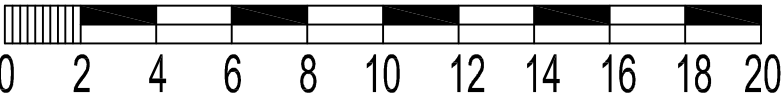


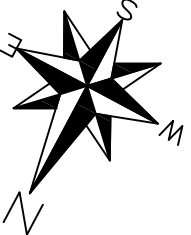
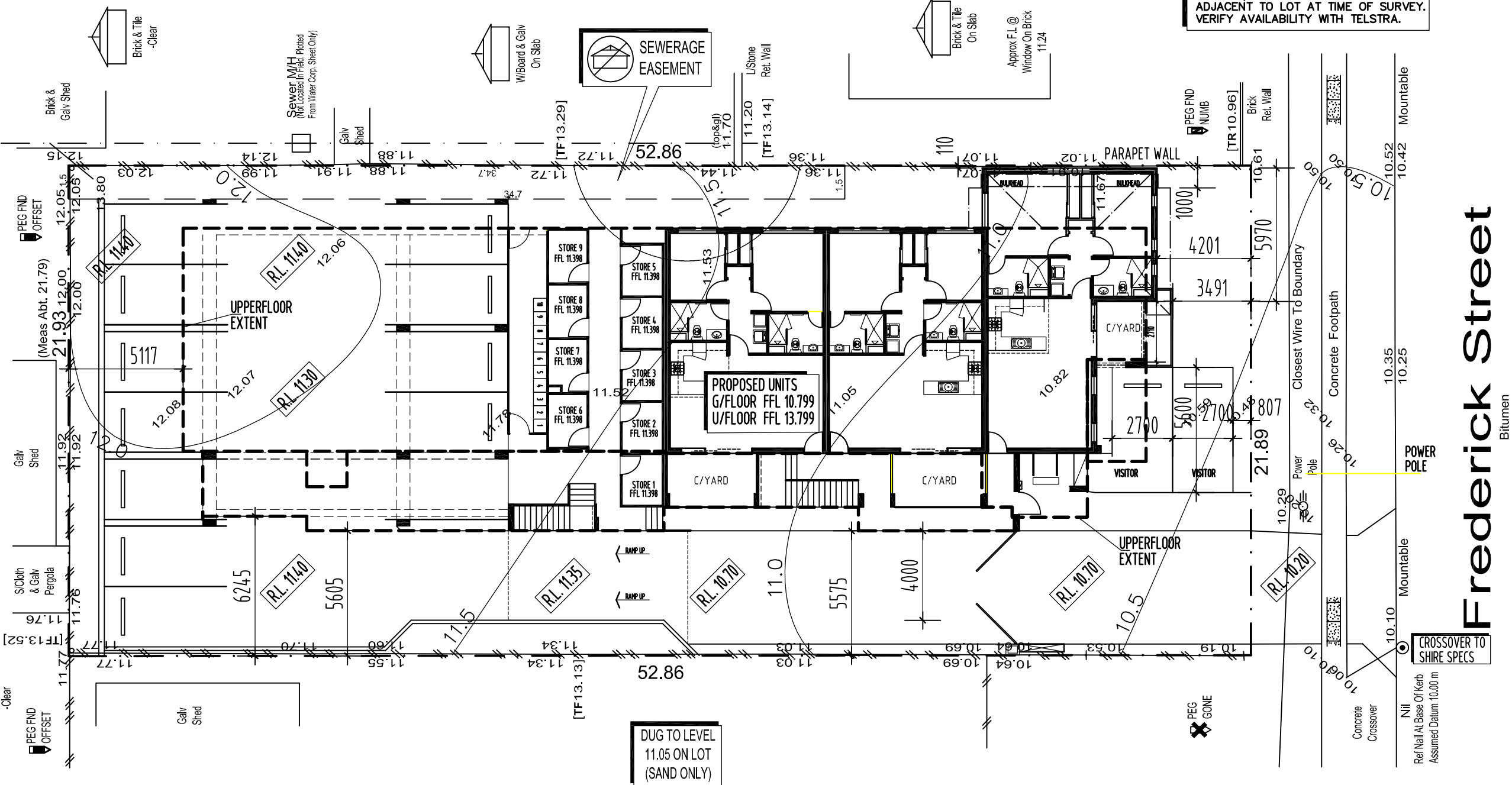
SCALE 1:200



NOTE/BEWARE: ADVISE TRADES
O/Head power lines

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELSTRA.

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.
Sewer Junction
In: 1.6 Up: 0.3
Inv: 8.8 Depth: 3.0
NOTE: UP

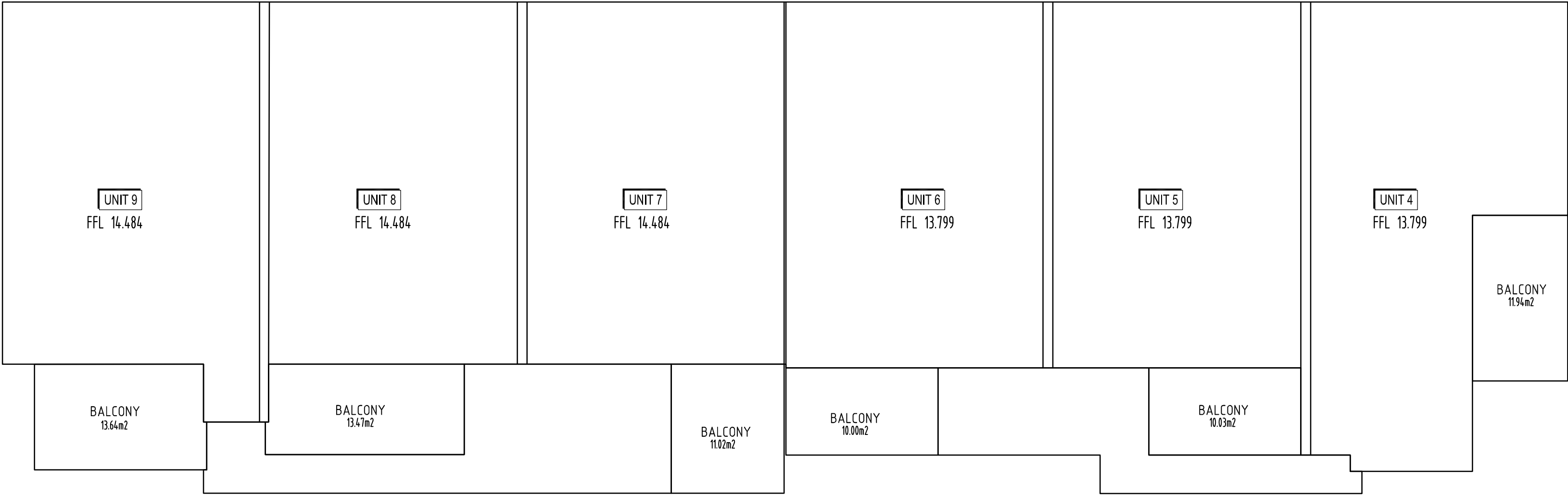


DRAWING TITLE: SITEPLAN			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO		AMENDMENTS:	
DRAWN: MG	JOB No: A3				B REDESIGN A AMENDED	7/17 4/17
SCALE: 1:200	DATE: 1/2/2017				DWG. A01	TOTAL DWG. 06

