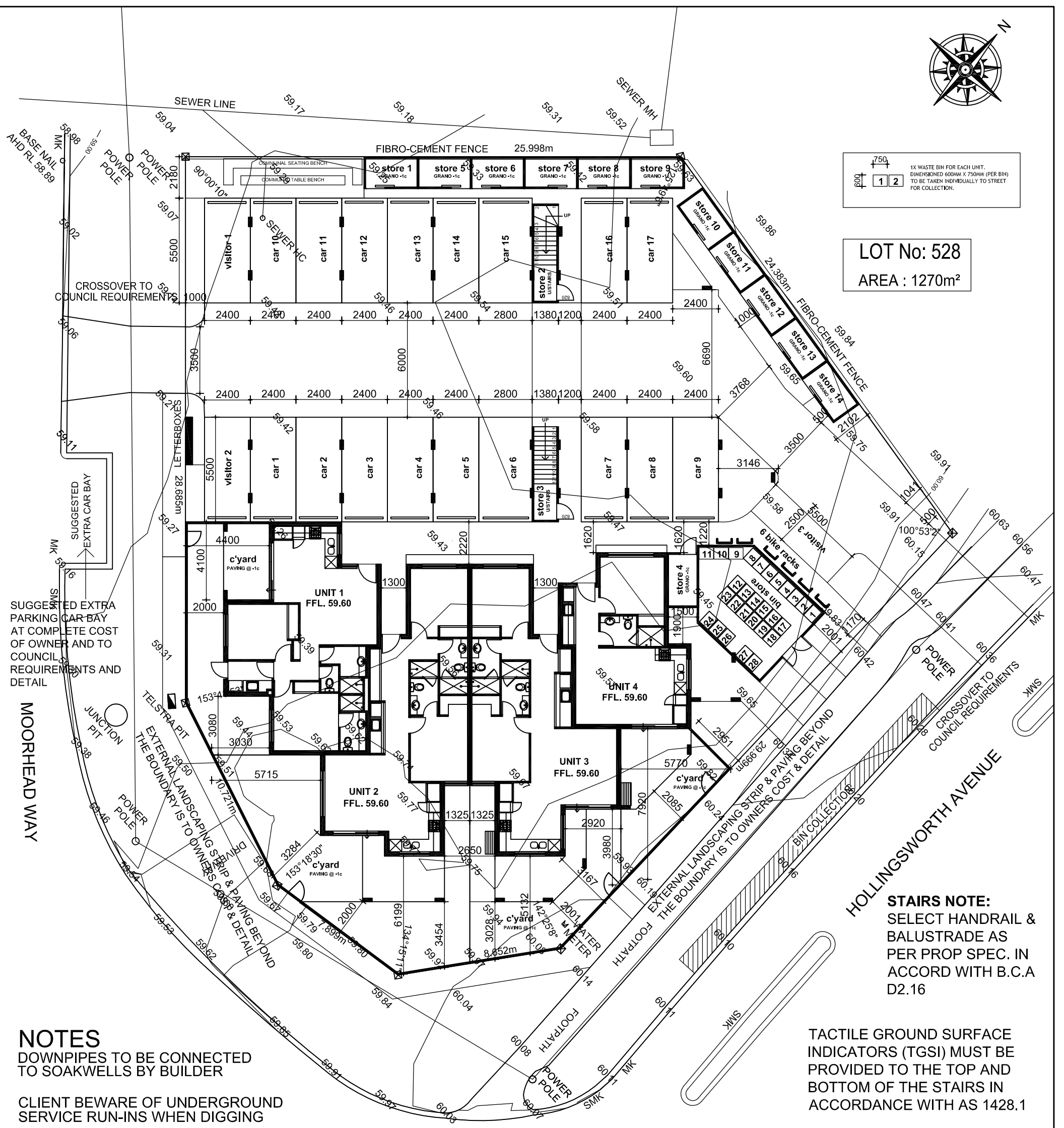


750
600
1 2
1X WASTE BIN FOR EACH UNIT. DIMENSIONED 600MM X 750MM. (PER BIN) TO BE TAKEN INDIVIDUALLY TO STREET FOR COLLECTION.

LOT No: 528
AREA : 1270m²



NOTES

DOWNPIPES TO BE CONNECTED TO SOAKWELLS BY BUILDER
CLIENT BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

STAIRS NOTE:
SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORD WITH B.C.A D2.16

TACTILE GROUND SURFACE INDICATORS (TGSi) MUST BE PROVIDED TO THE TOP AND BOTTOM OF THE STAIRS IN ACCORDANCE WITH AS 1428.1

Note: Sewer position is preliminary based on design position, As constructed Sewer position to be added when it becomes available from Water Corporation

ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA - VOLUME 2, 2016

GROUND FLOOR SITE PLAN



	MJ CONSTRUCTCOM PTY LTD ABN: 95604824384 2/217 RAVENSWOOD DR, WESTMINSTER MOBILE: 0402 449 892 EMAIL: mj_constructcom@yahoo.com	PROPERTY: 34 MOORHEAD WAY, KOONDOOLA		Drawn By: E.R	Dwg No. 1
		SITE PLAN		Date: SEPT 2017	
				Scale: 1:200	
				Plot Info: A3	
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					R Date Description



FIRE HOSE REEL TO BE INSTALLED IN ACCORDANCE WITH AS2441 & BCA E1.4

TACTILE GROUND SURFACE INDICATORS (TGS) MUST BE PROVIDED TO THE TOP AND BOTTOM OF THE STAIRS IN ACCORDANCE WITH AS 1428.1

AUTOMATIC SMOKE DETECTION TO BE INSTALLED THROUGHOUT TO COMPLY WITH SPECIFICATION E2.2A AND TO MANUFACTURERS SPECS

AUTOMATIC TIMED LIGHTING FOR ALL PATHWAYS & COMMUNAL OPEN SPACE AND PARKING SPACES

ALL FIRE HYDRANTS TO BE INSTALLED IN ACCORDANCE WITH AS2419.1 & BCA E1.3

CROSSOVER TO COUNCIL REQUIREMENTS

MOORHEAD WAY

SUGGESTED EXTRA CAR BAY

SUGGESTED EXTRA PARKING CAR BAY AT COMPLETE COST OF OWNER AND TO COUNCIL REQUIREMENTS AND DETAIL

EXTERNAL LANDSCAPING STRIP & PAVING BEYOND THE BOUNDARY IS TO OWNERS COST & DETAIL

EXTERNAL LANDSCAPING STRIP & PAVING BEYOND THE BOUNDARY IS TO OWNERS COST & DETAIL

CROSSOVER TO COUNCIL REQUIREMENTS

11% PAVING (142sqm)
 3% GRASS (36sqm)
 37% BITUMEN (479sqm)
 22% DEEP SOIL (286sqm)

LOT No: 528
 AREA : 1270m²

NOTES

DOWNPIPES TO BE CONNECTED TO SOAKWELLS BY BUILDER

CLIENT BEWARE OF UNDERGROUND SERVICE RUN-INS WHEN DIGGING

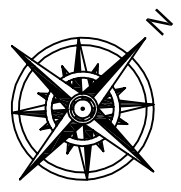
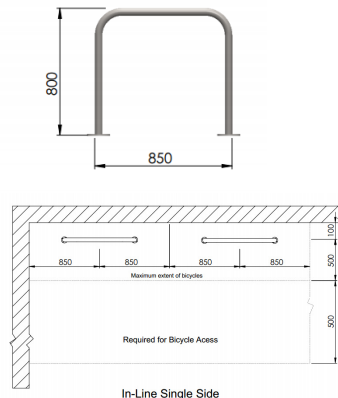
LANDSCAPING WATERED BY HARVESTED WATER USING A MOISTURE CENSORED RETICULATION SYSTEM

PLANTS TREATED WITH SEAWEED SOLUTION APPLY AGED MULCH & SLOW RELEASE FERTILIZER & SOIL CONDITIONER

ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA - VOLUME 2, 2016

1X WASTE BIN FOR EACH UNIT. DIMENSIONED 600MM X 750MM (PER BIN) TO BE TAKEN INDIVIDUALLY TO STREET FOR COLLECTION.

BIKE RACKS



LEGEND

PIC	SYMBOL	INFORMATION	HEIGHT MAXIMUM
		TREES, PLANT TYPE: LAVENDULA SPICA (ENGLISH LAVENDER)	750mm
		TREES, PLANT TYPE: GREVILLEA POORINDA TRANQUILITY	1m
		TREES, PLANT TYPE: GOLDEN DIOSMAS	1m
		TREES PLANT TYPE: AGONIS FLEXUOSA PEPPERMINT TREE	6-8m
		1500w x 1500 deep SOAKWELL W-GRADE	N/A
		1200w x 1200 DEEP SOAKWELL	N/A
		COLORBOND STEEL FENCING	1.8m
		HERRINGBONE STYLE PAVING	1 COURSE
		BUFFALO GRASS	N/A
		GRANO / BITUMEN	N/A
		DEEP SOIL	N/A
		STEEL CLOTHES LINE BOLTED TO WALL	1.5m

