



ADJACENT LOT 12  
 6m WIDE RIGHT OF CARRIAGE  
 OVER LOT 12 IN FAVOUR OF LOT  
 11 SUBJECT TO APPROVALS.

TREES TO BE REMOVED  
 SHOWN DOTTED

LOT 11  
 1806sqm

CONVENIENCE STORE  
 170sqm  
 FFL 8.50

SHOW ROOM. 1  
 75sqm  
 FFL 8.50

SHOW ROOM. 2  
 75sqm  
 FFL 8.50

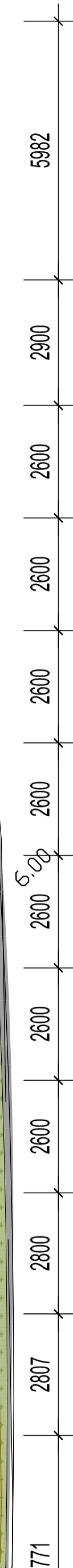
cool room store

17X23m FUEL CANOPY  
 390sqm FFL:8.35

**SITE PLAN**  
 SCALE 1:100 @ A1



YANCHEP BEACH ROAD



REV.	DATE	BY	DESCRIPTION
B	05.06.18	mws	reoriented

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 Unit 41 CEDRIC STREET, STIRLING  
 Western Australia 6021  
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 EXPENSE