NOTE/BEWARE: ADVISE TRADES
O/Head power lines

PARAPET WALL TERMITE TREATMENT
= PHYSICAL BARRIER AS PER A.S. 3660.1
AND BCA REQUIREMENTS.
HOMEGUARD BLUE (0.3mm) WILL BE INSTALLED
OR SIMILAR

NOTE:
TERMITE MANAGEMENT SYSTEM AS PER BCA 3.1.3
INC.
(1) CONC. SLAB AND FOOTINGS TO AS 2870.
(2) CHEMICAL BARRIER SPRAY TO AS 3660.1
(BI - FLEX PRE-CONSTRUCTION (OR SIMILAR))
(3) DURABLE NOTICE IN PROMINENT POSITION
WITH FULL DETAILS AS PER BCA 3.1.3(b).
(4) REGULAR MAINTENANCE.
(5) PHYSICAL BARRIER TO PARAPET WALLS



UNIT 9
P.R. AREA 76.67m2
INT. AREA 67.13m2
FFL 10.943

UNIT 8
P.R. AREA 70.68m2
INT. AREA 64.85m2
FFL 10.943

UNIT 7
P.R. AREA 71.83m2
INT. AREA 65.04m2
FFL 10.943

UNIT 6
P.R. AREA 72.55m2
INT. AREA 65.73m2
FFL 12.40

UNIT 5
P.R. AREA 71.33m2
INT. AREA 65.54m2
FFL 12.40

UNIT 4
P.R. AREA 74.39m2
INT. AREA 66.16m2
FFL 12.40

FINISHES & COLOUR SCHEDULE

WALLS	ACRYLIC RENDER TO BRICKWORK PAINTED IN DULUX 'WHITE ON WHITE'. CONTRAST COLOURS IN DULUX 'WOODLAND GREY', AND 'SHALE GREY' PLUS FACE B/WORK WHERE NOTED
ROOFS	LYSAGHT CUSTOM ORB IN COLORBOND 'SHALE GREY'
WINDOWS	POWDERCOATED ALUMINIUM IN 'ANODIC SILVER GREY'
ENTRY DOORS	ALL PAINTED IN DULUX 'WHITE ON WHITE'
GUTTERS & FASCIAS	ALL COLORBOND 'SHALE GREY'
BALCONY BALUSTRADE	BRUSHED ALUMINIUM IN 'SILVER' WITH SELECTED INFILL
STAIR BALUSTRADE	POWDERCOATED ALUMINIUM IN COLORBOND 'SHALE GREY'
STORES	BRICKWORK, ROOFING, GUTTER & FASCIA TO MATCH UNITS

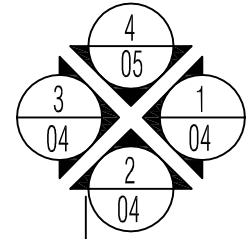
NOTE:
ALL ENTRANCE DOORS
SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

TOTAL GROUND FLOOR AREAS

TOTAL LOT AREA	1158m2
UNITS	218.84m2
STORES	41.69m2
TOTAL U/COVER PARKING	260.53m2
TOTAL SITE COVER	451.10m2
C/YARDS	38.95%
	30.83m2

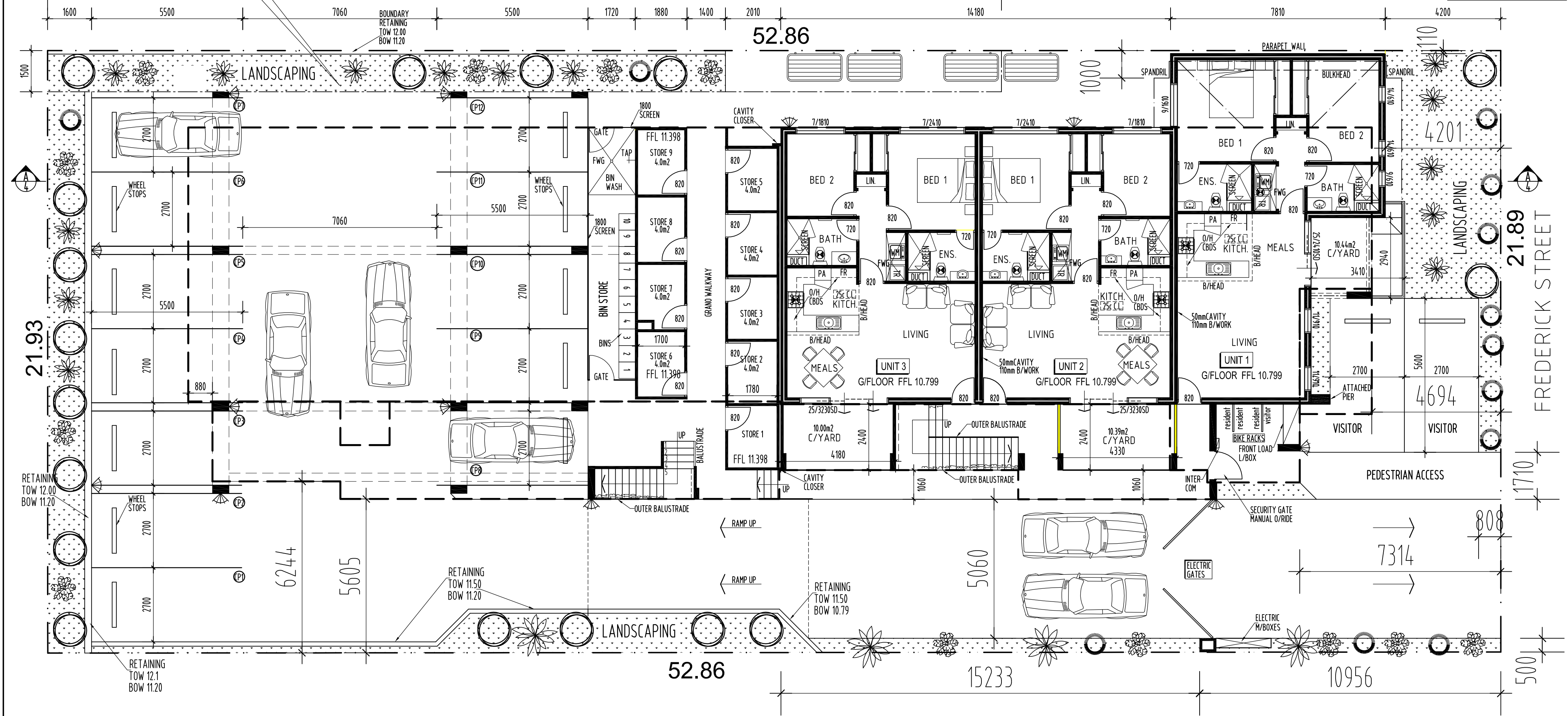
TOTAL LOT SIZE 1160m2
R60 = PLOT RATIO 0.7
PLOT RATIO MAX AREA = 811.45m2
PLOT RATIO PROPOSED = 656.08m2