LANDSCAPE PLAN

SCALE 1: 200



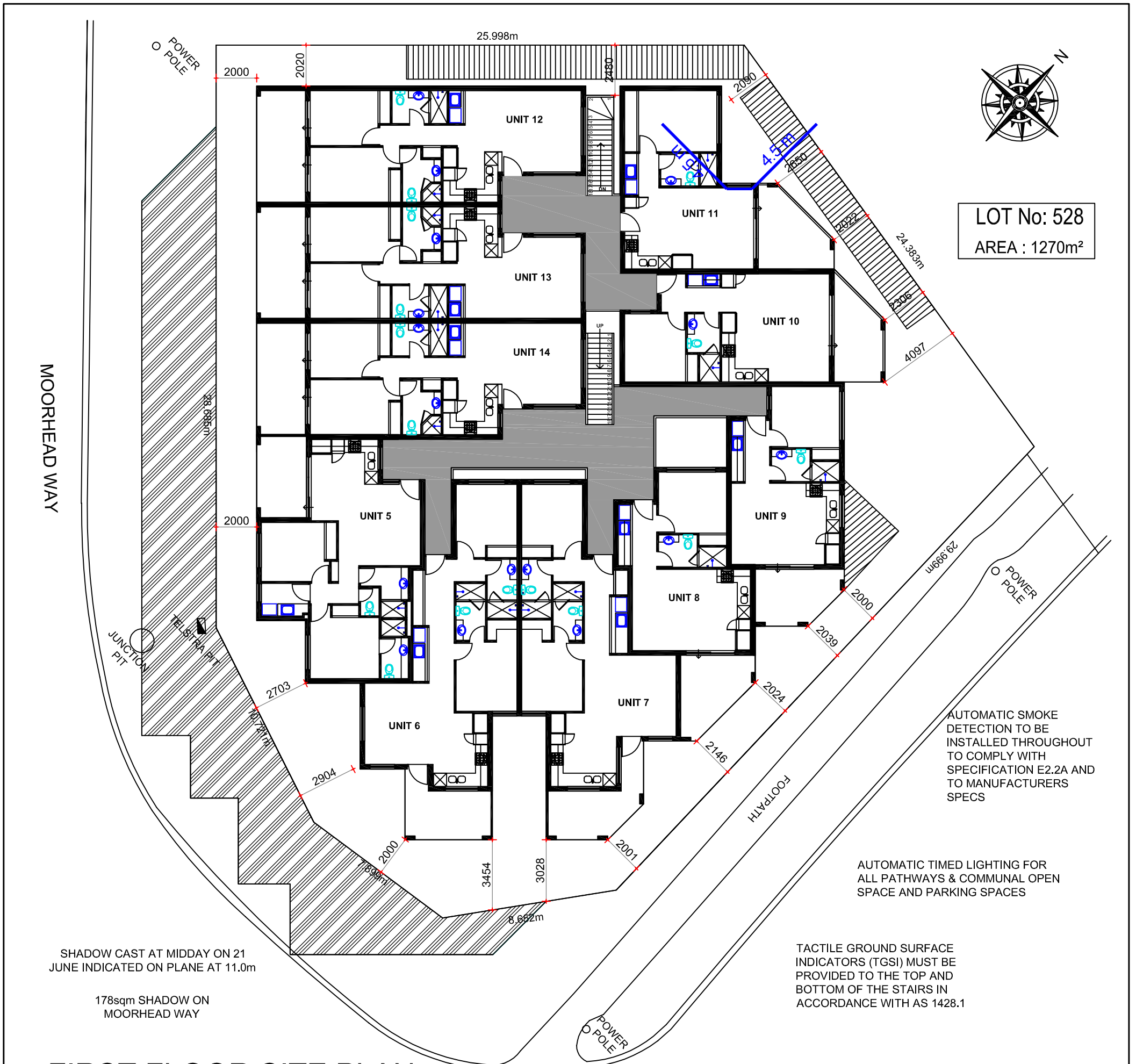
MJ CONSTRUCTCOM PTY LTD
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 2/217 RAVENSWOOD DR, WESTMINSTER
 MOBILE: 0402 449 892
 EMAIL: mj_constructcom@yahoo.com

PROPERTY:
 34 MOORHEAD WAY, KOONDOOLA

SITE PLAN

Drawn By: E.R
Date: SEPT 2017
Scale: 1:200
Plot Info: A3
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Dwg No.	R	Date	Description
2			



FIRST FLOOR SITE PLAN SHADOW PLAN

SCALE 1: 200

ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA - VOLUME 2, 2016

PLOT RATIO (MINUS BALCONIES) :

UNIT 1 - 75sqm	UNIT 10 - 54sqm
UNIT 2 - 78sqm	UNIT 11 - 52sqm
UNIT 3 - 78sqm	UNIT 12 - 74sqm
UNIT 4 - 52sqm	UNIT 13 - 74sqm
UNIT 5 - 75sqm	UNIT 14 - 74sqm
UNIT 6 - 78sqm	
UNIT 7 - 78sqm	TOTAL = 943sqm
UNIT 8 - 52sqm	943 / 1270 = 74
UNIT 9 - 49sqm	PLOT RATIO: 0.74
	VARIATION: 0.04

OPEN SPACE (MINUS BALCONIES) :

UNIT 1 & 5 - 75sqm	PATHWAYS - 70sqm
UNIT 2 & 6 - 78sqm	
UNIT 3 & 7 - 78sqm	TOTAL = 730sqm
UNIT 4 & 8 - 52sqm	730 / 1270 = 57
UNIT 9 - 49sqm	BUILDING COVER : 57%
UNIT 10 - 54sqm	OPEN SPACE : 43%
UNIT 11 - 52sqm	
UNIT 12 - 74sqm	
UNIT 13 - 74sqm	
UNIT 14 - 74sqm	



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SITE PLAN

Drawn By: E.R

Date: SEPT 2017

Scale: 1:200

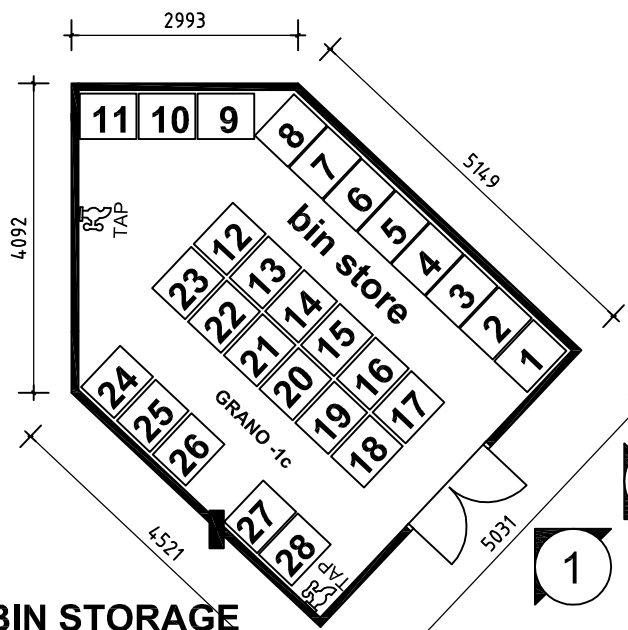
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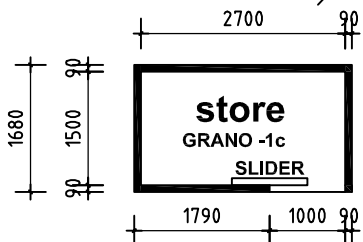
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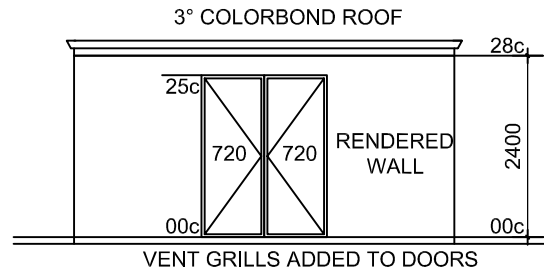
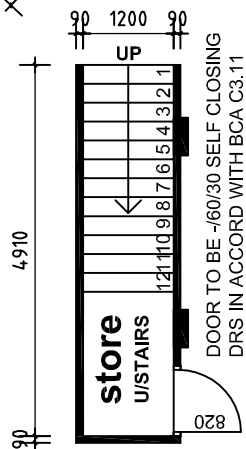
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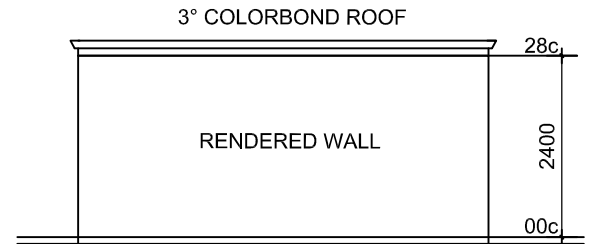
BIN STORAGE
SCALE 1:100



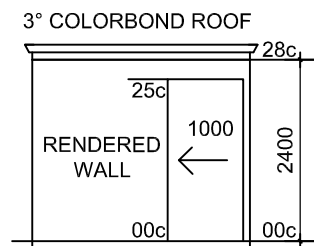
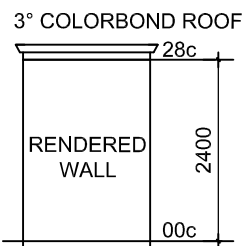
STORE ROOMS
SCALE 1:100