**PROPOSED CONVENIENCE STORE DEVELOPMENT**  
 LOT 11 YANCHEP BEACH RD  
 YANCHEP WA

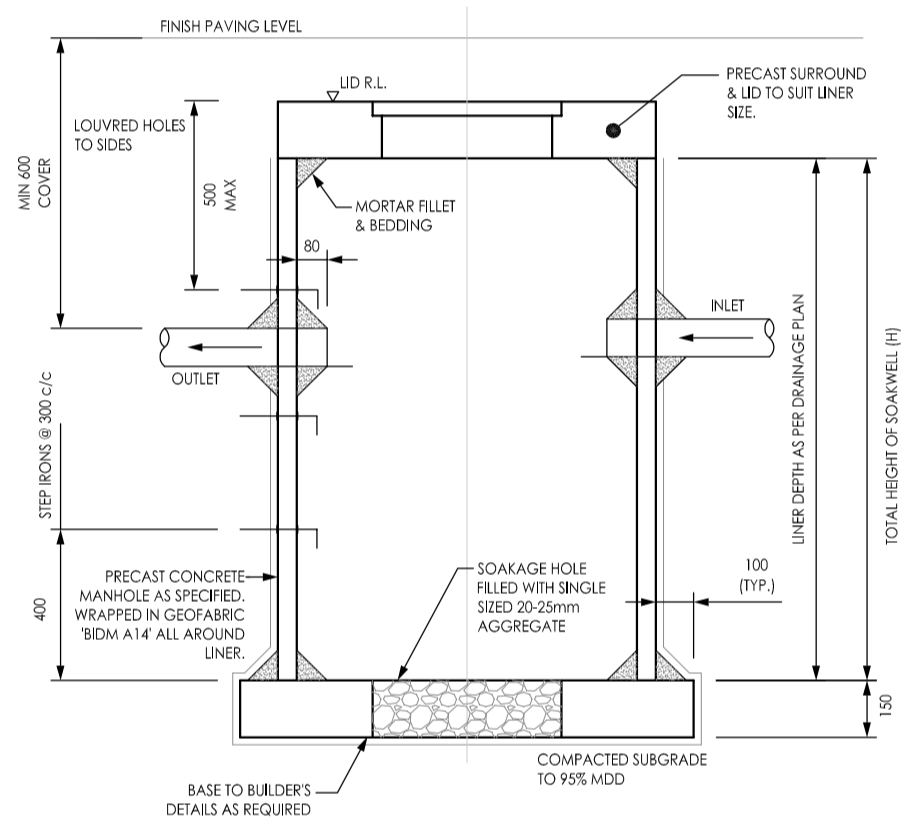
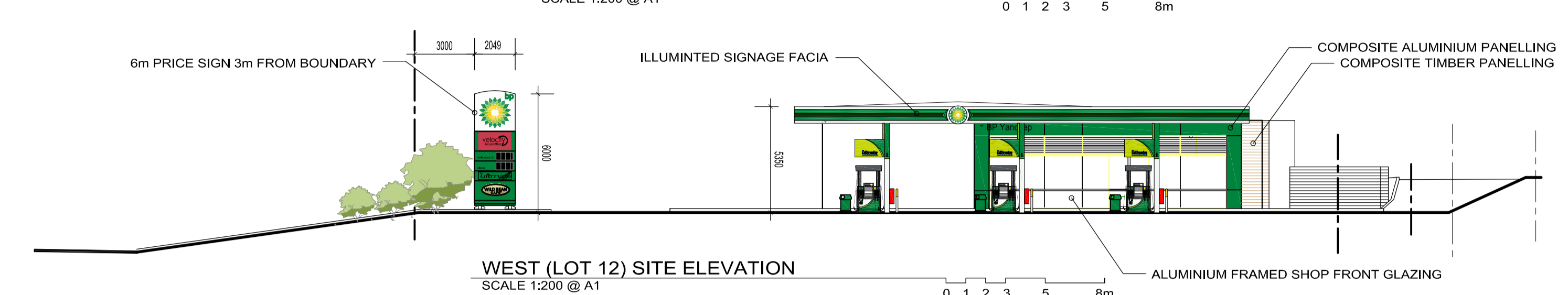