DRAWING TITLE: ELEVATIONS/ AREAS			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO			AMENDMENTS:	
DRAWN: MG	JOB No:	A2				B	REDESIGN
SCALE: 1:100	DATE: 1/2/2017					A	AMENDED
						DWG.	TOTAL DWG.
						A06	06



SEWERAGE
EASEMENT

MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611



TOTAL LOT SIZE 1160m²
R60 = PLOT RATIO 0.7

PLOT RATIO MAX AREA = 811.45m²
PLOT RATIO PROPOSED = 661.55m²

AUTOMATIC SECURITY LIGHTING
CONNECTED TO SENSORS
FOR ALL COMMUNAL AREAS

NOTE:
WASTE COLLECTION WILL BE BY SMALL
RUBBISH TRUCK WHICH WILL EMPTY
THE GREEN WASTE BINS AND ALSO
RECYCLING BINS

UNIT 3
P.R. AREA 72.55m²
INT. AREA 65.73m²
FFL 10.799

UNIT 2
P.R. AREA 71.39m²
INT. AREA 65.54m²
FFL 10.799

UNIT 1
P.R. AREA 80.16m²
INT. AREA 71.82m²
FFL 10.799

NOTES:

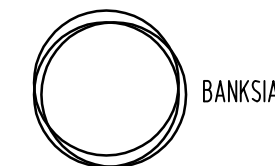
① TILED SKIRTING TO WET AREAS
AS PER BCA 3.8
② FLOOR WASTE GULLEYS
TO WET AREAS AS PER BCA 3.8
③ HARDWIRED SMOKE
DETECTORS TO AS 3786-1993.
INTERCONNECTED

④ R/W'S AND SPREADER POSITION
INDICATIVE ONLY FINAL POSITION
BY ROOF PLUMBER TO A.S./BCA 3.5.2
⑤ ROOF TIEDOWN IN ACCORDANCE
WITH A.S. 1684.2-2010 AMNDT 1-2012
⑥ MAX. DISTANCE BETWEEN
ATTACHED PIERS 1650mm UON

⑦ VENTILATION IN ACCORDANCE WITH SEWERAGE
(LIGHTING VENTILATION & CONSTRUCTION
REGULATIONS 1971& AS1680)
⑧ CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE
PRIOR TO STARTING. NOTIFY DESIGNER IF ANY
DISCREPANCIES ARE ENCOUNTERED.
⑨ DRAFT PROOFING TO ALL EXTERNAL DOORS

⑩ UNLESS OTHERWISE NOTED,
230mm CAVITY BRICK/WORK
ALL EXT. B/W/WORK 90mm.
ALL INT. B/W/WORK 90mm.
⑪ SEALED EXHAUST FAN.
⑫ TILED FLOORS.

FOLDING DRYING LINE



BANKSIA



AGAPANTHUS



NATIVE SHRUB TO 12 HIGH



GREVILLIA

LIGHTING

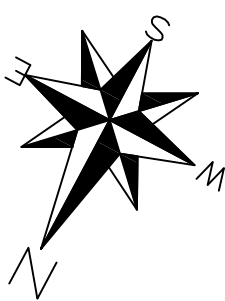
NOTES:

BALUSTRADE/HANDRAIL
TO COMPLY WITH
A.S.1170.1-2009 AND
BCA PART 3.9.2 (MIN. 1000 HIGH)
125mm MAX OPENING

PROTECTION OF U/FLOOR
BEDROOM WINDOWS
AS PER BCA 3.9.2.5
MAX. OPENING 125mm

ALL STAIRS SHALL COMPLY
BCA PART 3.9.1
ALL GUTTERS SHALL
BE FRONT 'SLOTTED'
AND COMPLY BCA PART 3.5.2

SARKING UNDER ROOF
TILES TO A.S.
ACOUSTIC LAGGING TO UPSTAIR
UNIT PIPEWORK AS PER BCA SPECS.



DRAWING TITLE:
GROUND
FLOOR PLAN

DRAWN: MG
SCALE: 1:100

PROPOSED
UNITS
FOR

MR & MRS BAZOUNI
ON LOT 16 (#50a)
FREDERICK STREET
WANNEROO

AMENDMENTS:

B REDESIGN 1/7/17
A AMENDED 1/7/17
DWG. A02 TOTAL DWG. 06

AREA:

RESIDENCE:
GARAGE:
PORTICO:
TOTAL AREA:
ALFRESCO:

NOTES:

① TILED SKIRTING TO WET AREAS
AS PER BCA 3.8
② FLOOR WASTE GULLEYS
TO WET AREAS AS PER BCA 3.8
③ HARDWIRED SMOKE
DETECTORS TO AS 3786-1993.
INTERCONNECTED

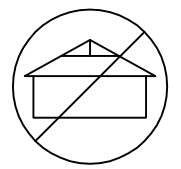
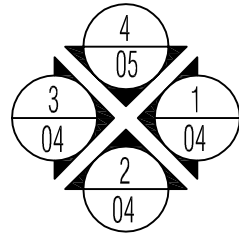
④ R/W'S AND SPREADER POSITION
INDICATIVE ONLY FINAL POSITION
BY ROOF PLUMBER TO A.S./BCA 3.5.2
⑤ ROOF TIEDOWN IN ACCORDANCE
WITH A.S. 1684.2-2010 AMNDT 1-2012
⑥ MAX. DISTANCE BETWEEN
ATTACHED PIERS 1650mm UON

⑦ VENTILATION IN ACCORDANCE WITH SEWERAGE
(LIGHTING VENTILATION & CONSTRUCTION
REGULATIONS 1971& AS1680)
⑧ CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE
PRIOR TO STARTING. NOTIFY DESIGNER IF ANY
DISCREPANCIES ARE ENCOUNTERED.
⑨ DRAFT PROOFING TO ALL EXTERNAL DOORS

⑩ UNLESS OTHERWISE NOTED,
230mm CAVITY BRICK/WORK
ALL EXT. B/W/WORK 90mm.
ALL INT. B/W/WORK 90mm.
⑪ SEALED EXHAUST FAN.
⑫ TILED FLOORS.