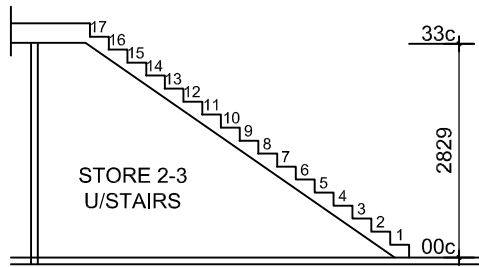
1 BIN STORE ELEVATION



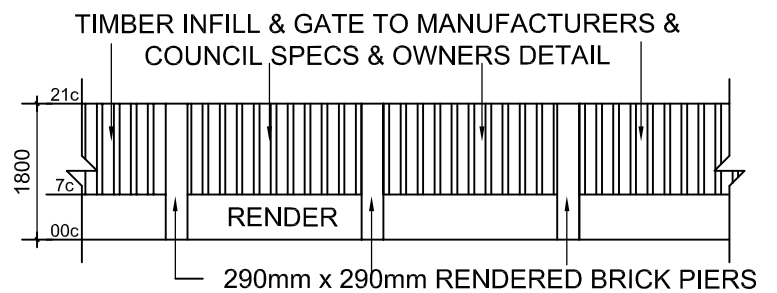
2 BIN STORE ELEVATION



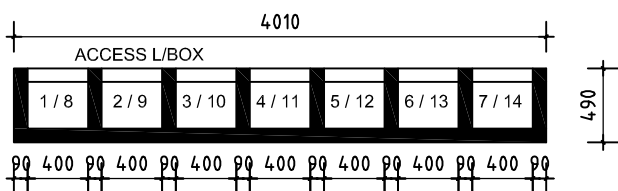
STORE (1, 4-14) ELEVATIONS



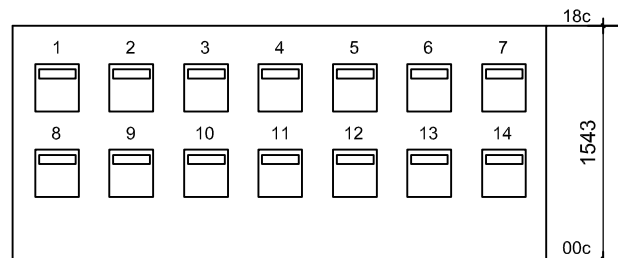
STORE (2-3) ELEVATIONS



BOUNDARY STREET FENCE ELEVATION
SCALE 1:100



LETTERBOX PLANS SCALE 1:100

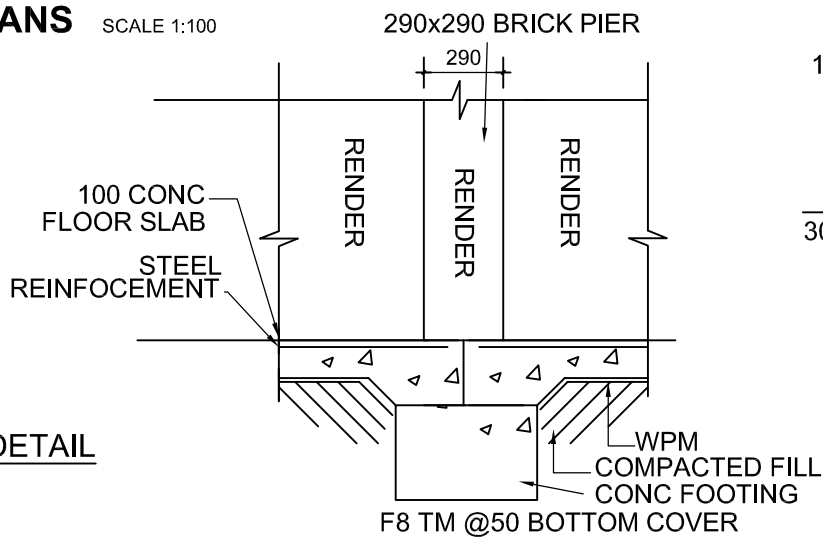


STAIRS NOTE: SELECT HANDRAIL & BALUSTRADE AS PER PROP SPEC. IN ACCORD WITH B.C.A D2.16

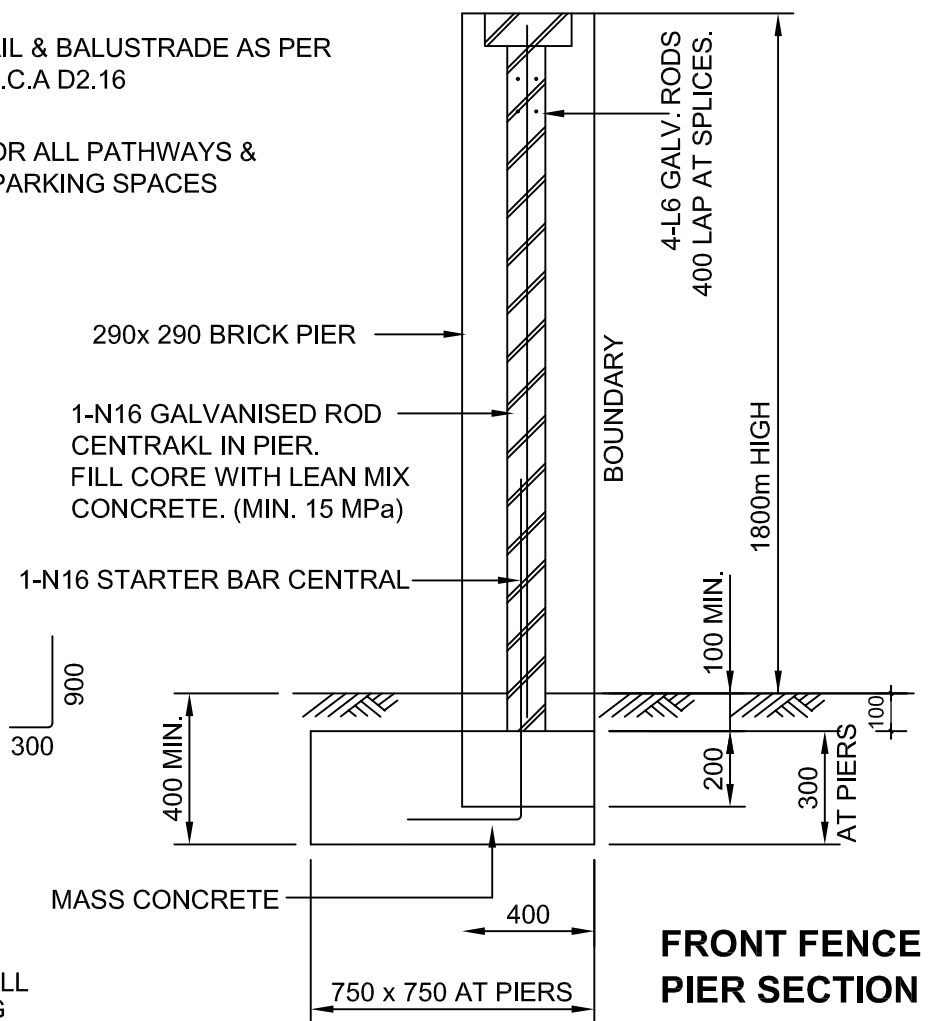
AUTOMATIC TIMED LIGHTING FOR ALL PATHWAYS & COMMUNAL OPEN SPACE AND PARKING SPACES

AUTOMATIC SMOKE DETECTION TO BE INSTALLED THROUGHOUT TO COMPLY WITH SPECIFICATION E2.2A AND TO MANUFACTURERS SPECS

ALL CONCRETE IN ACCORDANCE WITH AS 3600, GRADE N20. REFER TO S.E SPEC & DETAILS



FENCE FOOTING DETAIL
SCALE 1:20



FRONT FENCE PIER SECTION

ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

GENERAL NOTES:

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3. DO NOT SCALE FROM THESE DRAWINGS
4. OWNER TO NOTE THAT ALL RIGHT TO ALTER ANY DIMENSION (UNLESS OTHERWISE STATED), & ALL FINISHES ARE TO BE ALLOWED FOR.
5. THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.
6. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
7. WHEN ADDING / ALTERING MATCH EXISTING DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY THE BUILDER.
8. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA96 AND OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.



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PROPERTY:
34 MOORHEAD WAY, KOONDOOLA

SITE DETAILS

Drawn By: E.R
Date: SEPT 2017
Scale: AS SHOWN
Plot Info: A3
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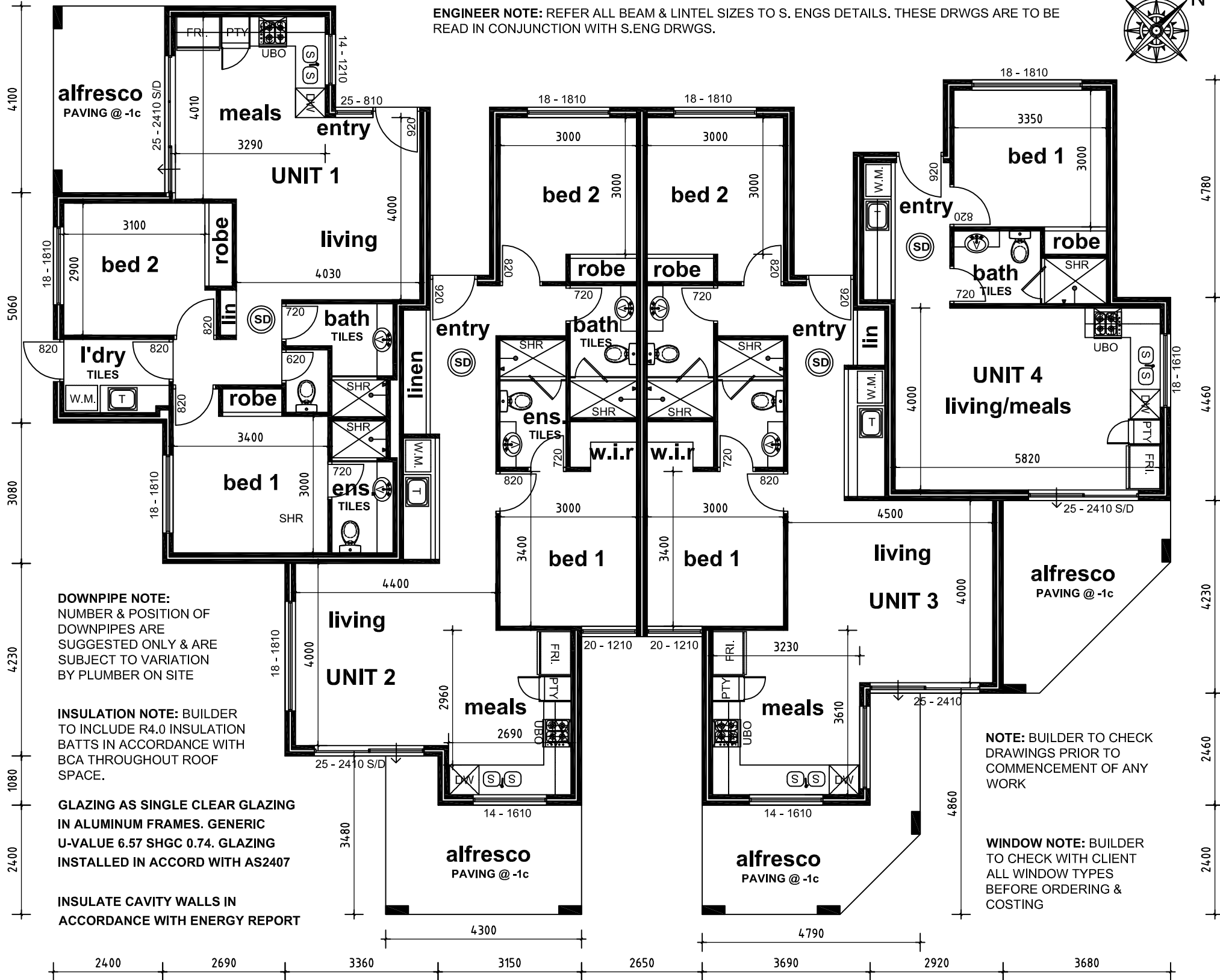
Dwg No.
4

R	Date	Description

24540



ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.



DOWNPIPE NOTE:
NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.

GLAZING AS SINGLE CLEAR GLAZING IN ALUMINUM FRAMES. GENERIC U-VALUE 6.57 SHGC 0.74. GLAZING INSTALLED IN ACCORD WITH AS2407

INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

UNIT 1 AREAS	
UNIT 1 LIVING AREA	75.30sqm
UNIT 1 ALFRESCO AREA	10.00sqm
TOTAL HOUSE AREA	85.30sqm
PERIMETER	40.70m

UNIT 2 AREAS	
UNIT 2 LIVING AREA	78.30sqm
UNIT 2 ALFRESCO AREA	11.50sqm
TOTAL HOUSE AREA	89.80sqm
PERIMETER	49.70m

UNIT 3 AREAS	
UNIT 3 LIVING AREA	78.70sqm
UNIT 3 ALFRESCO AREA	12.60sqm
TOTAL HOUSE AREA	91.30sqm
PERIMETER	49.80m

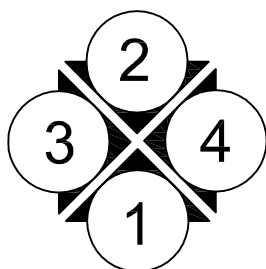
UNIT 4 AREAS	
UNIT 4 LIVING AREA	52.10sqm
UNIT 4 ALFRESCO AREA	10.30sqm
TOTAL HOUSE AREA	62.40sqm
PERIMETER	38.40m

GENERAL NOTES:

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5. DO NOT SCALE FROM THESE DRAWINGS

6. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.

7. PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SPECIFICATIONS, ENGINEERS DRAWINGS & ANY OTHER DOCUMENTATION FORMING PART OF THE CONTRACT.
8. DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBERS DISCRETION.
9. FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
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12. THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.



