11.10	UNIT 2 P.R. AREA 71.39m ² INT. AREA 65.92m ² FFL 11.10	UNIT 3 P.R. AREA 72.55m ² INT. AREA 65.92m ² FFL 11.10	UNIT 4 P.R. AREA 72.71m ² INT. AREA 65.92m ² FFL 12.129	UNIT 5 P.R. AREA 80.39m ² INT. AREA 71.61m ² FFL 14.10	UNIT 6 P.R. AREA 71.39m ² INT. AREA 65.92m ² FFL 14.10	UNIT 7 P.R. AREA 72.55m ² INT. AREA 65.92m ² FFL 14.10	UNIT 8 P.R. AREA 72.55m ² INT. AREA 65.92m ² FFL 14.484	UNIT 9 P.R. AREA 71.39m ² INT. AREA 65.92m ² FFL 14.484	UNIT 10 P.R. AREA 79.82m ² INT. AREA 72.46m ² FFL 14.484
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NOTE:
ALL ENTRANCE DOORS
SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

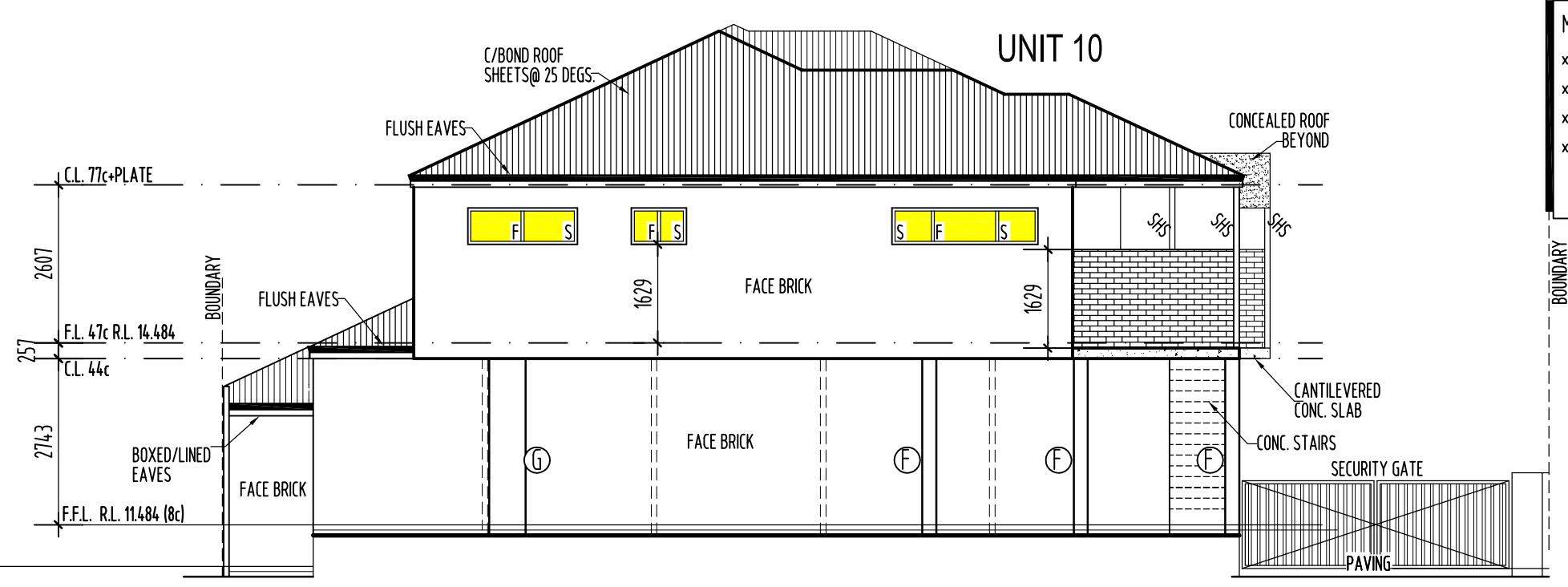
NOTES:
BALUSTRADE/HANDRAIL
TO COMPLY WITH
A.S.1170.1-2009 AND
BCA PART 3.9.2 (MIN. 1000 HIGH)
125mm MAX OPENING
PROTECTION OF U/FLOOR
BEDROOM WINDOWS
AS PER BCA 3.9.2.5
MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY
BCA PART 3.9.1
ALL 'GUTTERS' SHALL
BE FRONT 'SLOTTED'
AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF
TILES TO A.S.
ACOUSTIC LAGGING TO UPSTAIR
UNIT PIPEWORK AS PER BCA SPECS.