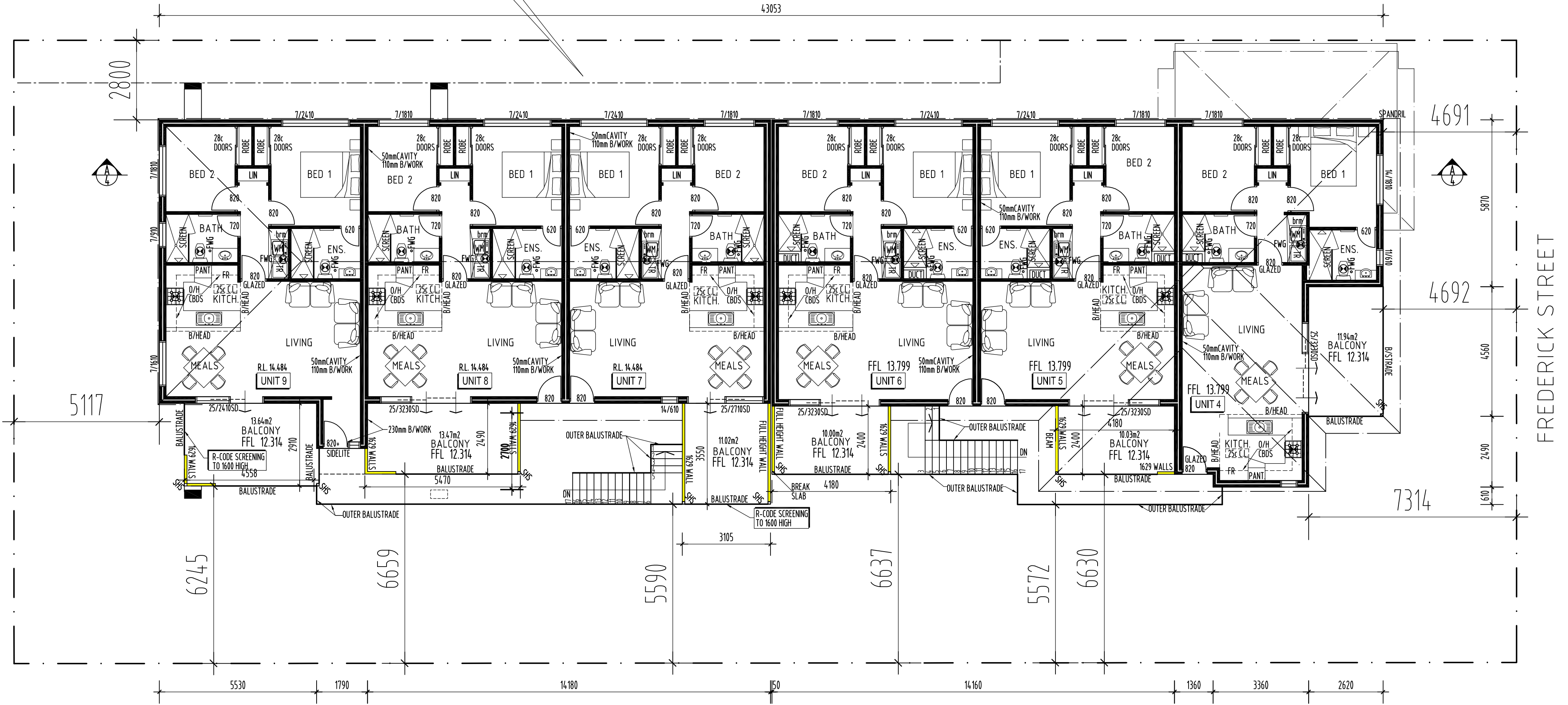
DIMENSIONS ARE FOR BRICK ONLY
NO WALL FINISHES ALLOWED FOR

DO NOT SCALE FROM
THESE DRAWINGS



SEWERAGE
EASEMENT

MIKE GILBERT & ASSOC. P/L
× DESIGN / DRAFTING
× ENERGY RATINGS
× ENGINEERING
× SURVEYING
040 100 3283
9305 0611



TOTAL LOT SIZE 1160m²
R60 = PLOT RATIO 0.7

PLOT RATIO MAX AREA = 811.45m²
PLOT RATIO PROPOSED = 661.55m²

UNIT 9
P.R. AREA 76.67m²
INT. AREA 67.13m²
FFL 10.943

UNIT 8
P.R. AREA 70.68m²
INT. AREA 64.85m²
FFL 10.943

UNIT 7
P.R. AREA 71.83m²
INT. AREA 65.04m²
FFL 10.943

UNIT 6
P.R. AREA 72.55m²
INT. AREA 65.73m²
FFL 12.40

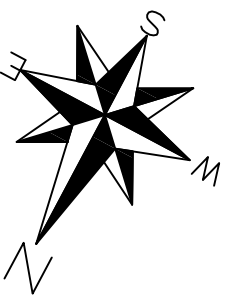
UNIT 5
P.R. AREA 71.33m²
INT. AREA 65.54m²
FFL 12.40

UNIT 4
P.R. AREA 74.39m²
INT. AREA 66.16m²
FFL 12.40

NOTE:
WASTE COLLECTION WILL BE BY SMALL
RUBBISH TRUCK WHICH WILL EMPTY
THE GREEN WASTE BINS AND ALSO
RECYCLING BINS

NOTES:
BALUSTRADE/HANDRAIL
TO COMPLY WITH
A.S.1170.1-2009 AND
BCA PART 3.9.2 (MIN. 1000 HIGH)
125mm MAX OPENING
PROTECTION OF U/FLOOR
BEDROOM WINDOWS
AS PER BCA 3.9.2.5
MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY
BCA PART 3.9.1
ALL GUTTERS SHALL
BE FRONT 'SLOTTED'
AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF
TILES TO A.S.
ACOUSTIC LAGGING TO UPSTAIR
UNIT PIPEWORK AS PER BCA SPECS.