GROUND FLOOR PLAN - UNIT 1- 4 SCALE 1:100

(SD) HARDWIRED SMOKE ALARM



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34 MOORHEAD WAY, KOONDOOLA

FLOOR PLAN

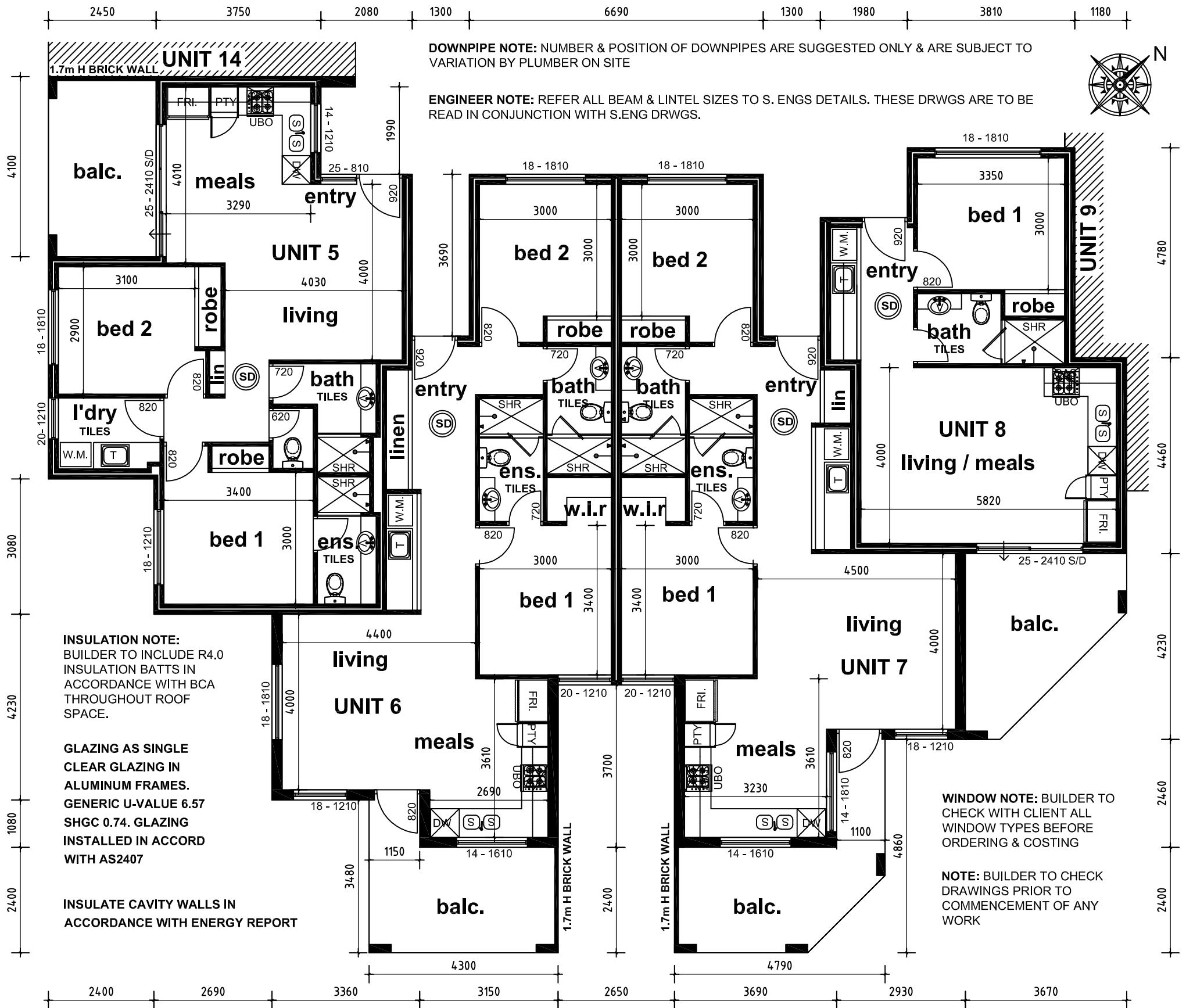
Drawn By: E.R
Date: SEPT 2017
Scale: 1:100
Plot Info: A3

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5

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R Date Description

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DOWNPIPE NOTE: NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

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INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

UNIT 5 AREAS	
UNIT 5 LIVING AREA	75.30sqm
UNIT 5 BALCONY AREA	10.00sqm
TOTAL HOUSE AREA	85.30sqm
PERIMETER	40.70m

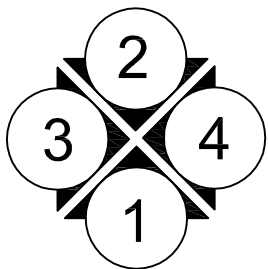
UNIT 6 AREAS	
UNIT 6 LIVING AREA	78.30sqm
UNIT 6 BALCONY AREA	11.50sqm
TOTAL HOUSE AREA	89.80sqm
PERIMETER	49.70m

UNIT 7 AREAS	
UNIT 7 LIVING AREA	78.70sqm
UNIT 7 BALCONY AREA	12.60sqm
TOTAL HOUSE AREA	91.30sqm
PERIMETER	49.80m

UNIT 8 AREAS	
UNIT 8 LIVING AREA	52.10sqm
UNIT 8 BALCONY AREA	10.30sqm
TOTAL HOUSE AREA	62.40sqm
PERIMETER	38.40m

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FIRST FLOOR PLAN - UNITS 5 - 8
SCALE 1:100

HARDWIRED SMOKE ALARM



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FLOOR PLAN

Drawn By: E.R

Date: SEPT 2017

Scale: 1:100

Plot Info: A3

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6

R	Date	Description

UNIT 9 AREAS	
UNIT 9 LIVING AREA	49.90sqm
UNIT 9 BALCONY AREA	10.30sqm
TOTAL HOUSE AREA	60.20sqm
PERIMETER	33.30m

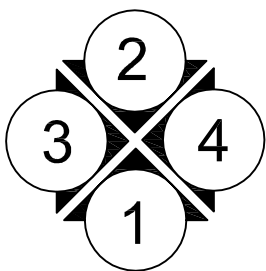
UNIT 10 AREAS	
UNIT 10 LIVING AREA	54.30sqm
UNIT 10 BALCONY AREA	10.60sqm
TOTAL HOUSE AREA	64.90sqm
PERIMETER	35.70m

UNIT 11 AREAS	
UNIT 11 LIVING AREA	52.40sqm
UNIT 11 BALCONY AREA	11.60sqm
TOTAL HOUSE AREA	64.80sqm
PERIMETER	37.90m

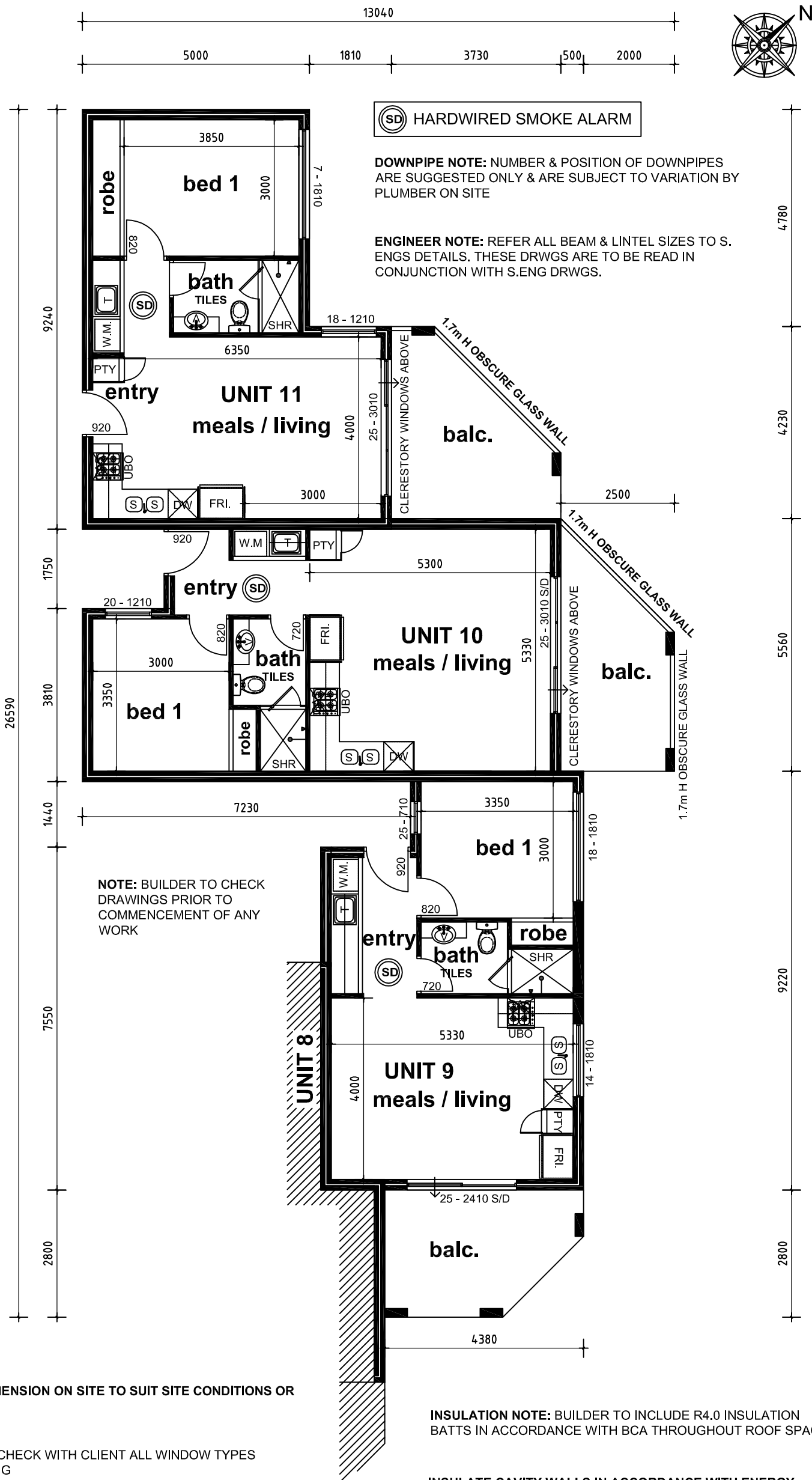
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4. ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA - VOLUME 2, 2016
5. DO NOT SCALE FROM THESE DRAWINGS
6. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
7. PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SPECIFICATIONS, ENGINEERS DRAWINGS & ANY OTHER DOCUMENTATION FORMING PART OF THE CONTRACT.
8. DOWNPIPES TO ROOF SHALL BE CENTRED & LOCATED TO ROOF PLUMBERS DISCRETION.
9. FIX ALL FLASHING AND DAMP-PROOF-COURSES SHOWN, SPECIFIED, OR REQUIRED TO PREVENT RAINWATER ENTERING THE WORKS ON COMPLETION.
10. WHEN ADDING / ALTERING MATCH EXIST DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY BUILDER.
11. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD. WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
12. THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING



FIRST FLOOR PLAN - UNIT 9 - 11
SCALE 1:100



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PROPERTY:
34 MOORHEAD WAY, KOONDOOLA

FLOOR PLAN

Drawn By: E.R

Date: SEPT 2017

Scale: 1:100

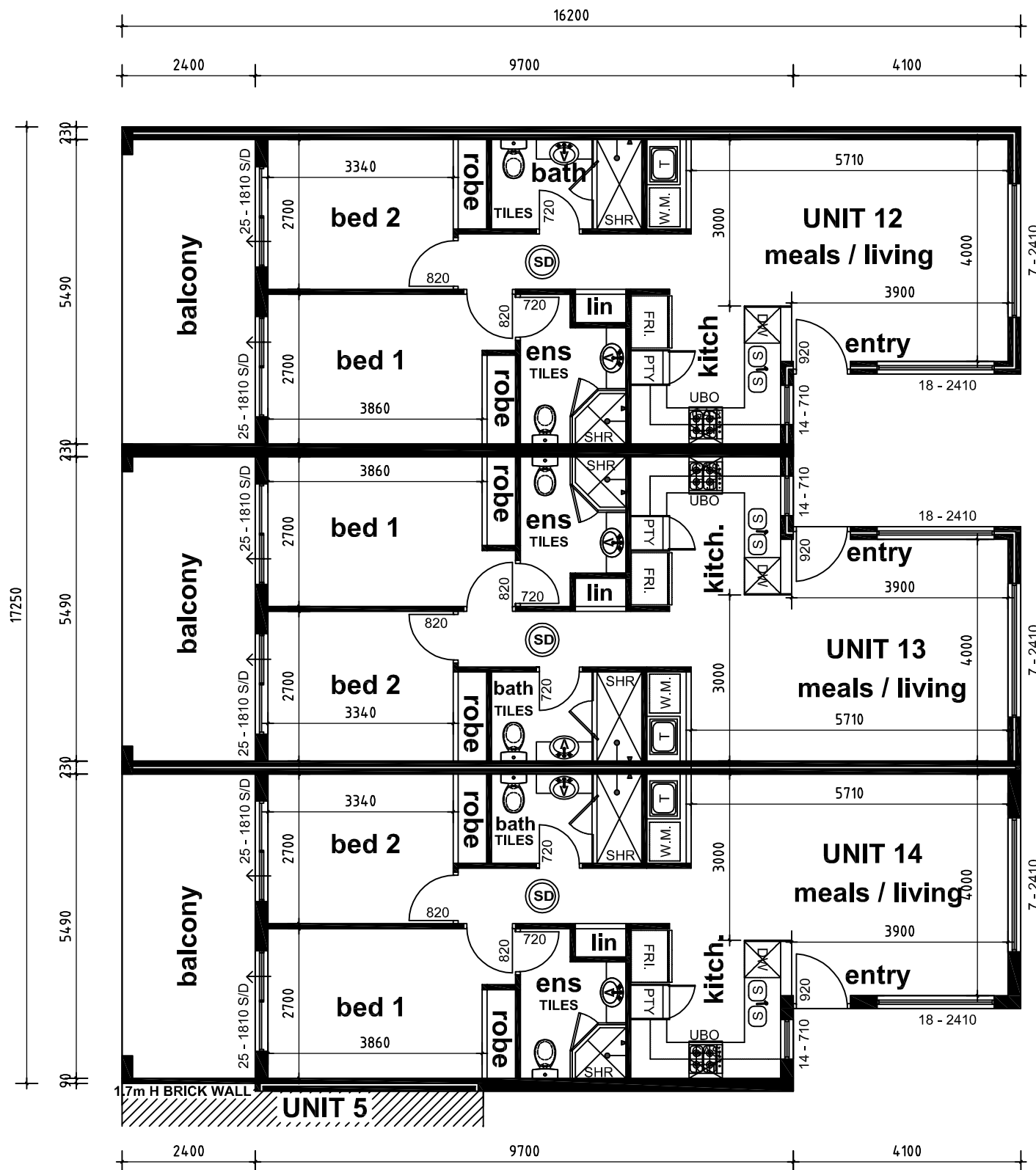
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7

R Date Description



DOWNPIPE NOTE: NUMBER & POSITION OF DOWNPIPES ARE SUGGESTED ONLY & ARE SUBJECT TO VARIATION BY PLUMBER ON SITE

ENGINEER NOTE: REFER ALL BEAM & LINTEL SIZES TO S. ENGS DETAILS. THESE DRWGS ARE TO BE READ IN CONJUNCTION WITH S.ENG DRWGS.

INSULATE CAVITY WALLS IN ACCORDANCE WITH ENERGY REPORT

GLAZING AS SINGLE CLEAR GLAZING IN ALUMINUM FRAMES. GENERIC U-VALUE 6.57 SHGC 0.74. GLAZING INSTALLED IN ACCORD WITH AS2407

WINDOW NOTE: BUILDER TO CHECK WITH CLIENT ALL WINDOW TYPES BEFORE ORDERING & COSTING

INSULATION NOTE: BUILDER TO INCLUDE R4.0 INSULATION BATTS IN ACCORDANCE WITH BCA THROUGHOUT ROOF SPACE.

NOTE: BUILDER TO CHECK DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK

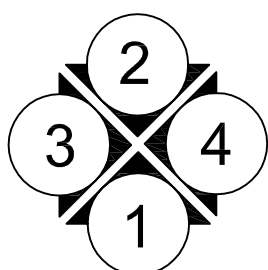
GENERAL NOTES:

1. THESE PLANS ARE THE PROPERTY OF THE BUILDER & MAY NOT BE REPRODUCED OR MODIFIED IN WHOLE OR PART WITHOUT PERMISSION. COPYRIGHT ACT 1968-1973.
2. ROOF TIE-DOWN IN ACCORDANCE WITH AS1684-2010 CLAUSE 5.3.1.3. TIMBER ROOF FRAMING IN ACCORD. WITH AS1684.
3. VENTILATION IN ACCORD WITH THE SEWERAGE, LIGHTING, VENTILATION, & CONSTRUCTION REGULATIONS 1971 & AS1688.
4. ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL BE CONSIST ENTIRELY OF, OR A COMBINATION OF, MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK. SPECIFICALLY, ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH AS 3660.1 AND WILL COMPLY WITH PART 3.1.3.2 OF THE BCA - VOLUME 2, 2016
5. DO NOT SCALE FROM THESE DRAWINGS
6. ANY WORKS INVOLVING SUCH ITEMS AS BUT NOT LIMITED TO SEWER, EARTHWORKS, RETAINING, DRAINAGE, & ENGINEERING SOLUTIONS, UNLESS OTHERWISE NOTED ON THE PLANS AND / OR SPECIFICATIONS ARE AT THE EXPENSE OF THE OWNER.
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10. WHEN ADDING / ALTERING MATCH EXIST DETAILS FINISHES & MATERIALS IN ALL RESPECTS UNLESS OTHERWISE SHOWN, SPECIFIED OR DIRECTED BY BUILDER.
11. ALL BUILDING & OTHER WORKS TO BE CARRIED OUT IN ACCORD. WITH THE BCA & OTHER RELEVANT STANDARDS, REGULATIONS, BY-LAWS & LOCAL LAWS OF ALL STATUTORY AUTHORITIES.
12. THE BUILDER RESERVES THE RIGHT TO ALTER ANY DIMENSION ON SITE TO SUIT SITE CONDITIONS OR CONSTRUCTION NEEDS.

UNIT 12 AREAS	
UNIT 12 LIVING AREA	74.80sqm
UNIT 12 BALCONY AREA	13.30sqm
TOTAL HOUSE AREA	88.10sqm
PERIMETER	44.70m

UNIT 13 AREAS	
UNIT 13 LIVING AREA	74.80sqm
UNIT 13 BALCONY AREA	13.30sqm
TOTAL HOUSE AREA	88.10sqm
PERIMETER	44.70m

UNIT 14 AREAS	
UNIT 14 LIVING AREA	74.80sqm
UNIT 14 BALCONY AREA	13.30sqm
TOTAL HOUSE AREA	88.10sqm
PERIMETER	44.70m



FIRST FLOOR PLAN - UNIT 12 - 14
SCALE 1:100

(SD) HARDWIRED SMOKE ALARM



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PROPERTY:
34 MOORHEAD WAY, KOONDOOLA

FLOOR PLAN

Drawn By: E.R

Date: SEPT 2017

Scale: 1:100

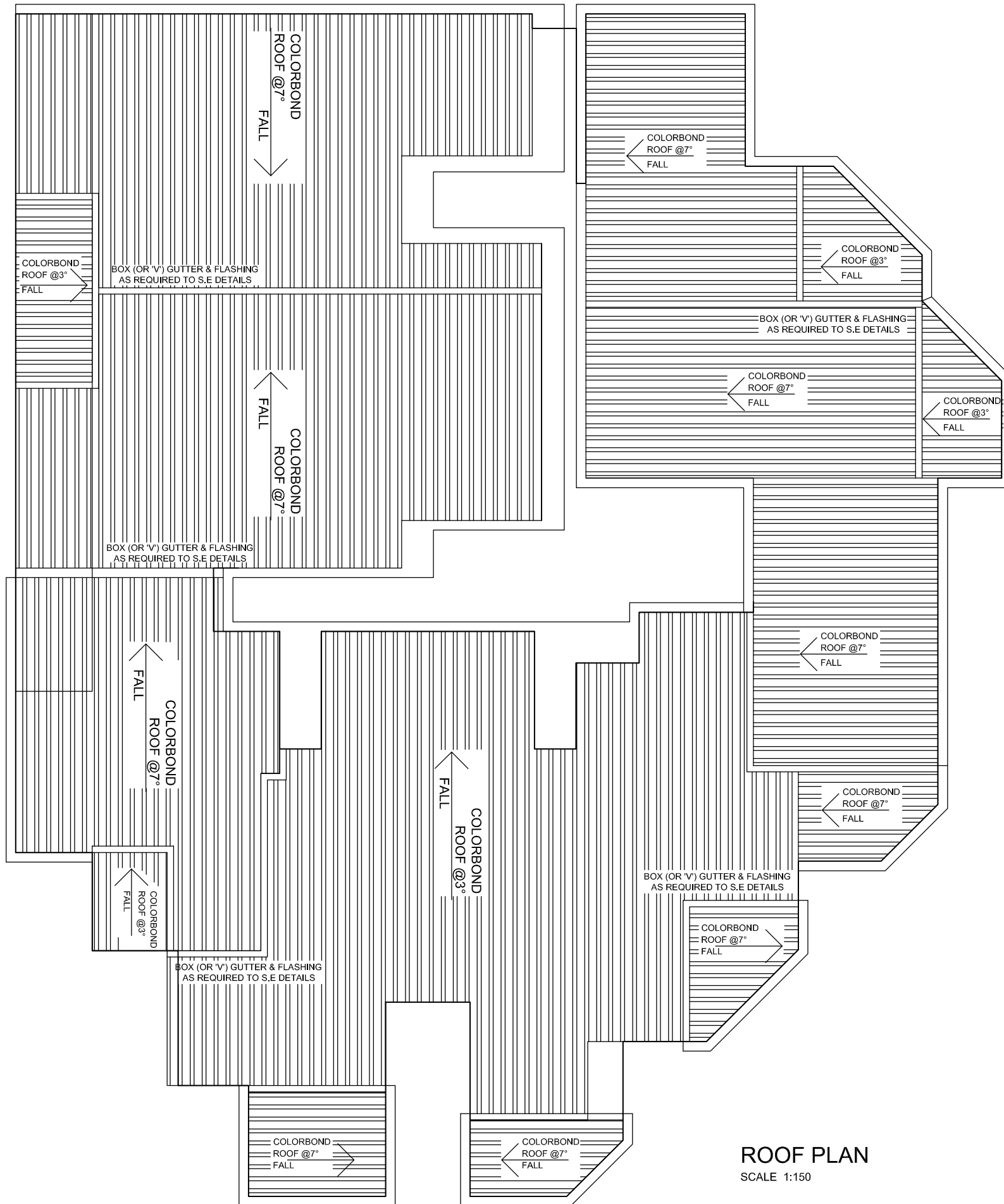
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R	Date	Description