DRAWING TITLE: UPPER FLOOR PLAN	PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO	AMENDMENTS: A1 AMENDED 4/17 DWG. A03 TOTAL DWG. 06	AREA: RESIDENCE: GARAGE: PORTICO: TOTAL AREA: ALFRESCO:	NOTES: × TILED SKIRTING TO WET AREAS AS PER BCA 3.8 × FLOOR WASTE GULLEYS TO WET AREAS AS PER BCA 3.8 × HARDWIRED SMOKE DETECTORS TO AS 3786-1993. INTERCONNECTED × R/W'S AND SPREADER POSITION INDICATIVE ONLY FINAL POSITION BY ROOF PLUMBER TO A.S./BCA 3.5.2 × ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AMNDT 1-2012 × MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON × VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971& AS1688) × CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED. × DRAFT PROOFING TO ALL EXTERNAL DOORS × UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/WORK 90mm. ALL INT. B/WORK 90mm. × SEALED EXHAUST FAN. × TILED FLOORS.	FOLDING DRYING LINE	DIMENSIONS ARE FOR BRICK ONLY NO WALL FINISHES ALLOWED FOR	DO NOT SCALE FROM THESE DRAWINGS
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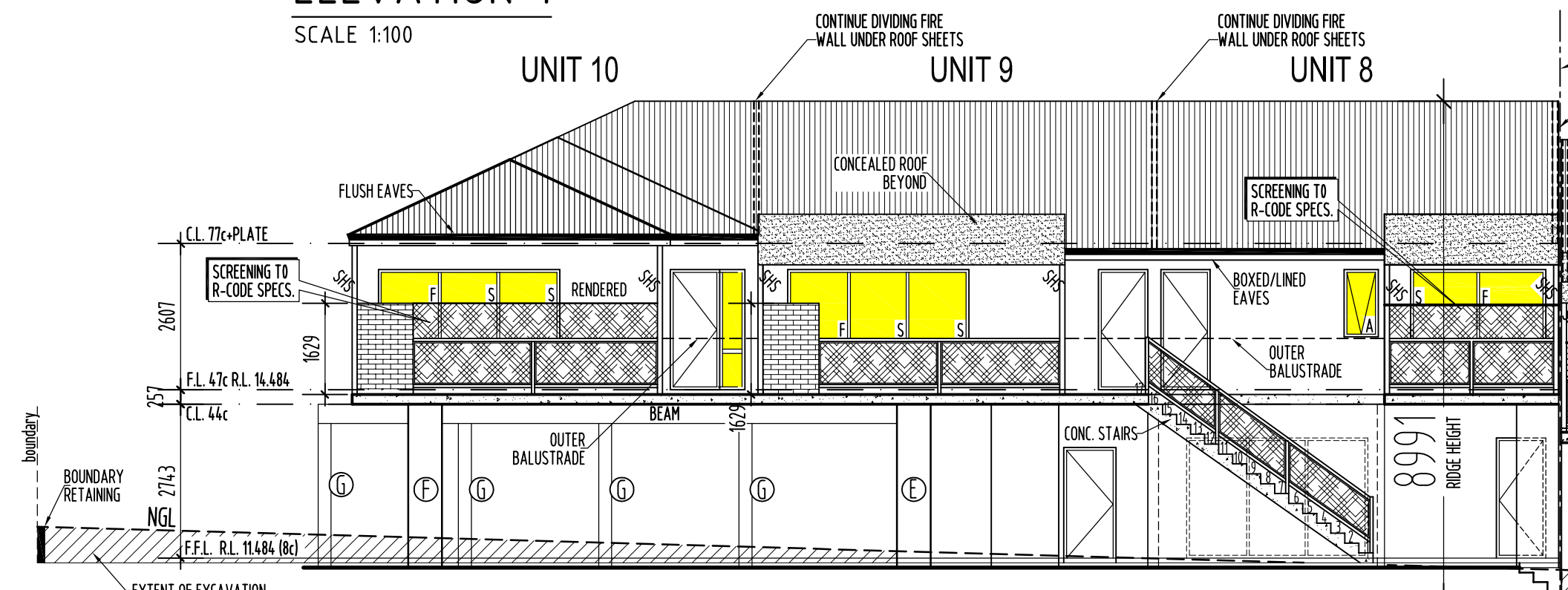




