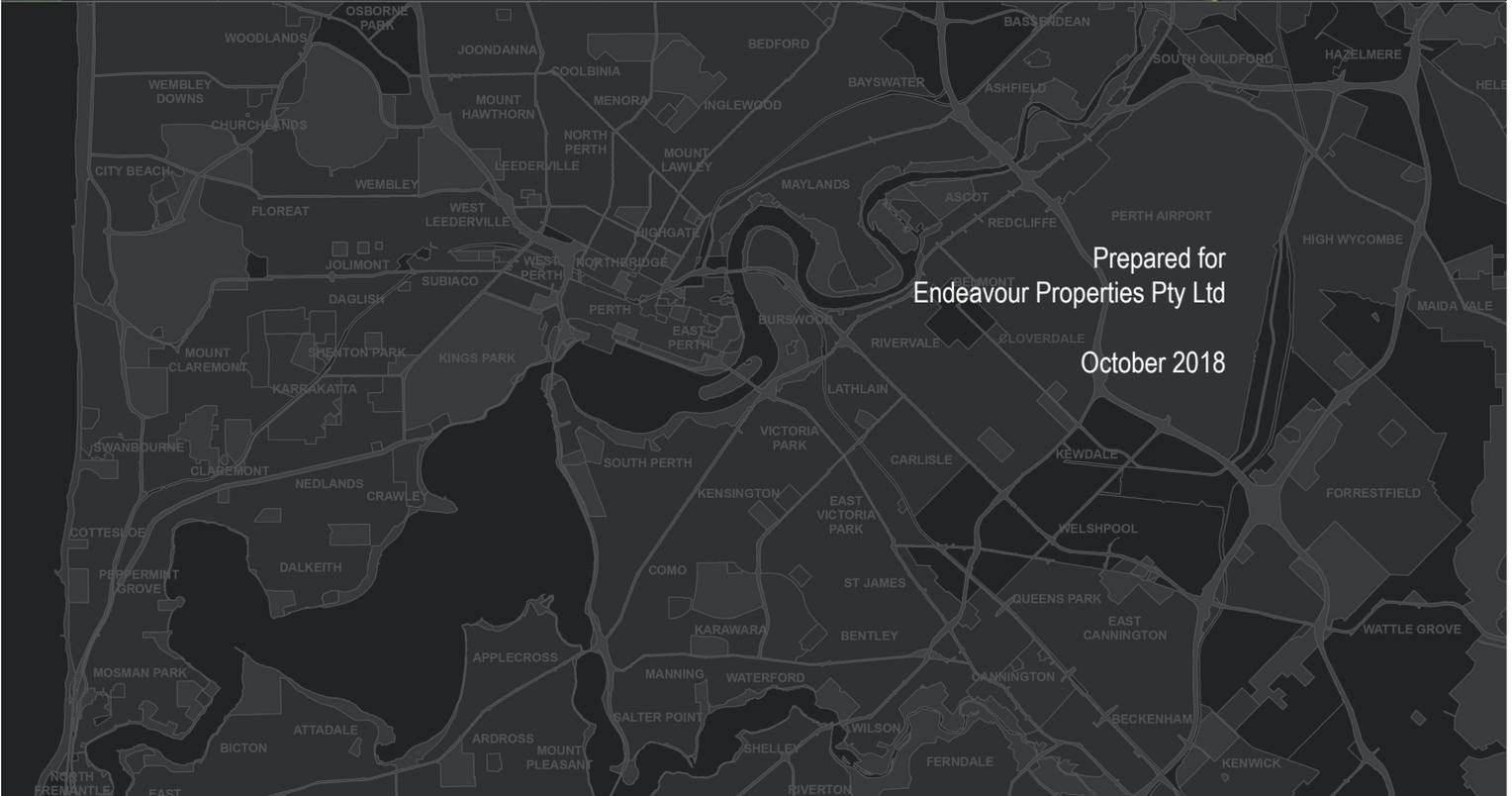


Development Application Report

Lot 9631 (14) Blackberry Drive,
Ashby, WA

PLANNING SOLUTIONS
URBAN & REGIONAL PLANNING



Prepared for
Endeavour Properties Pty Ltd

October 2018

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1 Preliminary

1.1 Introduction

Planning Solutions acts on behalf of Endeavour Properties Pty Ltd, the registered proprietor Lot 9631 (14) Blackberry Drive, Ashby (**subject site**). Planning Solutions has prepared the following report in support of an Application to Commence Development for a mixed medical centre/ office development and associated parking, landscaping and access on the southern portion of the subject site (**development area**).