ROOF PLAN
SCALE 1:150



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PROPERTY:
34 MOORHEAD WAY, KOONDOOLA

ROOF PLAN

Drawn By: E.R

Date: SEPT 2017

Scale: 1:150

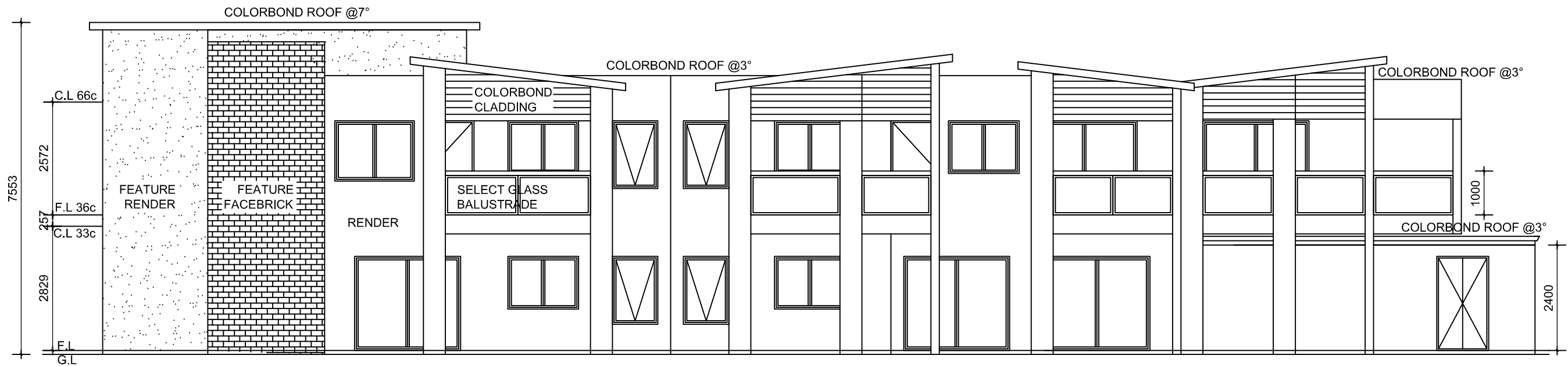
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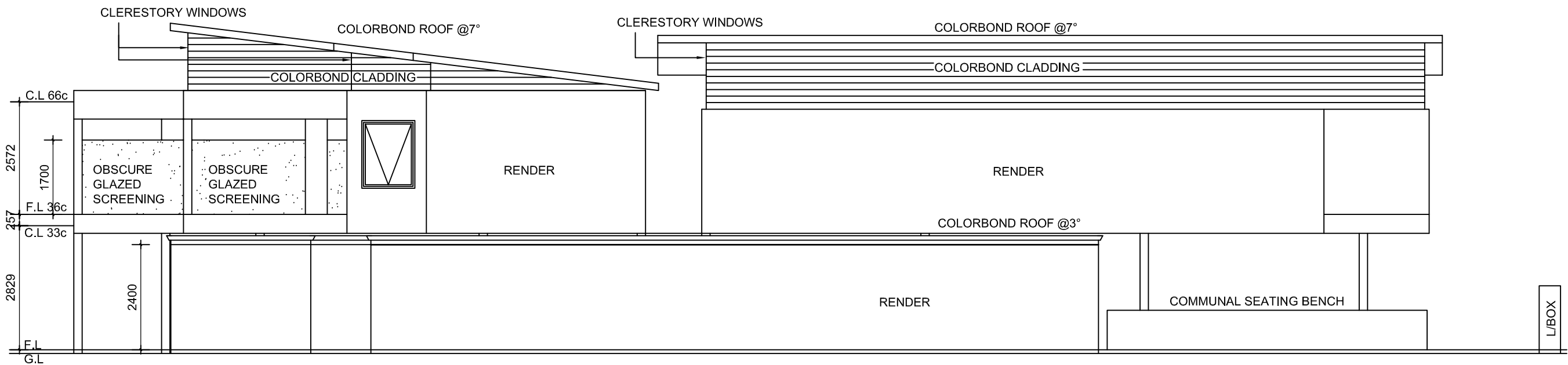
9

R	Date	Description



ELEVATION 1 (CRNE MOORHEAD WAY & HOLLINGSWORTH AVE)

SCALE 1:100



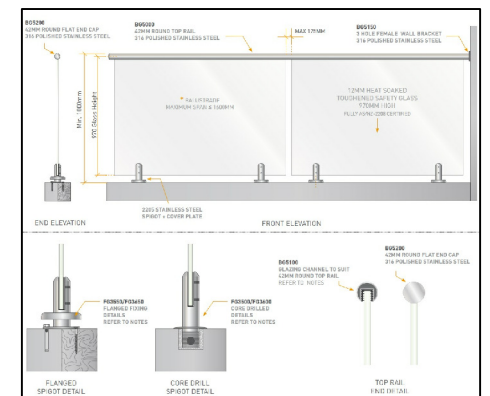
ELEVATION 2 (REAR NEIGHBOUR SIDE)

SCALE 1:100

THE HEIGHT AND TYPE OF BALUSTRADE FOR THE FIRST FLOOR BALCONIES IS IN COMPLIANCE WITH BCA 3.8.2

ALL AWNING WINDOWS ARE OPENABLE AT MAXIMUM 125mm. OTHER UPPER BEDROOM HABITABLE ROOM HAVE SCREENING 1.7m ABOVE F.L WERE NEEDED

ALL OTHER PROTECTION OF OPENABLE WINDOWS ON THE UPPER FLOOR BEDROOMS HAS BEEN ADDRESSED AND COMPLY WITH BCA 3.8.2.5



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ELEVATIONS

Drawn By: EMMANUEL ROFAIL

Date: SEPT 2017

Scale: 1:100

Plot Info: A3

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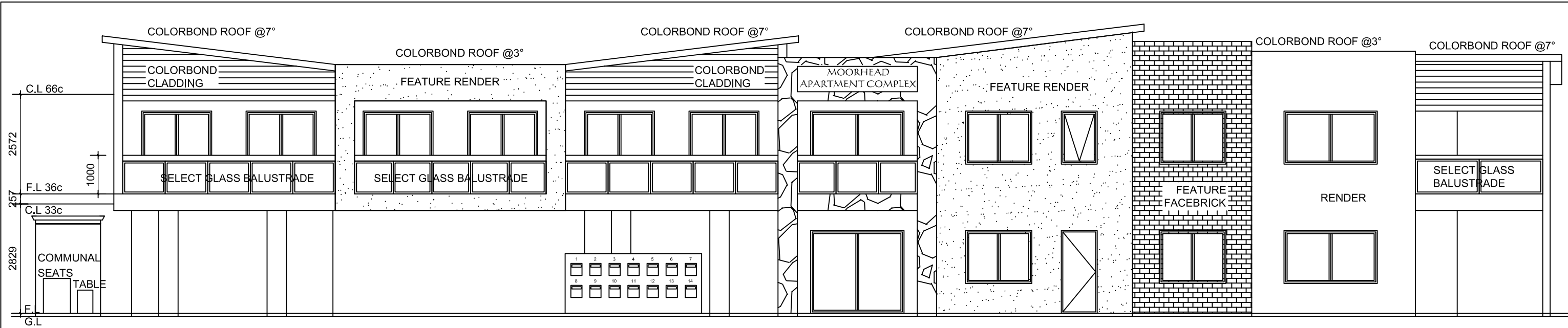
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10

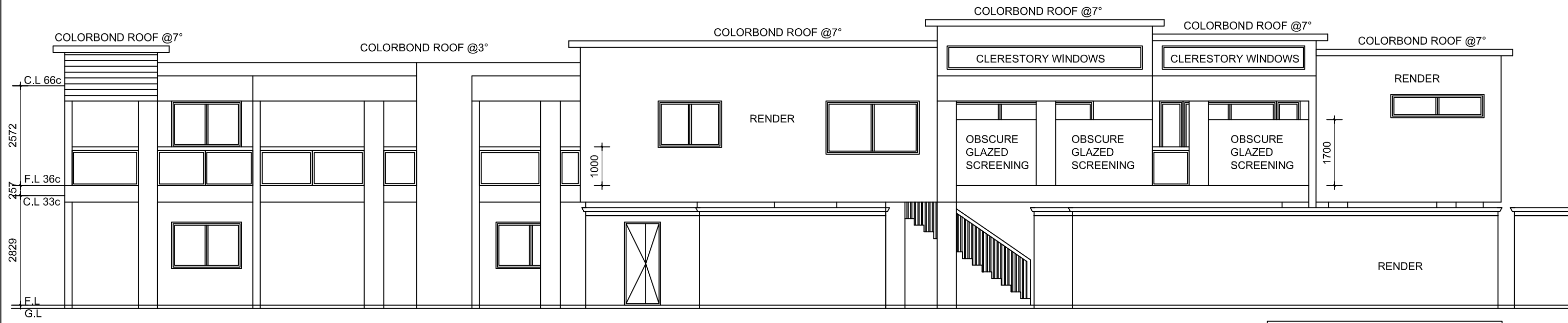
Rev

Date

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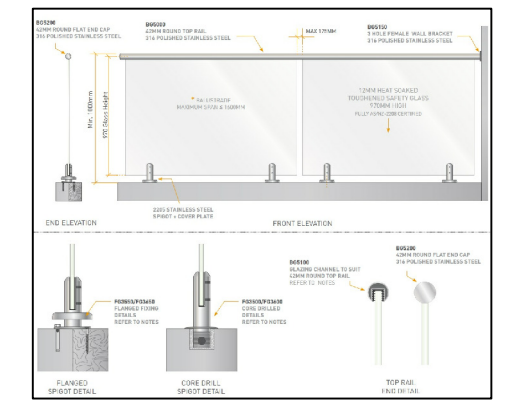