DRAWING TITLE: UPPER FLOOR PLAN		PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO		AMENDMENTS: B REDESIGN 7/77 A1 AMENDED 4/77 DWG. A03 TOTAL DWG. 06		AREA: RESIDENCE: GARAGE: PORTICO: TOTAL AREA: ALFRESCO:		NOTES: TILED SKIRTING TO WET AREAS AS PER BCA 3.8 FLOOR WASTE GULLEYS TO WET AREAS AS PER BCA 3.8 HARDWIRED SMOKE DETECTORS TO AS 3786-1993. INTERCONNECTED RWP'S AND SPREADER POSITION INDICATIVE ONLY FINAL POSITION BY ROOF PLUMBER TO A.S./BCA 3.5.2 ROOF TIEDOWN IN ACCORDANCE WITH A.S. 1684.2-2010 AMNDT 1-2012 MAX. DISTANCE BETWEEN ATTACHED PIERS 1650mm UON VENTILATION IN ACCORDANCE WITH SEWERAGE (LIGHTING VENTILATION & CONSTRUCTION REGULATIONS 1971& AS1680) CHECK ALL DIMENSIONS DETAILS AND LEVELS ON SITE PRIOR TO STARTING. NOTIFY DESIGNER IF ANY DISCREPANCIES ARE ENCOUNTERED. DRAFT PROOFING TO ALL EXTERNAL DOORS UNLESS OTHERWISE NOTED, 230mm CAVITY BRICK/WORK ALL EXT. B/WORK 90mm. ALL INT. B/WORK 90mm. SEALED EXHAUST FAN. TILED FLOORS.		DIMENSIONS ARE FOR BRICK ONLY NO WALL FINISHES ALLOWED FOR		DO NOT SCALE FROM THESE DRAWINGS	
---------------------------------------	--	--	--	---	--	--	--	--	--	---	--	-------------------------------------	--