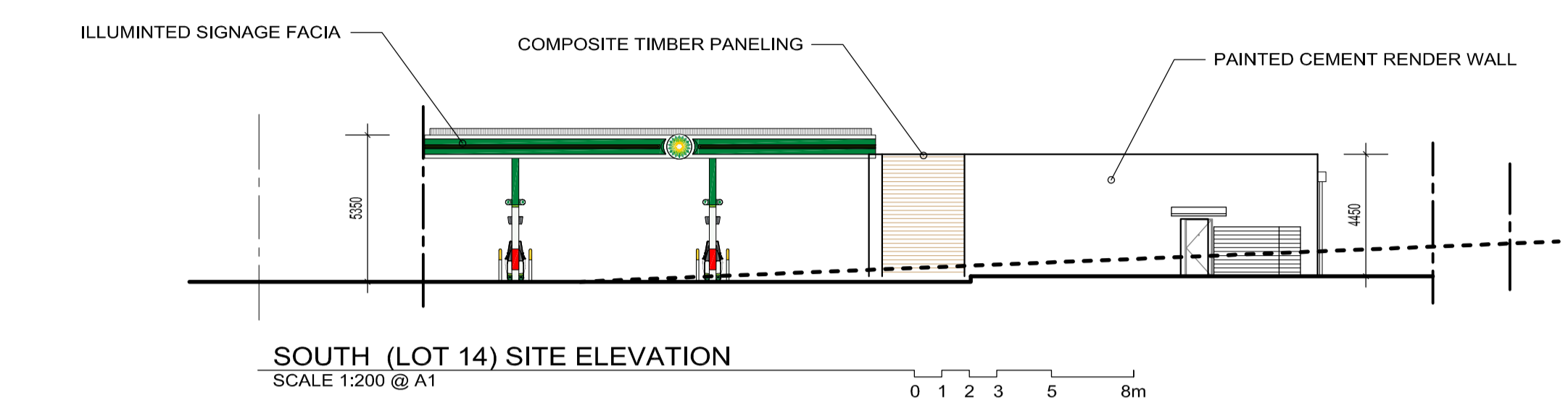
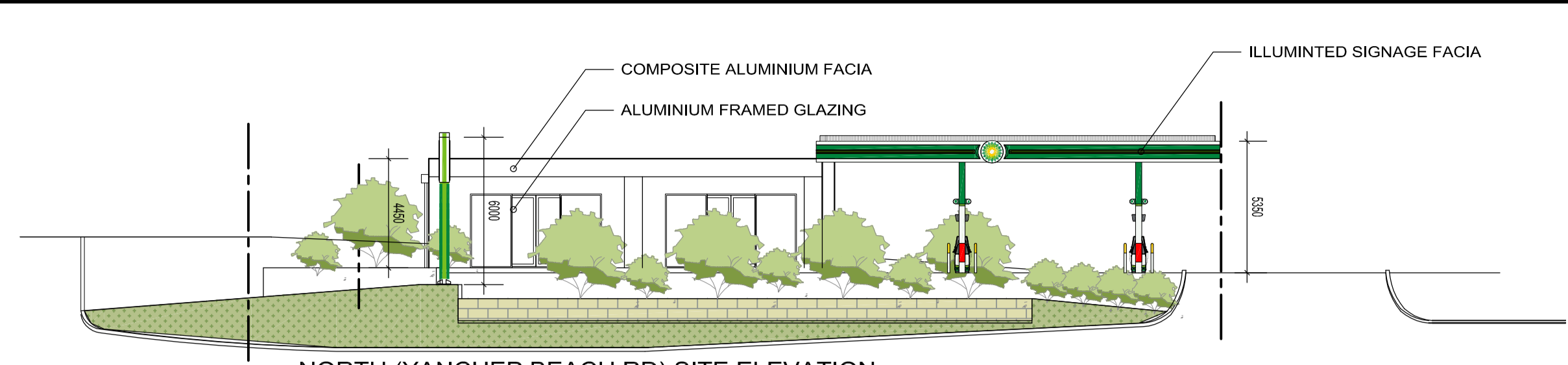
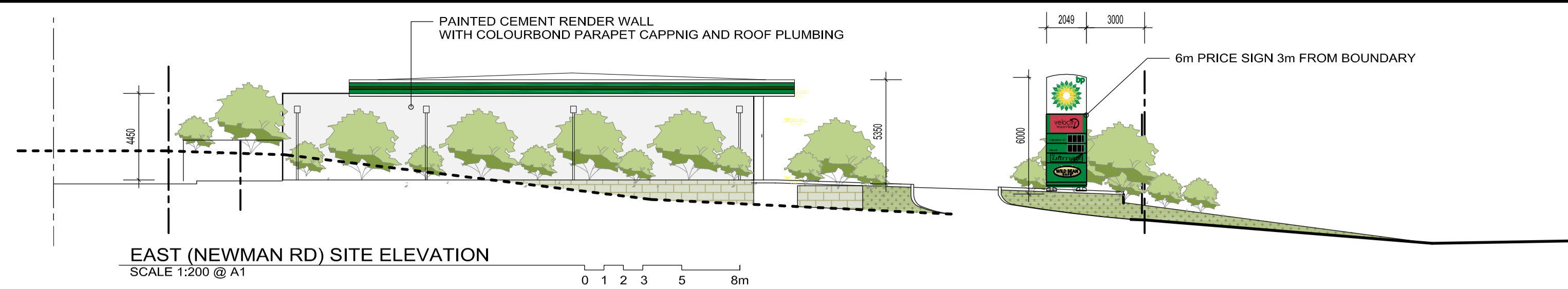
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**PLAN**