This report will discuss various issues pertinent to the proposal, including:

- Background.
- Site details.
- Proposed development.
- Town planning considerations.

The proposal seeks approval for the development of a two storey medical centre/ office development comprising of 11 consulting rooms and associated amenities and services on the ground floor and a 408.4m² office on the upper floor. The development forms part of Ashby Village and complements the neighbouring Ashby Village Neighbourhood Centre, providing increased essential services to the growing locality.

Accordingly, Planning Solutions respectfully requests the Metro North-West Joint Development Assessment Panel (**JDAP**) grant approval to the application.

1.2 Background

1.2.1 Planning framework

On 14 December 2012, the City of Wanneroo endorsed a Detailed Area Plan (**DAP**) over Lots 501 & 9604 (21 & 163) Conti Road, Ashby, including the subject site. The DAP depicts the subject site as Lots 75, 76 and 77.

Refer to **Appendix 1** for a copy of the endorsed Detailed Area Plan.

On 16 February 2015, the Western Australian Planning Commission (**WAPC**) adopted and certified Amendment 22 to the East Wanneroo Cell 1 (Tapping and Ashby) Agreed Structure Plan No. 3 (**ASP3**). Amendment 22 recoded a portion of the Structure Plan area, including the subject site, from R60 to R80.

On 19 September 2017 Council resolved to approve an amendment to ASP3 to rezone the subject site from Residential to Mixed Use, while retaining the R80 residential density coding.

1.2.2 Subdivision

On 1 March 2018, the WA Planning Commission granted approval to an application to subdivide the land (WAPC ref 156031) by creating two lots, including future Lot 76 (**development area**). Future Lot 76 is located on the southern portion of the subject site and comprises a total area of 3,316m².

Refer **Appendix 2** for a copy of the subdivision approval and plan, dated 1 March 2018.

1.2.3 Multiple dwelling development

On 22 March 2018, the City of Wanneroo granted development approval for 8 multiple dwellings on the northern portion of the subject site (within future Lot 75).

As part of this approval, a condition was placed stating that landowners are to enter a reciprocal car parking agreement with the City to ensure reciprocal access and car parking rights are maintained between proposed Lots 75 and 76.

Refer **Appendix 3** for a copy of the development approval and plan, dated 22 March 2018.

2 Site details

2.1 Land description

Refer to **Table 1** below for a description of the subject site.

Table 1 – Lot details

Lot	Plan	Volume	Folio	Area (m ²)
9031	406445	2903	695	4,116

The development area is situated on the southern portion of the subject site and comprises of an area of 3,3616m².

There are no encumbrances listed on the Certificate of Title.

Refer **Appendix 4** for copies of the Certificate of Title and Deposited Plan applicable to the subject site.

2.2 Location

2.2.1 Regional context

The subject site is located within the municipality of the City of Wanneroo (**City**) and is situated within the suburb of Ashby. The subject site is located approximately 25 kilometres northwest of the Perth city centre and 2.5 kilometres north of the Wanneroo town centre.

The subject site is bounded by Pinjar Road to the east, Blackberry Drive to the south and west, and Nero Lane/ Roccella Loop to the north. Pinjar Road links to Wanneroo Road in the south and Joondalup Drive to the north connecting the subject site to the wider metropolitan area.

Bus services are provided along Carosa Road with a stop located approximately 480 metres northwest of the subject site.

2.2.2 Local context

The development area is situated within the emerging Ashby locality and is widely surrounded by a variety of residential, civic and commercial land uses. The Ashby Village Neighbourhood Centre (**Ashby Village**) is located immediately south of the subject site and currently contains the Ashby Bar and Bistro and a Caltex convenience store with a shopping centre and various commercial tenancies approved for development.

The development area is bounded by vacant land to the north and west, earmarked for a various multiple dwelling and single detached dwelling developments. A mixture of low to medium density housing, remnant market gardens and preserved bushland are located in close proximity to the subject site.