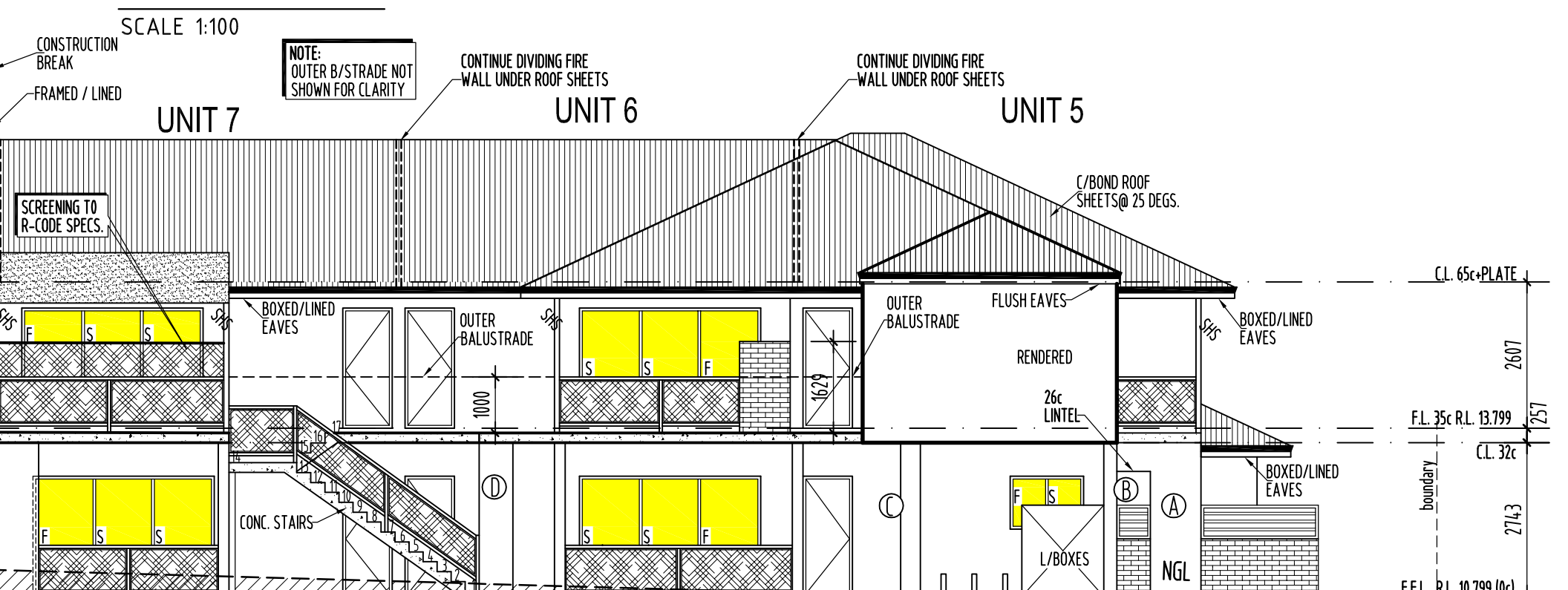
ELEVATION 1
SCALE 1:100



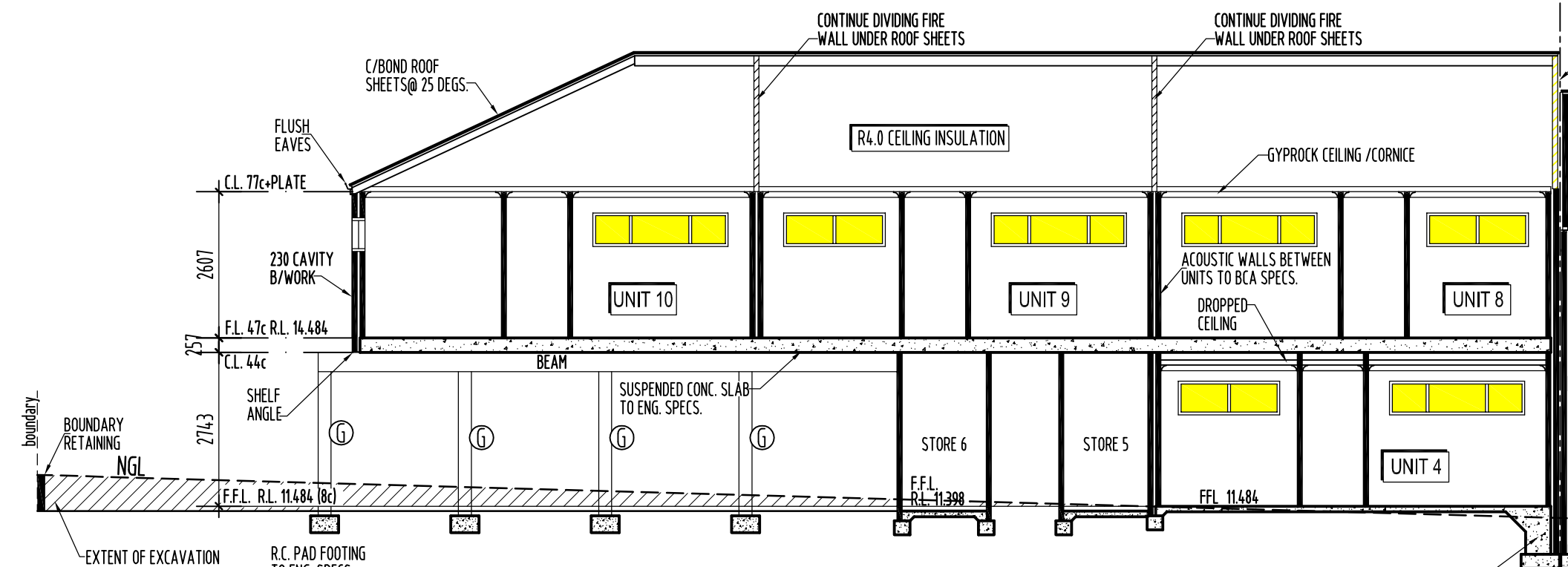
ELEVATION 3
SCALE 1:100



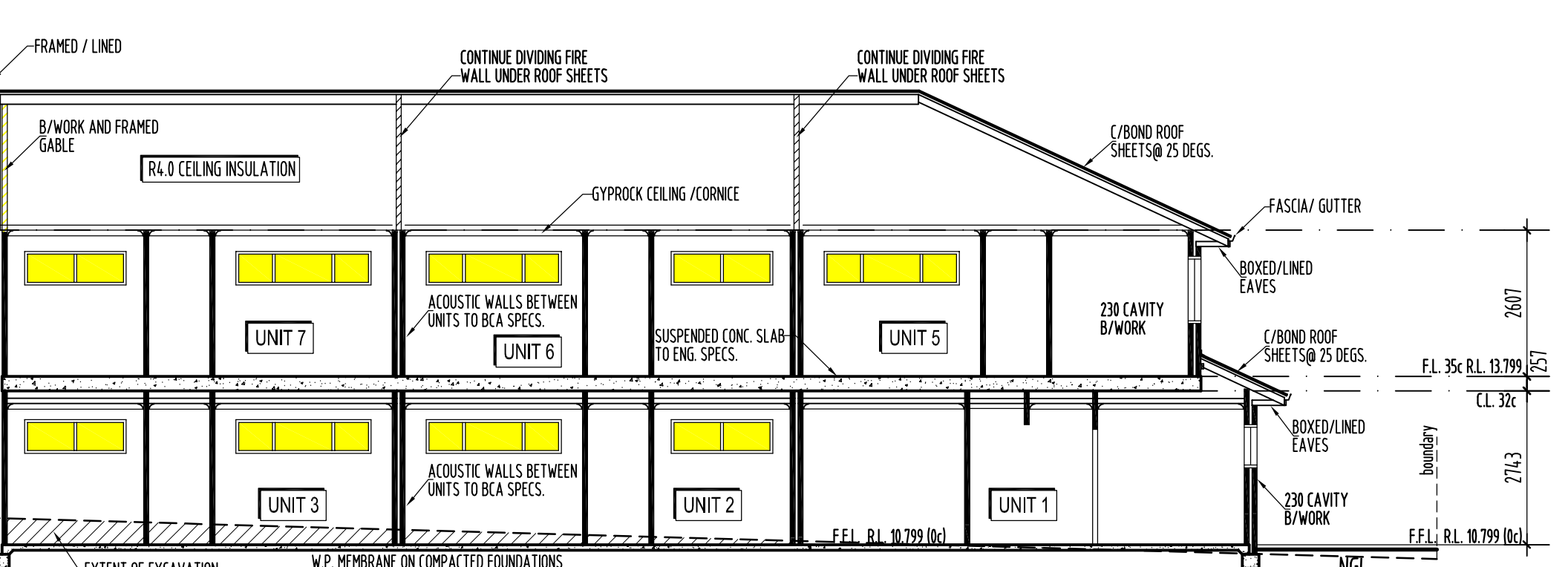
ELEVATION 2
SCALE 1:100



ELEVATION 2
SCALE 1:100



SECTION A-A
SCALE 1:100