ELEVATION 3 (MOORHEAD WAY)
SCALE 1:100

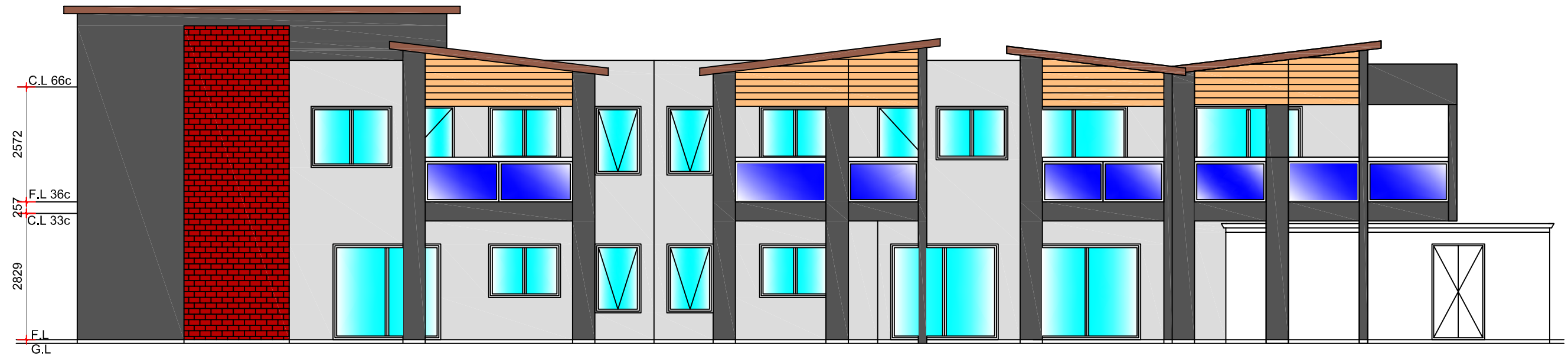


ELEVATION 4 (HOLLINGWORTH AVE)
SCALE 1:100

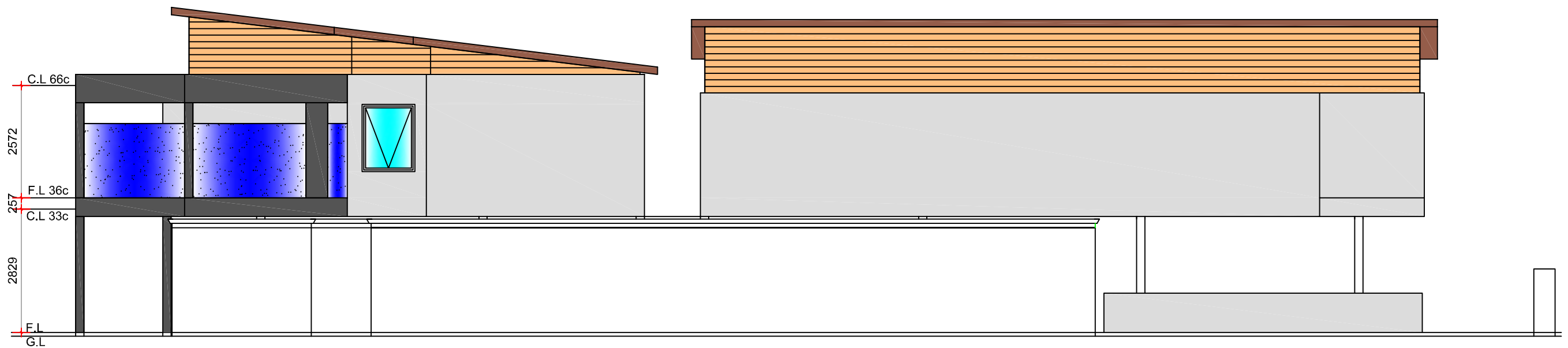
THE HEIGHT AND TYPE OF BALUSTRADE FOR THE FIRST FLOOR BALCONIES IS IN COMPLIANCE WITH BCA 3.8.2
 ALL AWNING WINDOWS ARE OPENABLE AT MAXIMUM 125mm. OTHER UPPER BEDROOM HABITABLE ROOM HAVE SCREENING 1.7m ABOVE F.L WERE NEEDED
 ALL OTHER PROTECTION OF OPENABLE WINDOWS ON THE UPPER FLOOR BEDROOMS HAS BEEN ADDRESSED AND COMPLY WITH BCA 3.8.2.5



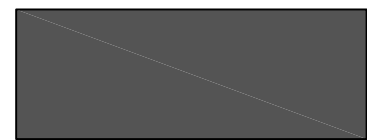
	MJ CONSTRUCTCOM PTY LTD ABN: 95604824384 2/217 RAVENSWOOD DR, WESTMINSTER MOBILE: 0402 449 892 EMAIL: mj_constructcom@yahoo.com	PROPERTY: 34 MOORHEAD WAY, KOONDOOLA ELEVATIONS	Drawn By: EMMANUEL ROFAIL	Dwg No. 11			
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ELEVATION 1



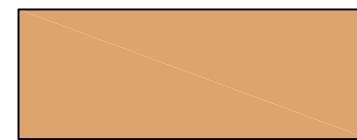
ELEVATION 2



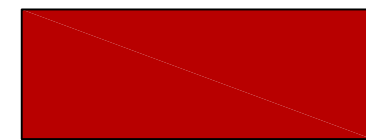
FEATURE RENDER -
SUMMIT GREY



RENDER -
MISTY GREY



CLADDING -
CEDAR COLOUR



BRICK / STONE -
SUBIACO RED COLOUR



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12

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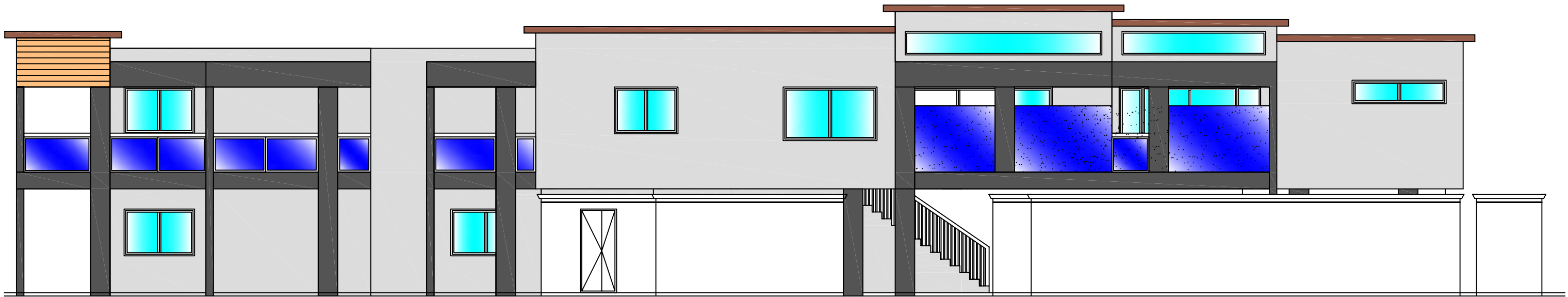
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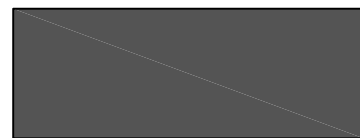
ELEVATION 3

SCALE 1:100



ELEVATION 4

SCALE 1:100



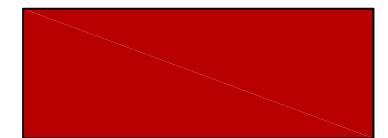
FEATURE RENDER -
SUMMIT GREY



RENDER -
MISTY GREY



CLADDING -
CEDAR COLOUR



BRICK / STONE -
SUBIACO RED COLOUR



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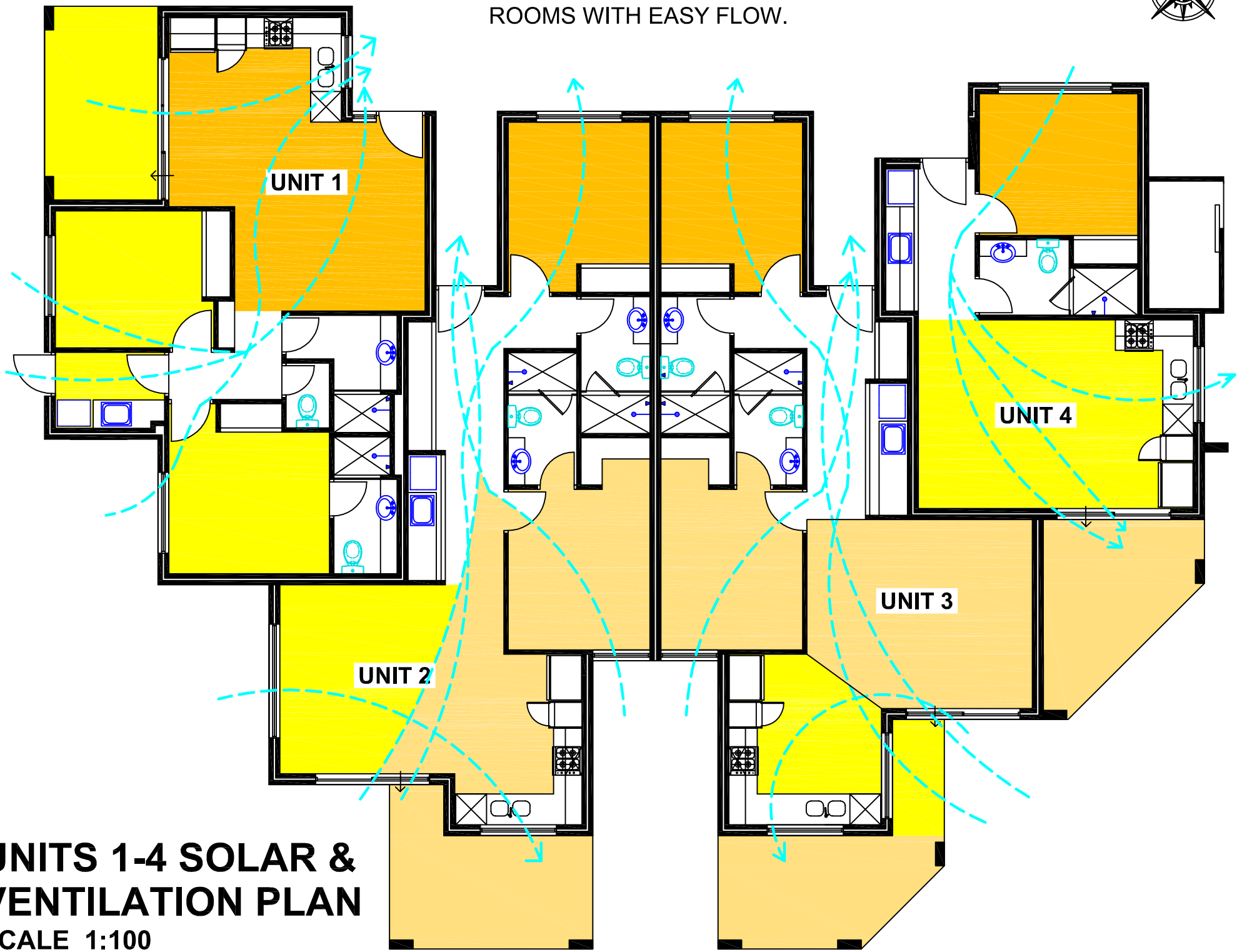
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Rev