2.3 Land use and topography

The subject site is cleared and vacant and contains no improvements or significant environmental features.

A variety of residential, commercial and civic land uses surround the subject site.

The subject site falls gently from northeast to southwest.

Refer to **Figure 1**, aerial photograph.



LEGEND
 - - - - - Subject Site



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3 Proposed development

The proposal seeks development approval for a two storey mixed medical centre/ office development and associated car parking, landscaping and access on the southern portion of the subject site (**development area**).

Specifically, the development comprises:

- A medical centre with 11 consulting rooms, reception, waiting rooms, pathology room, amenities and services located on the ground floor.
- A 408.4m² office, tearoom and amenities located on the first floor.
- A shared lobby, lift and staircase situated on both the ground and first floors.
- External plant room and enclosed bin store.
- Paved forecourt along the northern and western frontages, granting pedestrian access from the carpark and linking to the surrounding street network.
- Pedestrian access via a staircase from Blackberry Drive and pedestrian path from Nero Lane.
- Vehicle access from a single crossover to Blackberry Drive and three crossovers to Nero Lane.
- 70 bay carpark, situated on the western portion of the development area comprising:
 - One accessible bay and shared space, located adjacent to the building entrance.
 - 68 regular bays for staff and visitors.
 - One loading bay, located adjacent to the plant room/ bin store/ service entry, accessed via Nero Lane.
- 685m² of landscaping throughout the subject site, including 22 shade trees.
- Partial retention of the existing masonry wall along Pinjar Road.

Overall, the proposed development offers a high-quality and site responsive design, providing an essential service to the growing Ashby locality. The development is appropriately located adjacent to the Ashby Village Neighbourhood Centre (**Ashby Village**) and acts as an interface between Ashby Village in the south and medium density residential development to the north.

The scale and appearance of the proposed building is of a high standard, with the façade predominantly comprising of glazed windows, feature wooden panels, rendered concrete panels as well as black feature pylons for architectural expression. The development also comprises of a feature blade wall along the eastern elevation. The choice of colours, materials and textures provides an attractive and urban contemporary design for the locality and is consistent with the character of the locality.

Signage is proposed to be integrated into the overall façade of the building. Notwithstanding, signage will be subject to a future application.

The two storey development is appropriately situated on the south east portion of the subject site, setback:

- 2.1 metres from Pinjar Road.
- 3.8 metres from Blackberry Drive (southern boundary).
- 53.7 metres from Blackberry Drive (western boundary).
- 7.6 metres from Nero Lane.

The setback ensures appropriate separation from adjoining residential properties, whilst providing an urban built form to Pinjar Road and Blackberry Drive.

No tenant has been confirmed for the proposed consulting rooms or office. As such, unrestricted opening hours are proposed for the purpose of this application to not inhibit the possible hours of operation of future tenants. Notwithstanding, it is anticipated that the centre will operate during standard operating hours.

A bin store area is appropriately located on the northern portion of the development area, adjacent to the service entrance and plant room. Bins are proposed to be collected via a hardstand along Nero Lane.

Refer to **Appendix 5** for the development plans (site plan, floor plan and elevations) depicting the proposed development and **Appendix 7** for the landscaping plan.

4 Statutory planning framework

4.1 Planning and Development (Local Planning Schemes) Regulations 2015

A small, insignificant sliver at the front of the subject site is identified as bushfire prone on the Department of Fire & Emergency Services (DFES) Map of Bushfire Prone Areas. No buildings are proposed within this section of land as part of this development application.

Part 10A of the Deemed Provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015 (Regulations)* relates to bushfire risk management, and includes exceptions to the requirement for bushfire reporting in certain circumstances. Specifically, clause 78D(1) of the Regulations only requires a bushfire attack level assessment for a 'development site' if located within the identified bushfire prone area.

The Regulations define a 'development site' to be:

'Development Site' – means that part of a lot on which a building that is the subject of development standards or is to be constructed.

Given all structures proposed as part of this development application are located outside of the identified bushfire prone area, the development site is not located within a bushfire prone area, and the development proposal is exempt from the requirement for bushfire reporting.

Refer **Appendix 6** for correspondence from the City of Wanneroo confirming that bushfire reporting will not be required for this development.