DRAWING No. **A01**  
 JOB No. **A13000**

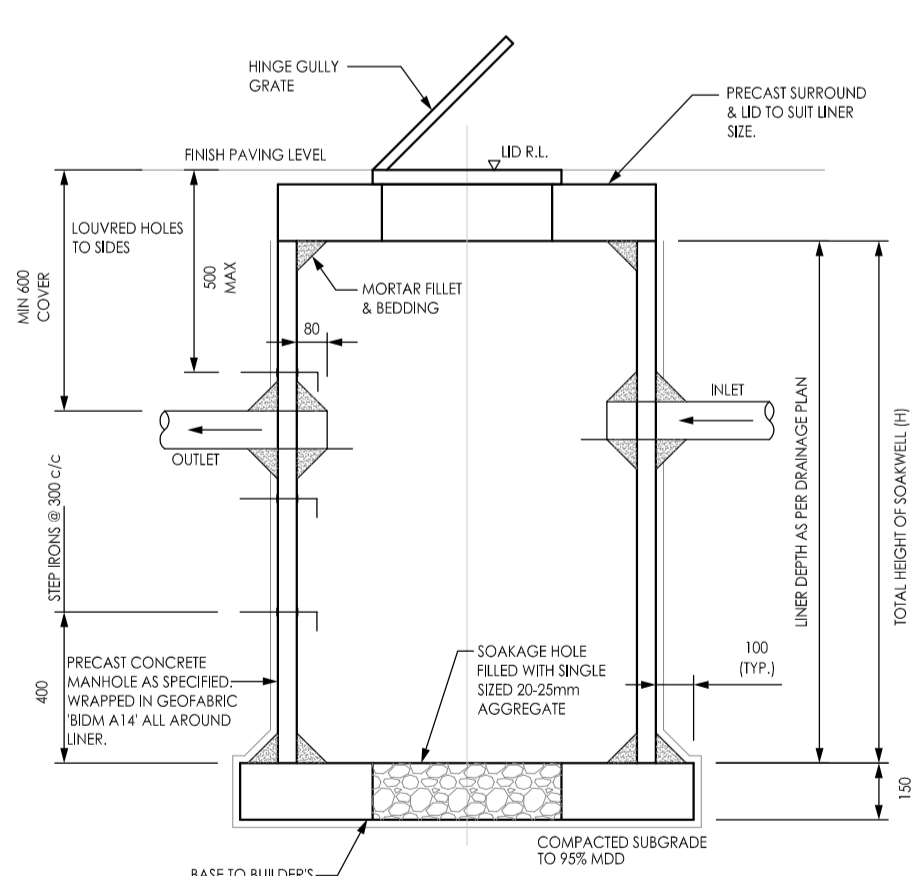
drawn MWS date 08.07.13 PAGE No. 1 OF X  
 checked GV scale 1:250@A1 REV No. A