Date

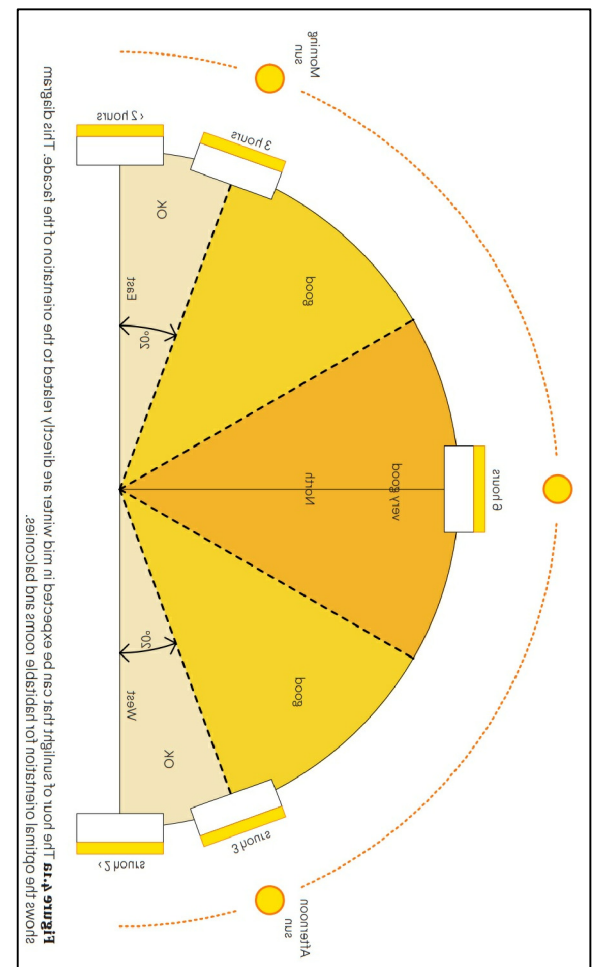
Description

COOL BREEZE WINDS COMING IN THE SOUTH WEST & SOUTH EAST DIRECTION AND MOVES THROUGH THE ROOMS WITH EASY FLOW.

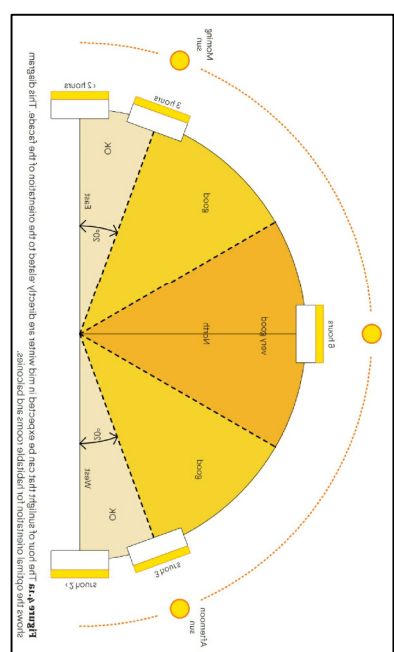
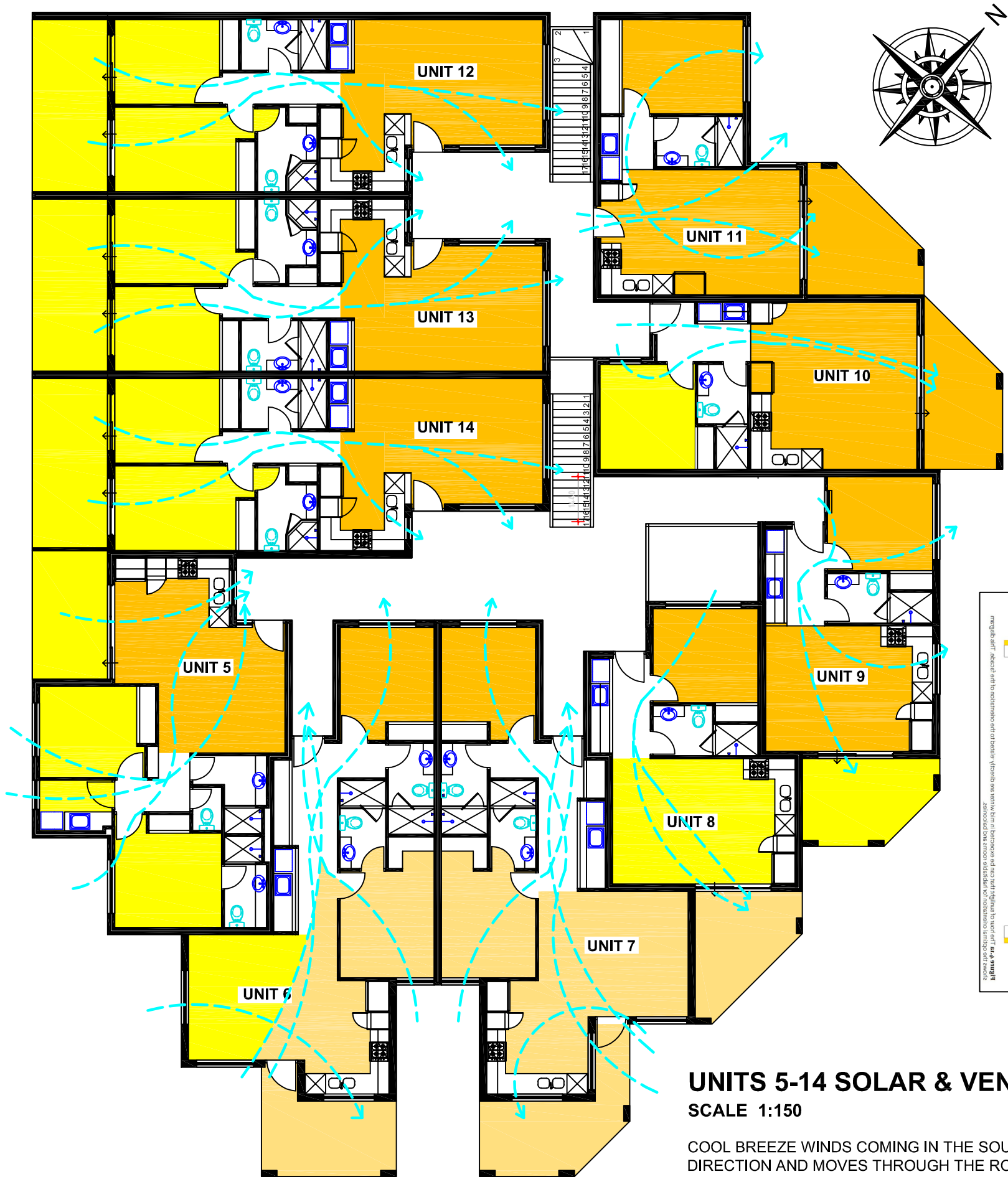


UNITS 1-4 SOLAR & VENTILATION PLAN
SCALE 1:100

- UNIT 1:**
 - 27% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 41% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 26% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 2:**
 - 13% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 13% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 44% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 30% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 3:**
 - 13% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 13% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 44% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 30% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 4:**
 - 21% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 44% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 16% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 19% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT



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UNITS 5-14 SOLAR & VENTILATION PLAN
SCALE 1:150

COOL BREEZE WINDS COMING IN THE SOUTH WEST & SOUTH EAST DIRECTION AND MOVES THROUGH THE ROOMS WITH EASY FLOW.

- UNIT 5:**
 - 27% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 41% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 26% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 6:**
 - 13% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 13% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 44% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 30% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 7:**
 - 13% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 13% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 44% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 30% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 8:**
 - 21% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 44% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 16% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 19% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 9:**
 - 55% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 16% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 29% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT

- UNIT 10:**
 - 70% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 16% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 14% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 11:**
 - 88% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 0% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 12% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 12:**
 - 40% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 40% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 20% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 13:**
 - 40% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 40% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 20% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT
- UNIT 14:**
 - 40% IS NORTH FACING 6HRS OF DIRECT SUNLIGHT.
 - 40% WILL RECEIVE >2HRS BUT <4HRS OF DIRECT SUNLIGHT
 - 0% WILL RECEIVE >2HRS OF DIRECT SUNLIGHT
 - 20% WILL RECEIVE <2HRS OF DIRECT SUNLIGHT

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SITE ANALYSIS

NEAREST PARK MOORHEAD PARK	90M
NEAREST PARK WITH SPORTS BUTTERWORTH PARK	200M
NEAREST SUPERMARKET / SHOPS	300M
NEAREST BUS STOP	300M
NEAREST PETROL STATION	350M
NEAREST PRIVATE SCHOOL	200M
NEAREST PUBLIC SCHOOL	800M
NEAREST HIGH SCHOOL	2KM
NEAREST TAFE	2KM
NEAREST COMMERCIAL DISTRICT	2KM
NEAREST SHOPPING CENTRE	3KM
NEAREST MAJOR SHOPPING CENTRE	4KM
NEAREST COMMUNITY CENTRE	4KM
NEAREST TRAIN STATION	5KM
NEAREST PRIVATE HOSPITAL	8KM
NEAREST PUBLIC HOSPITAL	20KM
NEAREST BEACH	10KM

SITE PHOTOS:

34 MOORHEAD WAY, KOONDOOLA



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	SITE ANALYSIS						
						R	Date Description