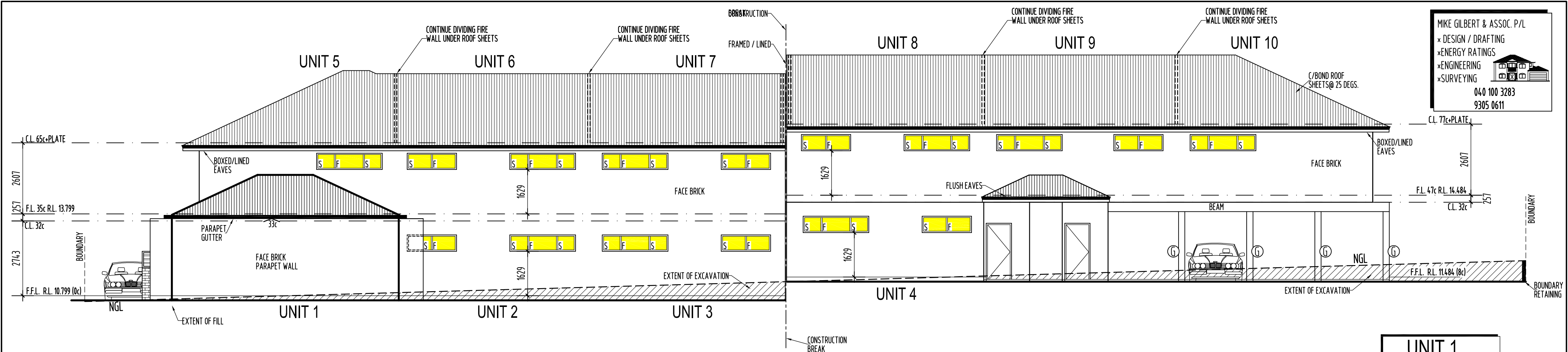
NOTE:
ROOF FRAME TO COMPLY WITH AS 1684.2-2010 AMNDT 1 2012

NOTES:
BALUSTRADE/HANDRAIL TO COMPLY WITH A.S.1170.1-2009 AND BCA PART 3.9.2 (MIN. 1000 HIGH) 125mm MAX OPENING
PROTECTION OF U/FLOOR BEDROOM WINDOWS AS PER BCA 3.9.2.5 MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY BCA PART 3.9.1
ALL GUTTERS SHALL BE FRONT 'SLOTTED' AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF TILES TO A.S.
ACQUSTIC LAGGING TO UPSTAIR UNIT PIPEWORK AS PER BCA SPECS.