NEW TRAFFIC MEDIAN  
 STRIP TO CIVIL  
 ENGINEERS DETIALS

ISSUED FOR DEVELOPMENT APPROVAL



**SOAKWELL WITH CONCRETE COVER**  
 \* STEP IRONS TO BE PROVIDED FOR LINER DEPTH GREATER THAN 1.2m

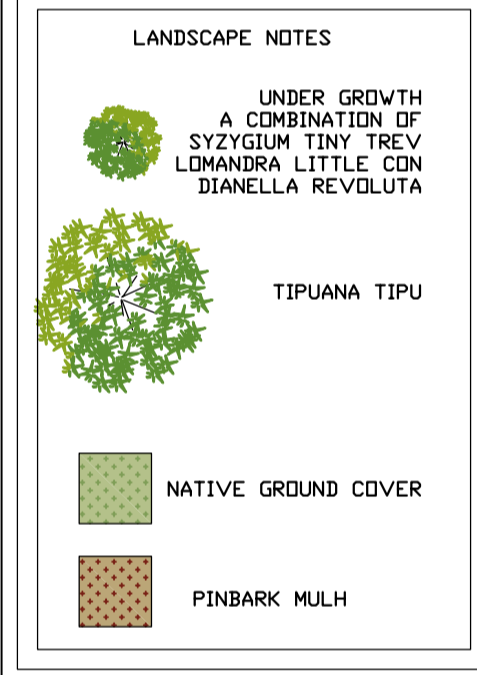


**SOAKWELL WITH TRAFFICABLE GRATE**  
 \* STEP IRONS TO BE PROVIDED FOR LINER DEPTH GREATER THAN 1.2m



**SITE PLAN**  
 SCALE 1:200 @ A1

**STORMWATER NOTES:**  
 ALL DOWNPIPES TO BE PIPED TO INTERNAL DRAINAGE SYSTEM  
 MINIMUM PIPE COVER TO BE 450MM  
 THE MINIMUM DISTANCE BETWEEN TANKS AND FOOTINGS TO BE 1500MM.  
 NO STORMWATER IS TO BE DISCHARGED FROM THE PROPERTY OVER THE CROSSOVER OR VERGE ONTO THE ROADWAY OR ANY RIGHT OF CARRIAGEWAY.  
 NO OILS, CHEMICALS, FOOD WASTES ETC SHALL BE DEPOSITED INTO THE STORMWATER DRAINAGE SYSTEM UNLESS TRAPPED AND TREATED AS PER RELEVANT STANDARDS. TO ENSURE THE CONTINUED SATISFACTORY OPERATION OF THE DRAINAGE SYSTEM, CAREFUL ATTENTION SHOULD BE PAID TO THE REQUIRED MAINTENANCE.  
 DATUM IS APPROXIMATE.  
 ALL WORK TO BE IN ACCORDANCE WITH 'AS3500-2003 PLUMBING & DRAINAGE', THE 'BUILDING CODE OF AUSTRALIA' AND THE LOCAL AUTHORITY'S STANDARD SPECIFICATIONS. WHERE TANKS ARE LOCATED IN THE AREAS SUBJECT TO VEHICULAR LOADING, STANDARD TRAFFICABLE LIDS ARE TO BE INSTALLED PER BUILDER'S DETAIL.  
 ALL DRAINAGE PIPEWORK SHALL BE PVC CLASS HD STORMWATER, UNLESS WHERE PASSING UNDERNEATH ANY STRUCTURE, THEN PIPEWORK SHALL BE PVC SEWER CLASS S8B. ALIGNMENT OF PIPES SHALL BE AS SHOWN ON THE PLAN & SHALL BE TO THE PIPE OR TANK CENTERLINE.  
 TRENCH BACKFILL SHALL BE CLEAN GRANULAR MATERIAL COMPACTED TO A LEVEL NOT LESS THAN THAT OF THE SURROUNDING UNDISTURBED GROUND, FOR THE FULL DEPTH OF EXCAVATION.  
 BACKFILL UNDER ROADS SHALL BE COMPACTED TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.  
 THE DESIGN TAKES INTO CONSIDERATION MANUFACTURERS SPECIFICATIONS FOR PIPE COVER, BEDDING AND JOINTING.  
 THIS DRAINAGE SPECIFICATION IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS (PARTIALLY REPRODUCED HERE).  
 BEFORE CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL:  
 □ CHECK THE LOCATION OF THE EXISTING SERVICES ON SITE.  
 □ ENSURE PROPOSED STORMWATER PIPES DO NOT CLASH WITH ANY EXISTING SERVICES.  
 □ ENSURE ALL DETAILS HAVE BEEN CHECKED AND THAT NO DISCREPANCIES EXIST. ALL QUERIES AND DISCREPANCIES ARE RESOLVED.  
**DRAINAGE CALCULATION:**  
 IFO CHART: PERTH  
 CATCHMENT VOLUME: 1 CUBIC METER PER 60 SQUARE METERS OF IMPERVIOUS AREA (AS PER CITY OF WANNEROO REQUIREMENTS)  
 SOIL: SAND  
 GROUND WATER TABLE: ASSUMED TO BE GREATER THAN 2.5m BELOW THE EXISTING GROUND LEVEL.  
 Ø1500 x 1500 DEEP SOAK WELL WITH TRAFFICABLE CONCRETE COVER (TOTAL = 9)  
 Ø1500 x 1500 DEEP SOAK WELL WITH TRAFFICABLE GRATE LID (TOTAL = 5)



**DATA SHEET**

SITE AREA:	1806sqm
BUILDING AREA:	376sqm
PLOT RATIO:	21%
LANDSCAPE REQUIRED (10%):	181sqm
LANDSCAPE PROVIDED:	277m <sup>2</sup>
PARKING REQUIRED (SHOP 170x7100m <sup>2</sup> ):	6.4
PARKING PROVIDED (SHOWROOM 15030m <sup>2</sup> ):	5
TOTAL PARKING REQUIRED:	11.4
PARKING PROVIDED:	15+12 FUELING BAYS

REV. DATE I.N. DESCRIPTION

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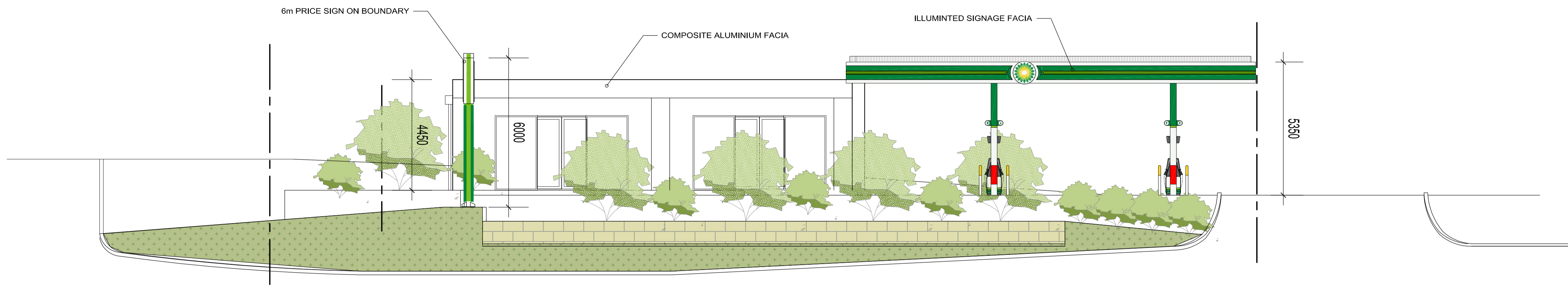
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**PROPOSED CONVENIENCE STORE DEVELOPMENT**  
 LOT 11 YANCHEP BEACH RD  
 YANCHEP WA