MIKE GILBERT & ASSOC. P/L

× DESIGN / DRAFTING

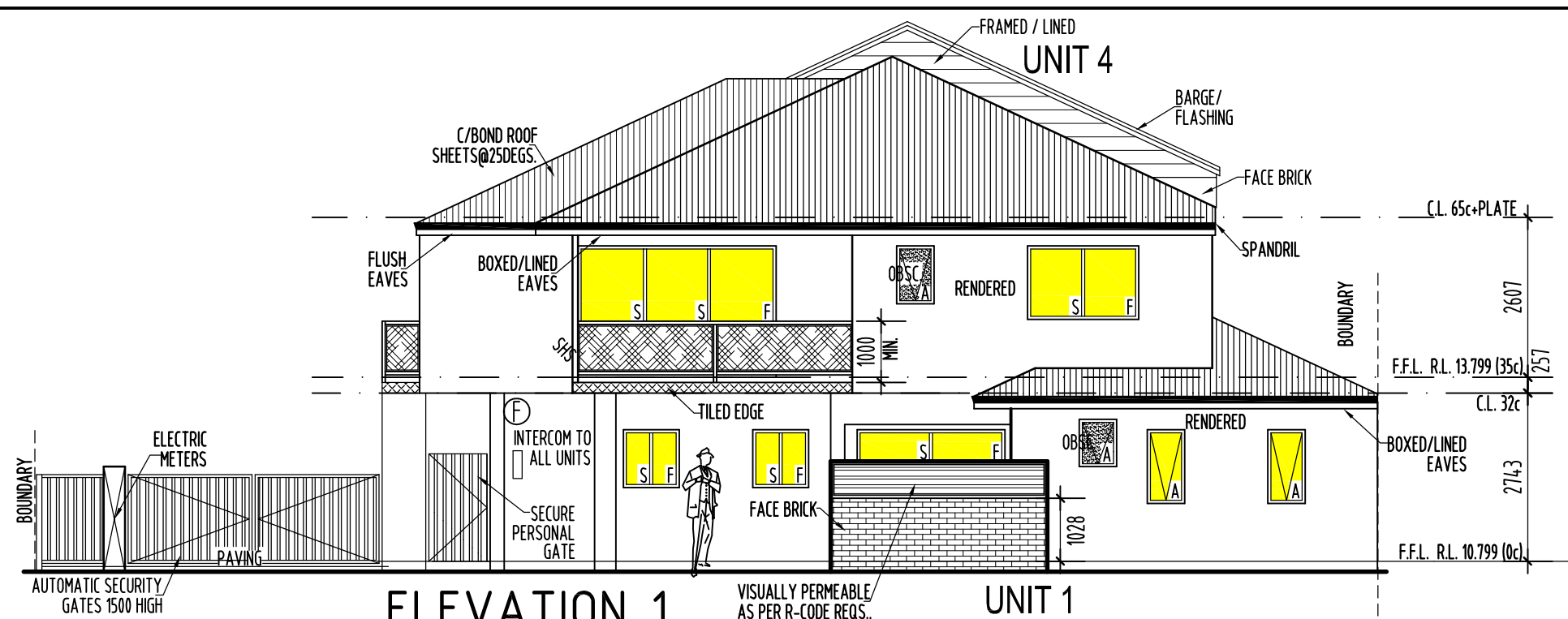
× ENERGY RATINGS

× ENGINEERING

× SURVEYING

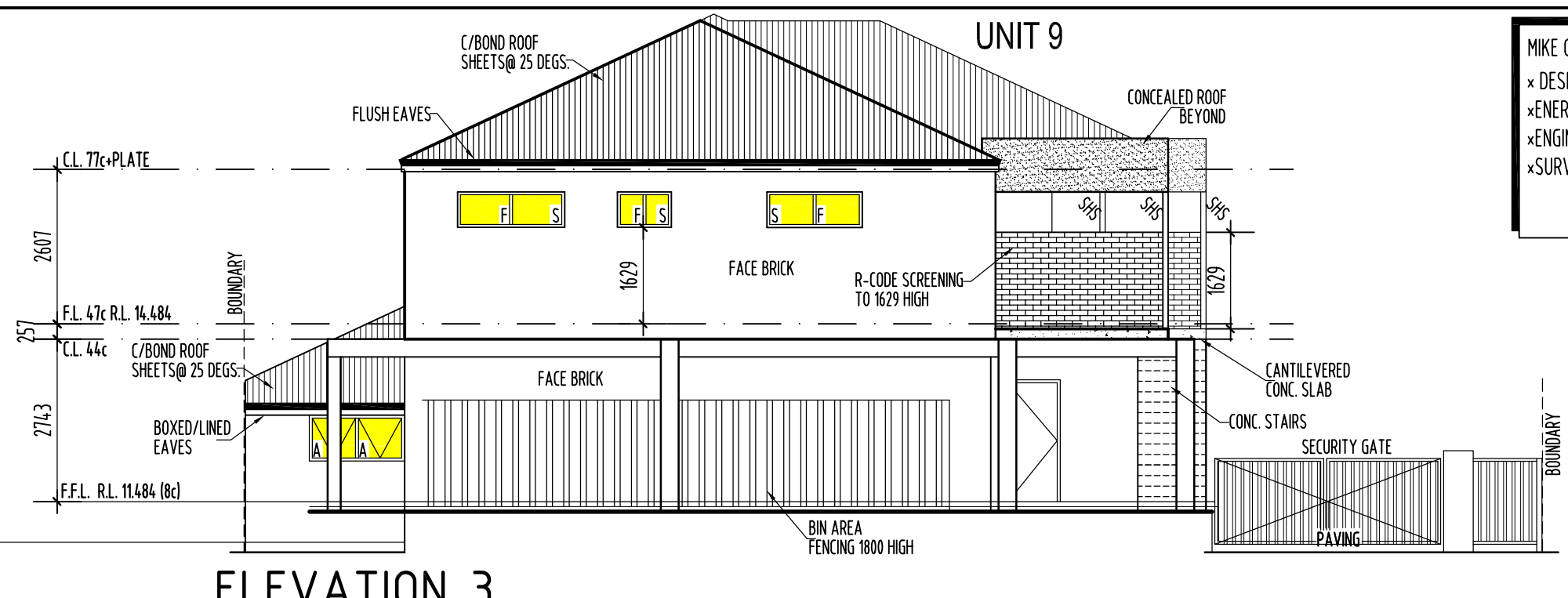
040 100 3283

9305 0611



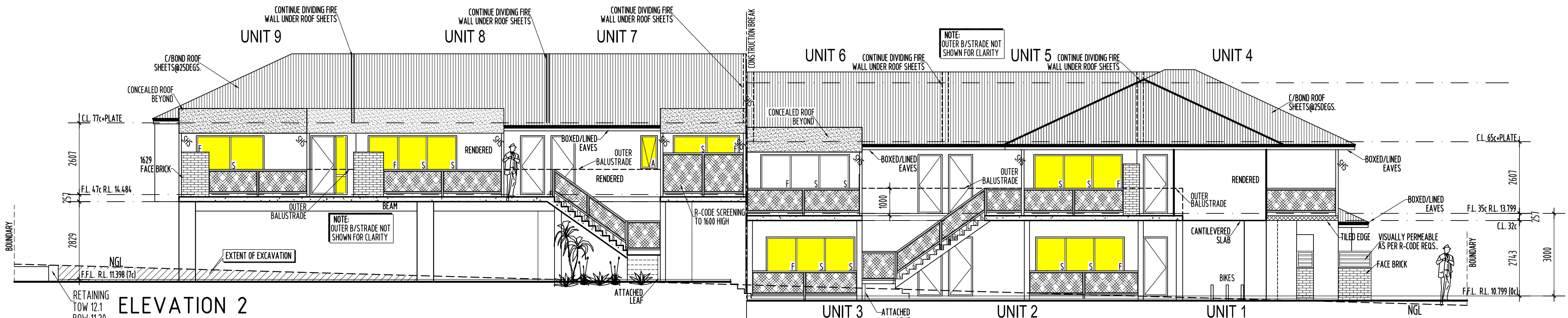
ELEVATION 1

SCALE 1:100



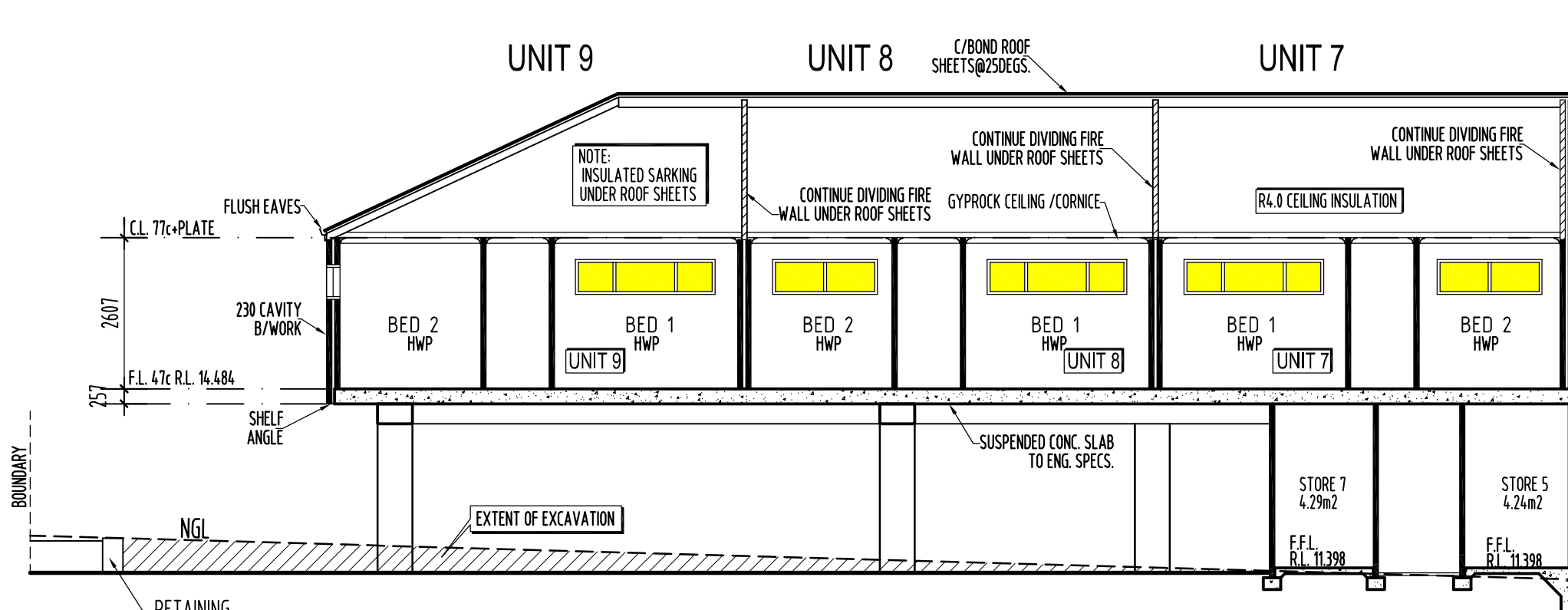
ELEVATION 3

SCALE 1:100



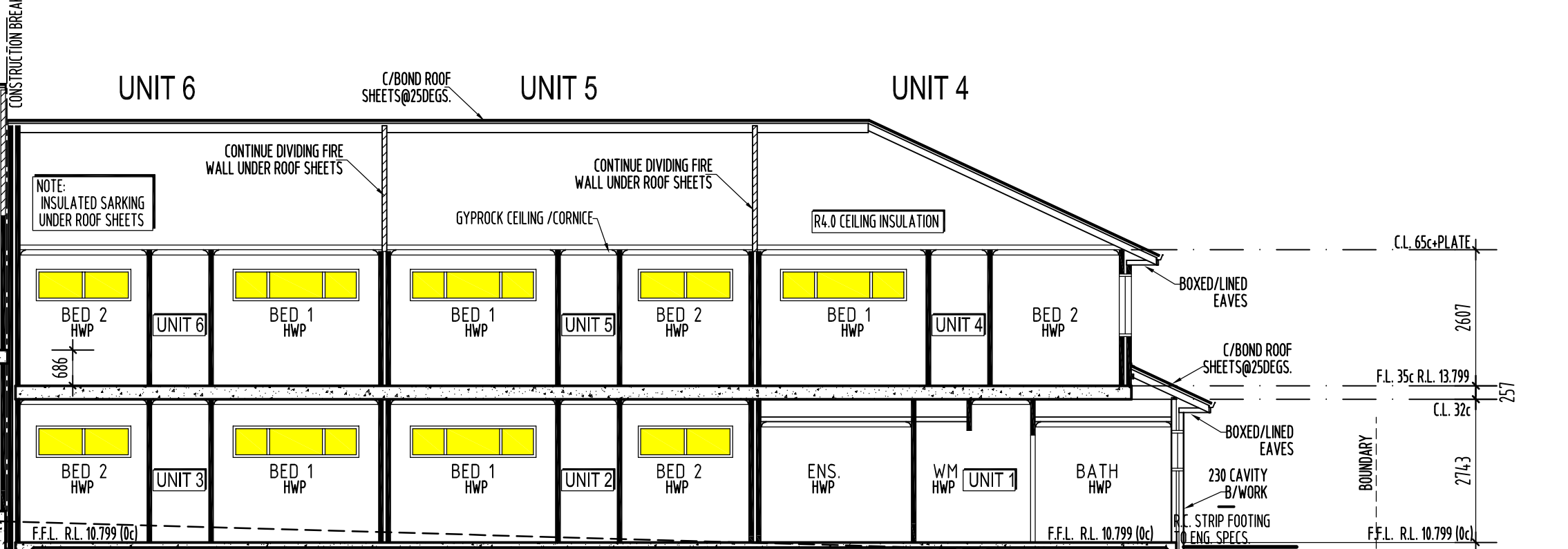
ELEVATION 2

SCALE 1:100



SECTION A-A

SCALE 1:100



NOTE:
ROOF FRAME TO