NOTE:
ALL ENTRANCE DOORS SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

DRAWING TITLE: ELEVATIONS/ SECTION		PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO		AMENDMENTS:	
DRAWN: MG	JOB No: A2	DATE: 1/2/2017		A AMENDED 4/7/17	
SCALE: 1:100				DWG. A04 TOTAL DWG. 06	

MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611



MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611

STORES
EXT. AREA 46.06m²
FFL 12.043

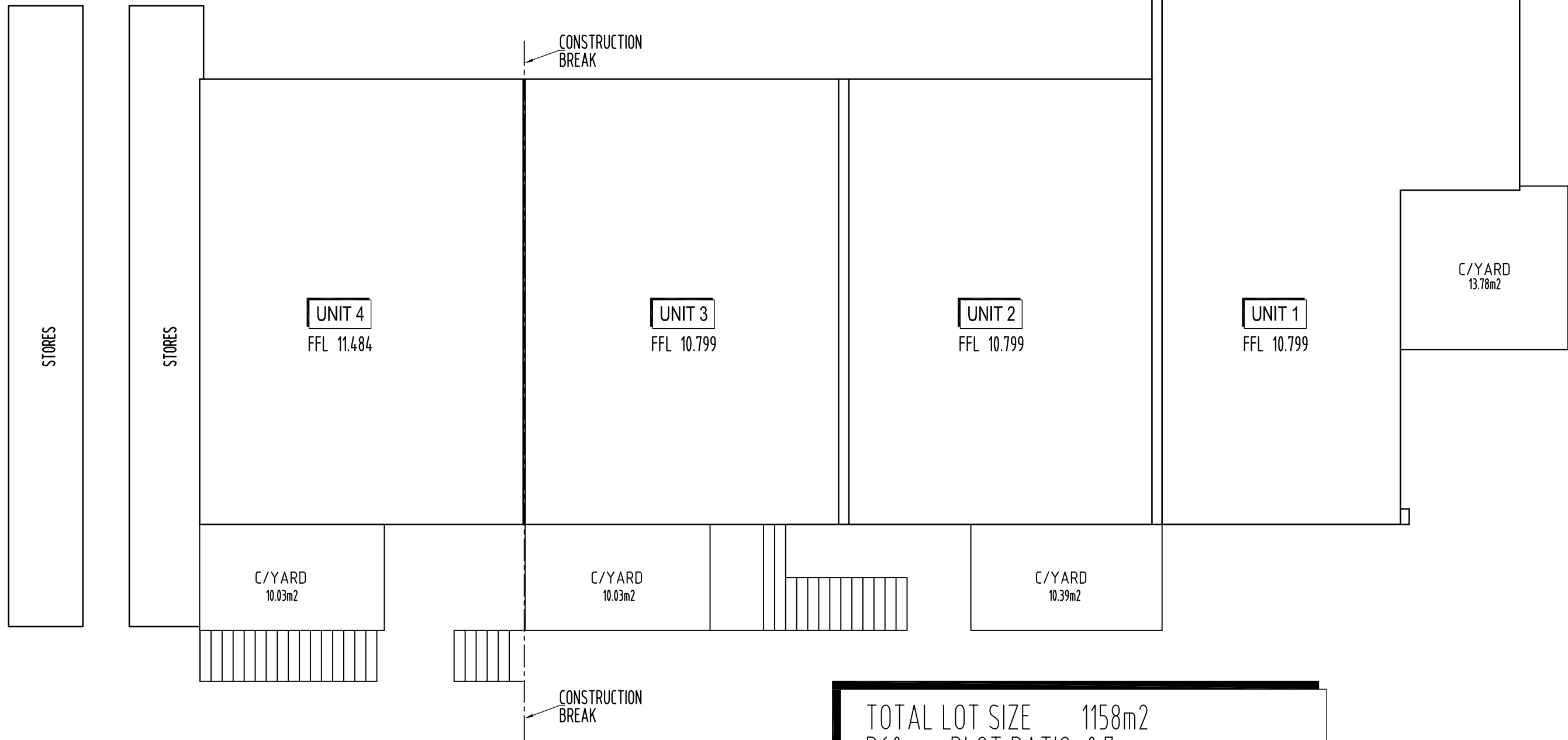
UNIT 1
P.R. AREA 88.33m²
INT. AREA 79.80m²
FFL 11.10