DRAWING TITLE:  
**SITE & FLOOR PLAN**

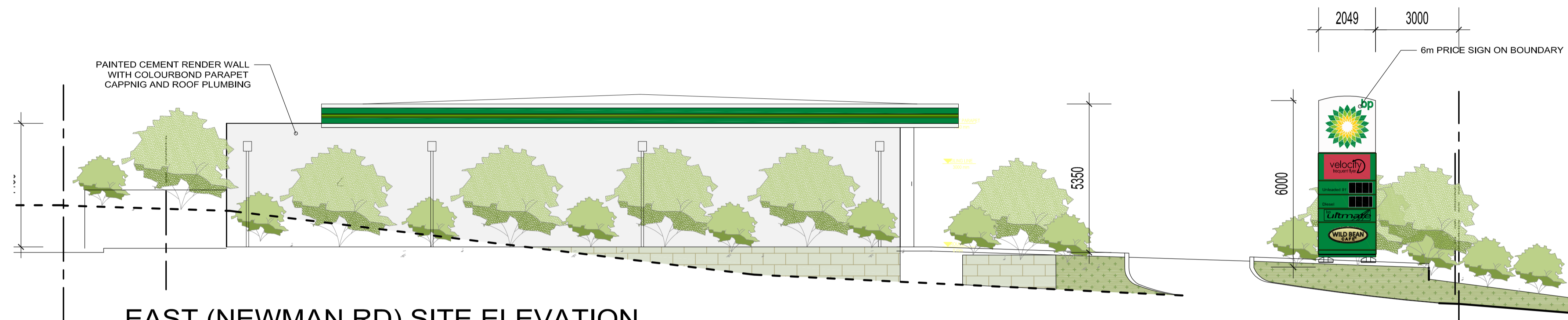
DRAWING No. **A01**  
 JOB No. **A18000**  
 Drawn MWS date 23.05.18 PAGE No. 1 OF X  
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 REV No. A

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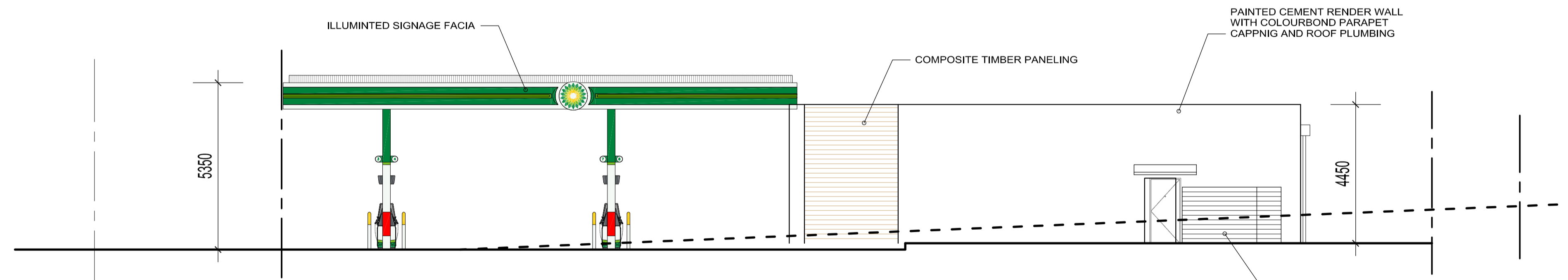
**NORTH (YANCHEP BEACH RD) SITE ELEVATION**