COMPLY WITH AS
1684.2-2010 AMND 1
2012

NOTES:

BALUSTRADE/HANDRAIL TO COMPLY WITH A.S.1170.1-2009 AND BCA PART 3.9.2 (MIN. 1000 HIGH) 125mm MAX OPENING

PROTECTION OF U/FLOOR BEDROOM WINDOWS AS PER BCA 3.9.2.5 MAX. OPENING 125mm

ALL STAIRS SHALL COMPLY BCA PART 3.9.1

ALL GUTTERS SHALL BE FRONT 'SLOTTED' AND COMPLY BCA PART 3.5.2

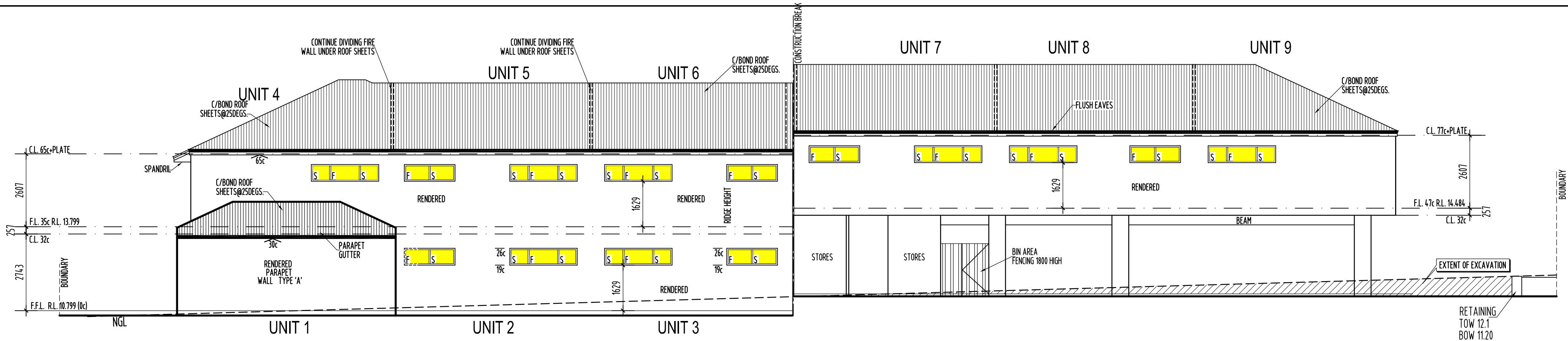
SARKING UNDER ROOF TILES TO A.S.

ACOUSTIC LAGGING TO UPSTAIR UNIT PIPEWORK AS PER BCA SPECS.