4.2 Metropolitan Region Scheme

The subject site is zoned Urban under the provisions of the Metropolitan Region Scheme (MRS).

The subject site also abuts Pinjar Road which is reserved Other Regional Roads under the MRS. A review of MRS mapping indicates the subject site is not affected by the reservation.

The proposed development is consistent with the MRS provisions and may be approved accordingly.

4.3 State Planning Policies

4.3.1 Development Control Policy 5.1 Regional Roads (Vehicular Access)

The WAPC's *Development Control Policy 5.1 Regional Roads (Vehicular Access) (DC 5.1)* sets out the general requirements for development involving vehicular access to regional roads. As the subject site fronts the Pinjar Road Other Regional Road reserve, the proposed development has been assessed against the relevant provisions of DC 5.1. Refer **Table 2** below.

Table 2 – Assessment against DC5.1.

Requirement	Comment	Complies
<p><u>Cause 3.3.1</u> <i>In considering applications for access on regional roads, the effects of the proposals on traffic flow and road safety will be the primary consideration. The more important the regional road, the greater the importance attached to these factors. In general, the Commission will seek to minimise the</i></p>	<p>No access is proposed to Pinjar Road. Notwithstanding, a Transport Impact Statement (TIS) was prepared for the proposed development. The TIS identified that:</p> <ul style="list-style-type: none"> The level of trips generated is considered to have no material impact on both Pinjar Road and Blackberry Drive under the WAPC 	✓

Requirement	Comment	Complies
creation of new driveways on regional roads and rationalise existing access arrangements.	<p><i>Transport Assessment Guidelines for Developments.</i></p> <ul style="list-style-type: none"> Acceptable Levels of Service are maintained for Blackberry Drive and Blackberry Drive/ Pinjar Road intersection. <p>Refer Appendix 7 for a copy of the Transport Impact Assessment.</p>	
<p><u>Clause 3.3.2</u> <i>Where regional roads are constructed or planned to freeway standards, no access to frontage development is permitted. On regional roads not constructed or planned to freeway standards, there is a general presumption on traffic and safety grounds against the creation of new driveways or increased use of existing accesses to these roads. Where alternative access is or could be made available from side or rear streets or from rights of way, no access shall be permitted to the regional road unless special circumstances apply.</i></p>	No access is proposed to Pinjar Road.	✓
<p><u>Clause 3.3.5</u> <i>In determining applications for development involving the formation, laying out or alteration of a means of access to regional roads, the following must be considered:</i></p> <ol style="list-style-type: none"> <i>the effects of the development on traffic flow and safety, the character and function of the road, the volume and speed of traffic, the width of the carriageway and visibility; and</i> <i>the volume and type of traffic generated by the development.</i> 	No alterations or modifications are proposed to Pinjar Road.	✓

The proposed development therefore meets the requirements of DC 5.1. The proposed access arrangements have been appropriately informed by a suitably qualified transport consultant and warrant approval accordingly.

4.4 City of Wanneroo District Planning Scheme No. 2

4.4.1 Zoning

The subject site is zoned 'Urban Development' under the provisions of the City of Wanneroo District Planning Scheme No. 2 (DPS2).

Refer **Figure 2**, DSP2 zoning map.

Pursuant to Clause 3.14.3 of DPS2, Agreed Structure Plan 3 – East Wanneroo Cell 1 (Tapping and Ashby) (**ASP3**) provides the specific provisions and development standards applicable to the subject site.

Accordingly, ASP3 designates the subject site as being located in the Mixed Use zone.

Pursuant to Clause 3.5.3 of DPS2, the objectives of the Mixed Use zone are to:

- provide a diversity of land use and housing types;*
- allow appropriate businesses to locate and develop in close proximity to residential areas;*

- (c) *allow for services to be provided locally; and*
- (d) *provide high level of amenity.*

This application proposes a two storey medical centre/ office development adjacent to the developing Ashby Neighbourhood Centre. The development provides an appropriate interface between residential and commercial areas and provides uses compatible with adjacent residential development.

The proposed development is appropriately located along Pinjar Road and will provide an essential service to the developing locality as well as offering increased employment opportunities. The development has been oriented and designed in a manner to ensure a high level of amenity for the surrounding neighbourhood.

The proposal is consistent with Clause 3.14.3 of DPS2 and may be approved accordingly.