UNIT 2
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 11.10

UNIT 3
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 11.10

UNIT 4
P.R. AREA 72.71m²
INT. AREA 65.92m²
FFL 12.129

TOTAL GROUND FLOOR AREAS	
TOTAL LOT AREA	1158m ²
UNITS	306.50m ²
STORES	46.06m ²
TOTAL	352.56m ²
SITE COVER	30.44%
C/YARDS	43.63m ²



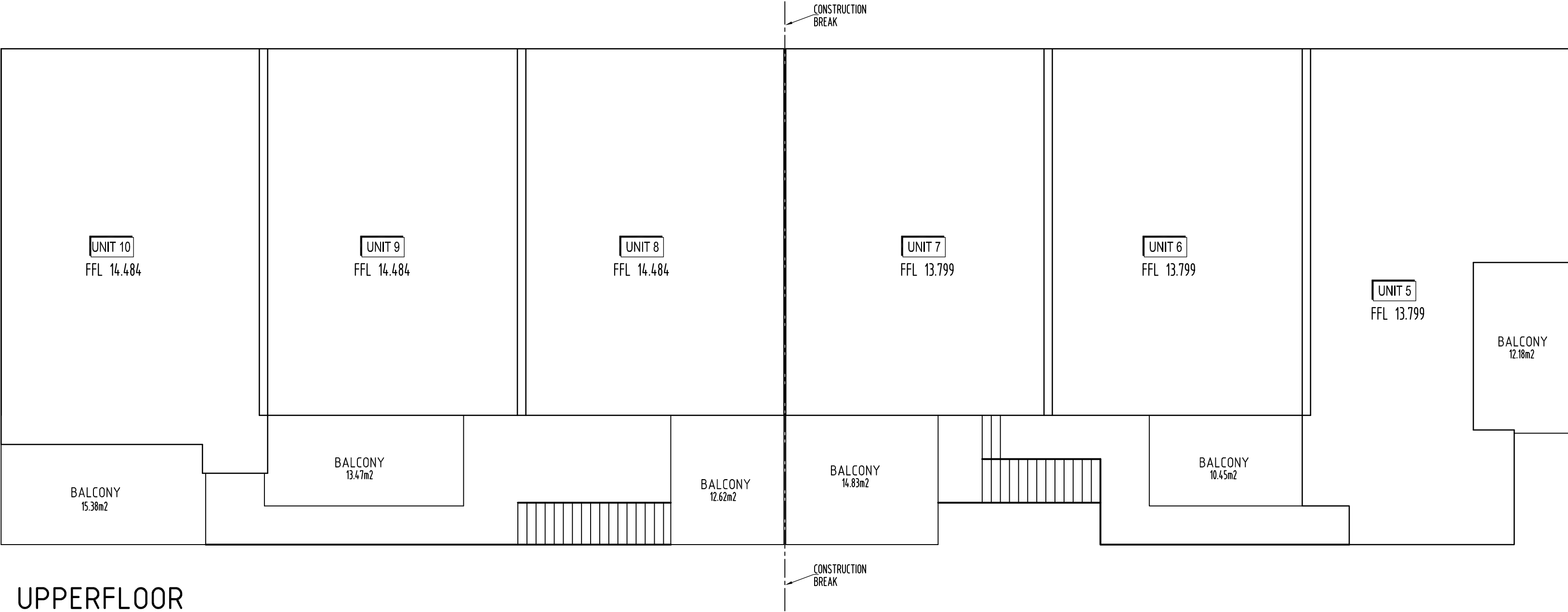
NOTES:
BALUSTRADE/HANDRAIL TO COMPLY WITH A.S.1170.1-2009 AND BCA PART 3.9.2 (MIN. 1000 HIGH) 125mm MAX OPENING
PROTECTION OF U/FLOOR BEDROOM WINDOWS AS PER BCA 3.9.2.5 MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY BCA PART 3.9.1
ALL GUTTERS SHALL BE FRONT 'SLOTTED' AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF SHEETS TO A.S.