NOTE:
ALL ENTRANCE DOORS
SHALL BE

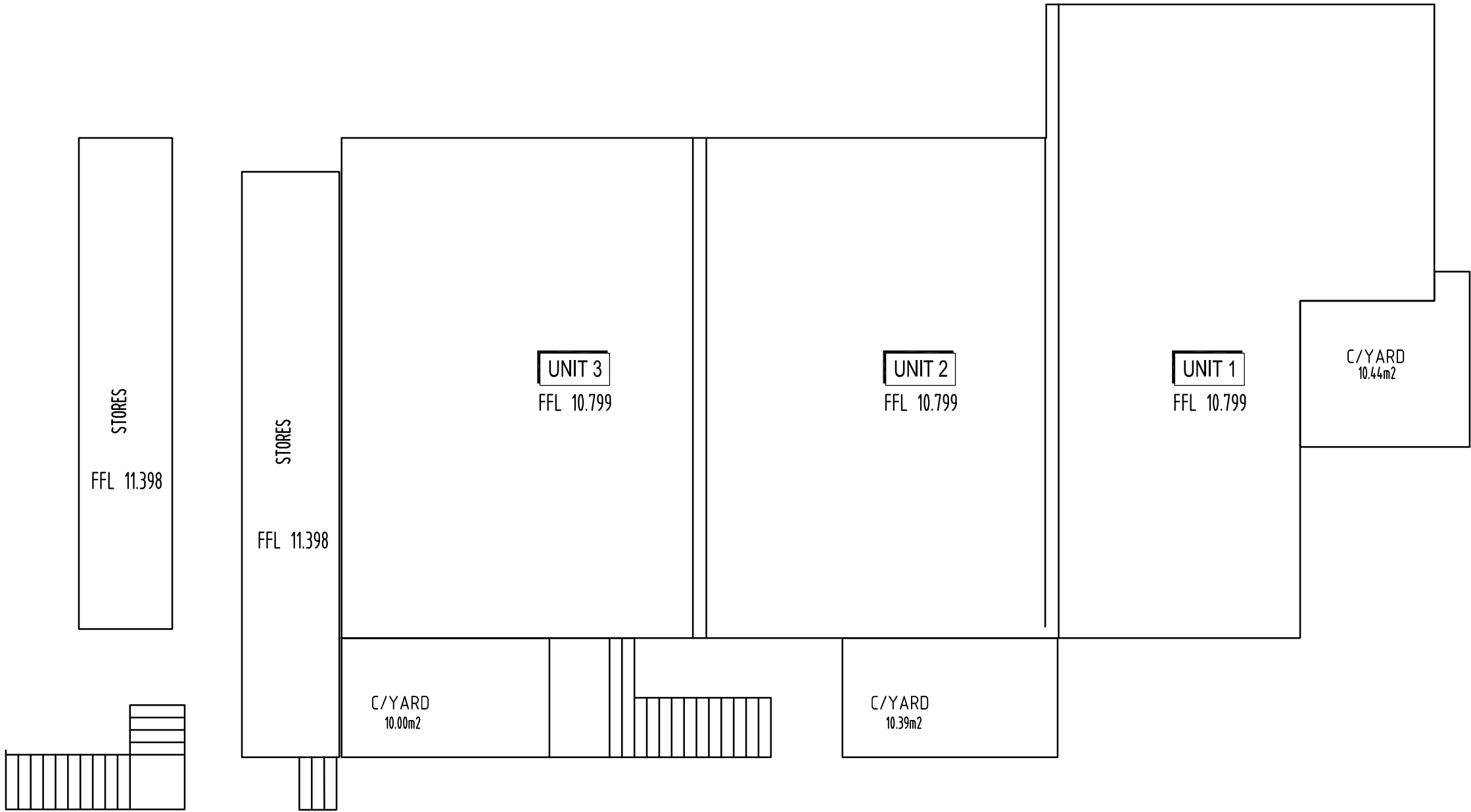
- × SOLID CORE
- × TIGHT FITTING
- × SELF CLOSING
- × MIN. 35mm THICK

DRAWING TITLE: ELEVATIONS/ SECTION		PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO		AMENDMENTS:	
DRAWN: MG	JOB No: A2			B REDESIGN	7/17
SCALE: 1:100	DATE: 1/2/2017			A AMENDED	4/17
				DWG. A04	TOTAL DWG. 06



ELEVATION 4
SCALE 1:100

STORES
EXT. AREA 41.69m²
FFL 11.398



TOTAL GROUND FLOOR AREAS	
TOTAL LOT AREA	1158m ²
UNITS	224.30m ²
STORES	41.69m ²
TOTAL	265.99m ²
U/COVER PARKING	190.57m ²
TOTAL	456.56m ²
SITE COVER	39.42%
C/YARDS	30.83m ²

UNIT 3
P.R. AREA 72.55m²
INT. AREA 65.73m²
FFL 10.799

UNIT 2
P.R. AREA 71.39m²
INT. AREA 65.54m²
FFL 10.799

UNIT 1
P.R. AREA 80.16m²
INT. AREA 71.82m²
FFL 10.799

NOTES:
BALUSTRADE/HANDRAIL TO COMPLY WITH A.S.1170.1-2009 AND BCA PART 3.9.2 (MIN. 1000 HIGH) 125mm MAX OPENING
PROTECTION OF U/FLOOR BEDROOM WINDOWS AS PER BCA 3.9.2.5 MAX. OPENING 125mm
ALL STAIRS SHALL COMPLY BCA PART 3.9.1
ALL GUTTERS SHALL BE FRONT 'SLOTTED' AND COMPLY BCA PART 3.5.2
SARKING UNDER ROOF SHEETS TO A.S.

NOTE:
ALL ENTRANCE DOORS SHALL BE
× SOLID CORE
× TIGHT FITTING
× SELF CLOSING
× MIN. 35mm THICK

FINISHES & COLOUR SCHEDULE

WALLS	ACRYLIC RENDER TO BRICKWORK PAINTED IN DULUX 'WHITE ON WHITE'. CONTRAST COLOURS IN DULUX 'WOODLAND GREY', AND 'SHALE GREY' PLUS FACE B/WORK WHERE NOTED
ROOFS	LYSAGHT CUSTOM ORB IN COLORBOND 'SHALE GREY'
WINDOWS	POWDERCOATED ALUMINIUM IN 'ANODIC SILVER GREY'
ENTRY DOORS	ALL PAINTED IN DULUX 'WHITE ON WHITE'
GUTTERS & FASCIAS	ALL COLORBOND 'SHALE GREY'
BALCONY BALUSTRADE	BRUSHED ALUMINIUM IN 'SILVER' WITH SELECTED INFILL
STAIR BALUSTRADE	POWDERCOATED ALUMINIUM IN COLORBOND 'SHALE GREY'
STORES	BRICKWORK, ROOFING, GUTTER & FASCIA TO MATCH UNITS

DRAWING TITLE: ELEVATIONS/ AREAS			PROPOSED UNITS FOR MR & MRS BAZOUNI ON LOT 16 (#50a) FREDERICK STREET WANNEROO			AMENDMENTS:	
DRAWN: MG	JOB No:	A2				B REDESIGN	1/1/17
SCALE: 1:100	DATE: 1/2/2017					A1 AMENDED	4/1/17
						DWG. A05	TOTAL DWG. 06