SCALE 1:200 @ A1



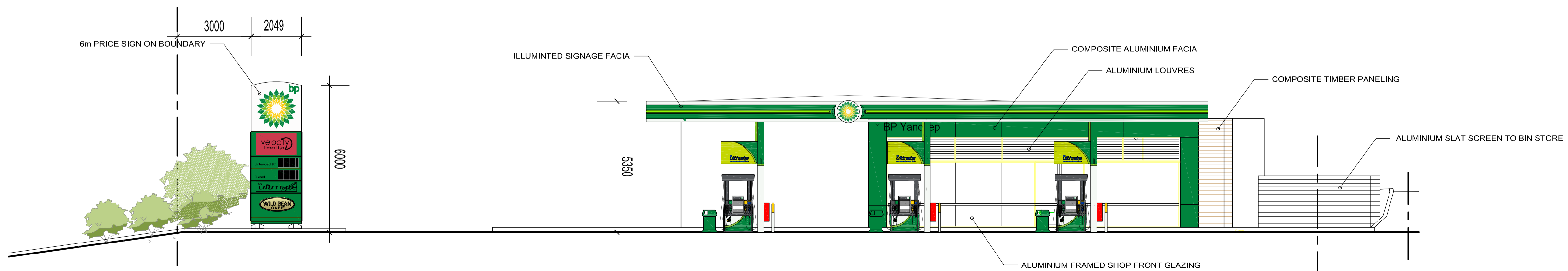
**EAST (NEWMAN RD) SITE ELEVATION**

SCALE 1:100 @ A1



**SOUTH (LOT 14) SITE ELEVATION**

SCALE 1:200 @ A1



**WEST (LOT 12) SITE ELEVATION**

SCALE 1:200 @ A1



REV.	DATE	IN.	DESCRIPTION



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LOT 11 YANCHEP BEACH RD  
YANCHEP WA

DRAWING TITLE:  
**ELEVATIONS**

DRAWING No. **A01**  
JOB No. **A13000**

Drawn MWS date 08.07.13 PAGE No. 1 OF X  
checked GV scale 1:250@A1 REV No. A

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### SERVICE LEGEND

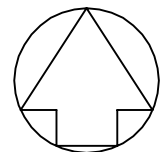
- WATER**  
 STOP VALVE **DRAINAGE**  
 HYDRANT SW MANHOLE   
 FLUSH POINT SIDE ENTRY PIT   
 WATER TAP SEWERAGE  
 WATER MARKER SEWER MANHOLE   
 WATER METER INSPECT. SHAFT   
 BORE INSPECT. OPENING

- POWER**  
 CONSUMER POLE   
 POWER POLE   
 LIGHT POLE   
 STAY POLE   
 S.WIRE ANCHOR   
 U.G CABLE BOX   
 CABLE M/H   
 CABLE DOME
- TELSTRA**  
 TELSTRA MARKER   
 TELSTRA PIT   
 TELSTRA M/H   
 GAS  
 GAS MARKER   
 GAS METER   
 GAS VALVE