4.4.2 Land Use and Permissibility

Pursuant to the provisions of Schedule 1 – Definitions of DPS2, the proposed development is best classified as 'Medical Centre' and 'Office', defined as:

medical centre *means premises accommodating two or more consulting rooms*

office *means any premises used for the administration of clerical, technical, professional or other like business activities but does not include administration facilities which are required in association with a predominant use on site, and does not include consulting rooms or medical centres.*

Pursuant to Section 4.6 of ASP3:

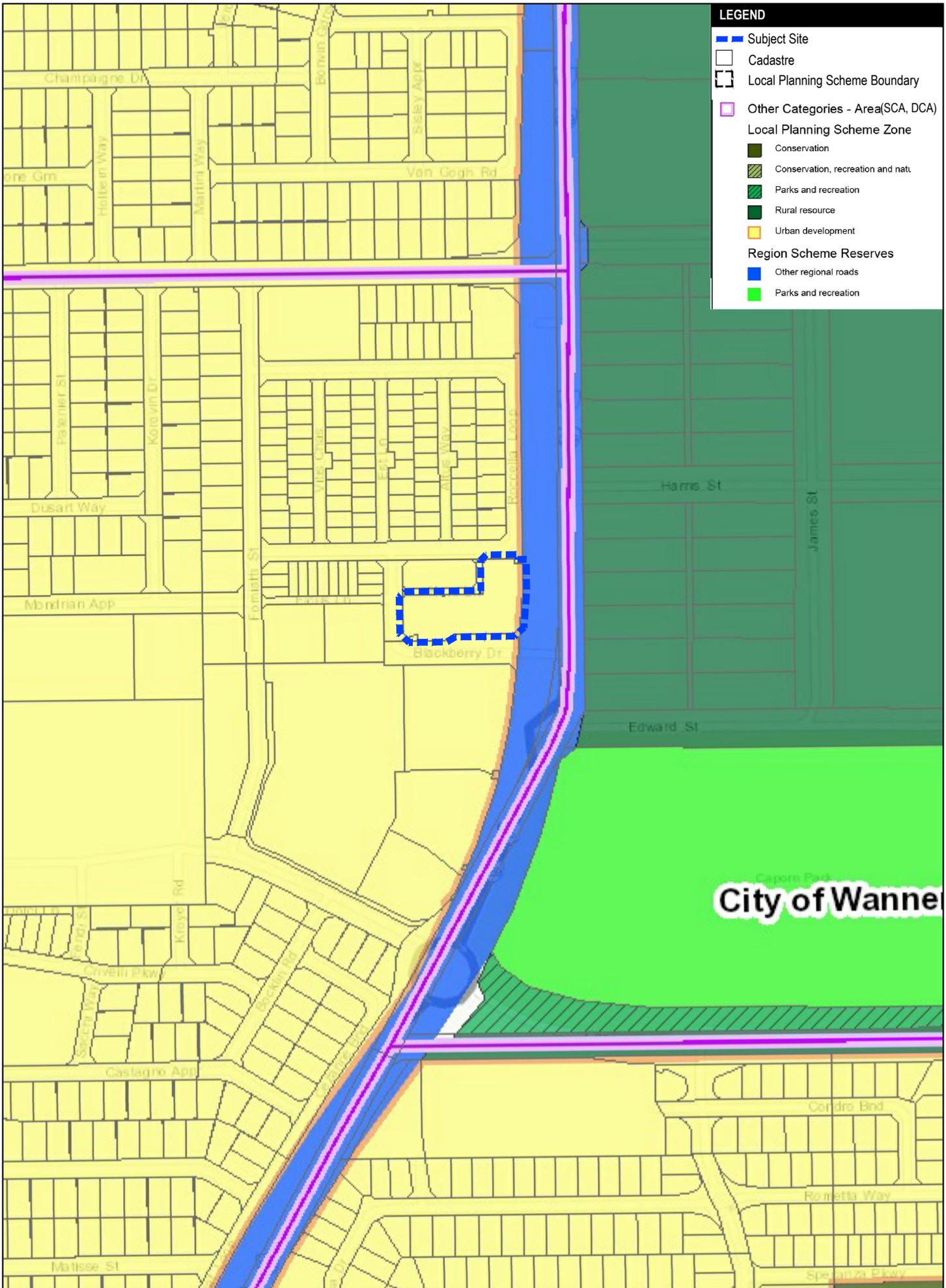
The permissibility of uses is to be in accordance with the Mixed Use Zone as specified under the Scheme.