TOTAL LOT SIZE 1158m²
R60 = PLOT RATIO 0.7
PLOT RATIO MAX AREA = 810.60m²
PLOT RATIO PROPOSED = 753.07m²
SITE COVER MAX 60% OF 1158m² = 694m²
SITE COVER PROPOSED = 352.56m²
TOTAL BALCONY AREAS = 78.91m²

NOTE:
ALL ENTRANCE DOORS SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

FINISHES & COLOUR SCHEDULE	
WALLS	ACRYLIC RENDER TO BRICKWORK PAINTED IN DULUX 'WHITE ON WHITE'. CONTRAST COLOURS IN DULUX 'WOODLAND GREY', AND 'SHALE GREY' PLUS FACE B/WORK WHERE NOTED
ROOFS	LYSAGHT CUSTOM ORB IN COLORBOND 'SHALE GREY'
WINDOWS	POWDERCOATED ALUMINIUM IN 'ANODIC SILVER GREY'
ENTRY DOORS	ALL PAINTED IN DULUX 'WHITE ON WHITE'
GUTTERS & FASCIAS	ALL COLORBOND 'SHALE GREY'
BALCONY BALUSTRADE	BRUSHED ALUMINIUM IN 'SILVER' WITH SELECTED INFILL
STAIR BALUSTRADE	POWDERCOATED ALUMINIUM IN COLORBOND 'SHALE GREY'
STORES	BRICKWORK, ROOFING, GUTTER & FASCIA TO MATCH UNITS

DRAWING TITLE: ELEVATIONS/ AREAS			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO			AMENDMENTS:		
DRAWN: MG	JOB No: A2					AMENDED	DATE	BY
SCALE: 1:100	DATE: 1/2/2017					DWG. A05	TOTAL DWG. 06	



UPPERFLOOR

SCALE 1:100

UNIT 5
P.R. AREA 80.39m²
INT. AREA 71.61m²
FFL 14.10

UNIT 6
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 14.10

UNIT 7
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 14.10

UNIT 8
P.R. AREA 72.55m²
INT. AREA 65.92m²
FFL 14.484

UNIT 9
P.R. AREA 71.39m²
INT. AREA 65.92m²
FFL 14.484

UNIT 10
P.R. AREA 79.82m²
INT. AREA 72.46m²
FFL 14.484

TOTAL GROUND FLOOR AREAS

TOTAL LOT AREA	1158m ²
UNITS	306.50m ²
STORES	46.06m ²
TOTAL	352.56m ²
SITE COVER	30.44%
C/YARDS	43.63m ²

TOTAL LOT SIZE	1158m ²
R60 = PLOT RATIO	0.7
PLOT RATIO MAX AREA =	810.60m ²
PLOT RATIO PROPOSED =	753.07m ²
SITE COVER MAX 60% OF 1158m ² =	694m ²
SITE COVER PROPOSED =	352.56m ²
TOTAL BALCONY AREAS =	78.91m ²

FINISHES & COLOUR SCHEDULE

WALLS	ACRYLIC RENDER TO BRICKWORK PAINTED IN DULUX 'WHITE ON WHITE'. CONTRAST COLOURS IN DULUX 'WOODLAND GREY', AND 'SHALE GREY' PLUS FACE B/WORK WHERE NOTED
ROOFS	LYSAGHT CUSTOM ORB IN COLORBOND 'SHALE GREY'
WINDOWS	POWDERCOATED ALUMINIUM IN 'ANODIC SILVER GREY'
ENTRY DOORS	ALL PAINTED IN DULUX 'WHITE ON WHITE'
GUTTERS & FASCIAS	ALL COLORBOND 'SHALE GREY'
BALCONY BALUSTRADE	BRUSHED ALUMINIUM IN 'SILVER' WITH SELECTED INFILL
STAIR BALUSTRADE	POWDERCOATED ALUMINIUM IN COLORBOND 'SHALE GREY'
STORES	BRICKWORK, ROOFING, GUTTER & FASCIA TO MATCH UNITS

NOTE:
ALL ENTRANCE DOORS
SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

DRAWING TITLE: ELEVATIONS/ AREAS			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO			AMENDMENTS:	
DRAWN: MG	JOB No:	A2					
SCALE: 1:100	DATE: 1/2/2017						
			A1	AMENDED	4/17		
			DWG. A06	TOTAL DWG.	06		