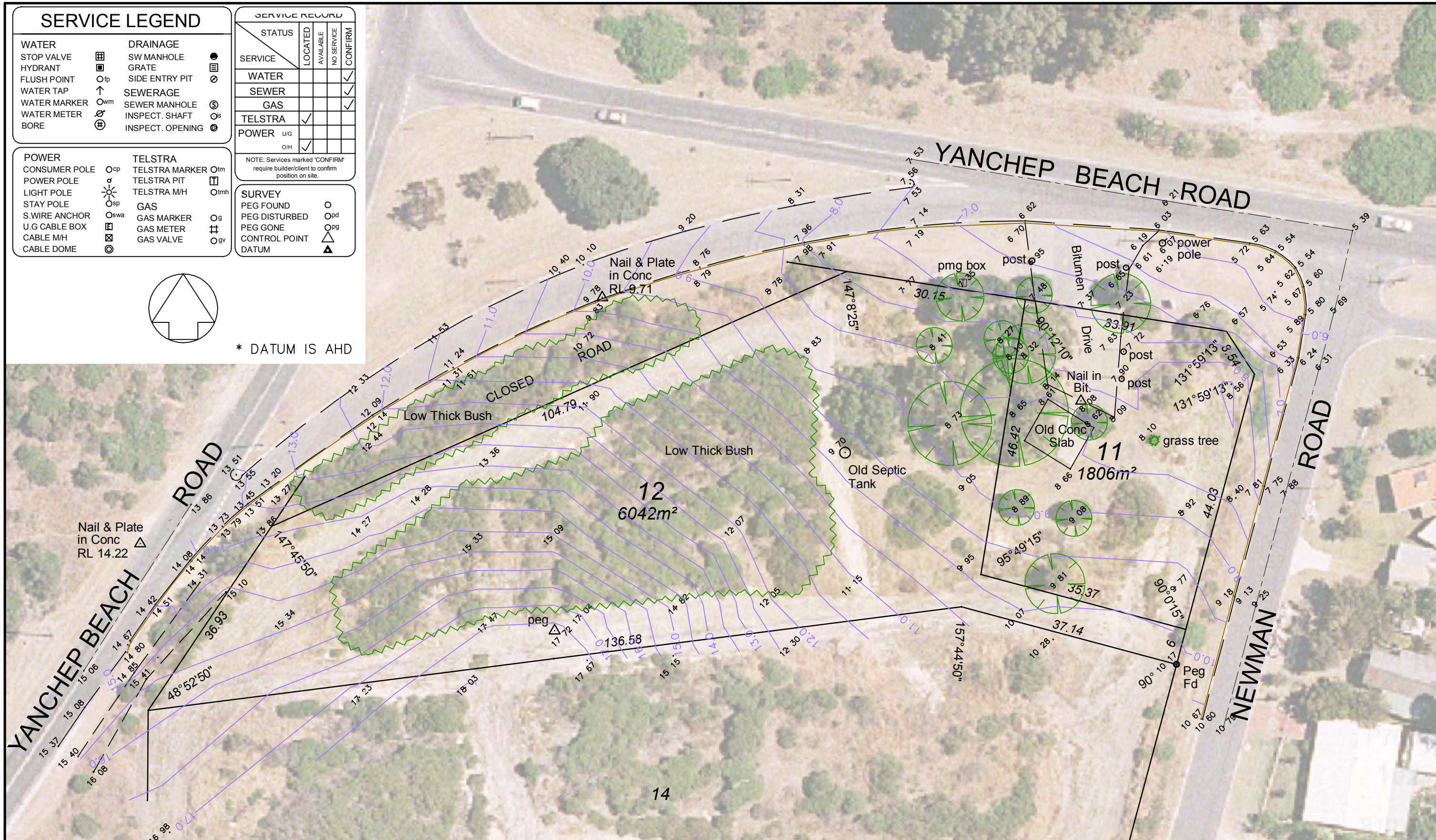
SERVICE RECORD			
STATUS	LOCATED	AVAILABLE	NO SERVICE
WATER			
SEWER			
GAS			
TELSTRA	✓		
POWER	U/G		
	O/H	✓	

NOTE: Services marked 'CONFIRM' require builder/client to confirm position on site.

- SURVEY**  
 PEG FOUND   
 PEG DISTURBED   
 PEG GONE   
 CONTROL POINT   
 DATUM

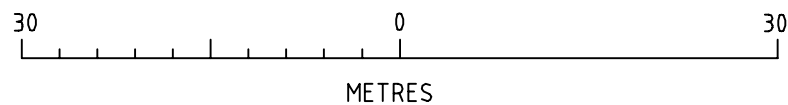


\* DATUM IS AHD



## FEATURE & CONTOUR SURVEY

LOTS 11 & 12 YANCHEP BEACH ROAD  
 YANCHEP



SITE SURVEY only. The information shown on this drawing is current at the date of survey. Boundary information, Easements etc. to be verified from the Certificate of Title, Plan/Diagram or a boundary repeg. Boundary position approximate only. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer, Drainage may vary from schematic presentation, clearances to be checked on site. Service information to be confirmed with relevant authorities. For underground services ring 'DIAL BEFORE YOU DIG' for confirmation

**SAS SORENSEN SHORT & ASSOCIATES**  
 LAND AND ENGINEERING SURVEYORS TEL 9409 6366  
 4 O'CONNOR WAY WANGARA WA 6065 FAX 9309 1105

SURVEYED BN	DRAWN PRP	DATE 30.1.2007	
DATUM AHD	C/FILE	CHECKED	SIGNED
FB LB	SCALE 1:600 (A3P)	DRAWING NUMBER 07017DT	REVISION 0
REF NO 07/017			