Accordingly, pursuant to Table 1 – Zoning Table of DSP2, the Medical Centre and Office land uses are both 'P' (permitted) uses within the Mixed Use zone.

4.4.3 Agreed Structure Plan No. 3

ASP3 was originally adopted in 2005 (since amended), and includes planning controls relating to residential density, development standards and zone specific provisions. ASP3 encourages residential and mixed use forms of development within the ASP3 area.

The subject site is identified within the R80 area in ASP3, designated with height restriction 'B' on the structure plan map. Development shall be a maximum of three storeys. The proposed development comprises buildings at a height of two storeys and is therefore consistent with ASP3.



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4.4.5 General Development Requirements

Part IV of DPS2 stipulates the general development requirements. The following provisions are applicable to the proposed development.

Table 1: Planning Assessment against Part IV of DPS2

Required	Proposed	Complies
Clause 4.7 – Setbacks for Non Rural and Non Residential Development		
<p><i>Subject to the provisions of Part 3 or as otherwise provided in this clause, non rural and non residential buildings shall be set back as follows:</i></p> <p>(a) <i>street boundary - 6 metres;</i> (b) <i>side and rear boundaries - Nil.</i></p> <p><i>Where a lot has a boundary with two or more streets, the local government shall determine which of these streets may be considered secondary street boundaries. Setbacks to secondary street boundaries may be reduced by local government to 3 metres.</i></p>	<p>The proposed development is setback:</p> <ul style="list-style-type: none"> • 3.8 – 53.7 metres from Blackberry Drive (primary street). • 2.1 metres from Pinjar Road (secondary street). <p>Accordingly, a 2.2 metre and 0.9 metre variation is sought for the primary and secondary street respectively.</p> <p>It is considered that the minor variations are considered acceptable for the following reasons:</p> <ul style="list-style-type: none"> • The building is situated on the south eastern portion of the subject site to allow appropriate distance from residential land uses to the north of the development area. • The proposed development is situated adjacent to the Ashby Village Neighbourhood Centre which contains nil setbacks consistent with an urban form. Whilst the proposed development contains a minor setback, this is consistent with the urban character of Ashby Village. • Pinjar Road is reserved for Other Regional Roads under the MRS. Accordingly, the proposed development does not provide access to this road. It is therefore considered appropriate that this road is classed as a rear boundary and as such, a nil setback is permitted. 	Discretion
<p><i>That portion of a lot within 3 metres of the street alignment shall only be permitted to be used for a means of access and landscaping.</i></p> <p><i>That portion of a lot between 3 metres of the street alignment and the building setback line shall only be permitted to be used for:</i></p> <p>(a) <i>a means of access;</i> (b) <i>the loading and unloading of vehicles;</i> (c) <i>landscaping;</i> (d) <i>a trade display;</i> (e) <i>the daily parking of vehicles used by employees and customers of the development.</i></p> <p><i>No such area shall be used for the parking of vehicles displayed for sale or which are being wrecked or repaired or for the stacking or storage of materials, products or wastes.</i></p>	<p>Whilst the proposed building is situated within the front setback area, the setback area will be utilised for access, landscaping and car parking only.</p> <p>Accordingly, the objective of this provision has been met and warrants discretion accordingly.</p> <p>No land will be utilised for storage or the sale of vehicles.</p>	Discretion

Required	Proposed	Complies
<i>All buildings constructed on a lot adjoining a Right-of-Way shall be setback a minimum of 1.5 metres from the Right-of-Way, or in the case of a carport, garage or parking bay, such additional distance that local government may require to ensure adequate vehicular manoeuvring.</i>	The proposed development is setback 7.8 metres from Nero Lane.	✓
Clause 4.8 - Building Facades for Non rural and Non Residential Development		
<i>The façade or facades of all non-rural and non-residential development shall be of a high standard of architectural design and constructed in brick, masonry and/or plate glass or other approved material which in the opinion of Local government would not adversely impact on the amenity or streetscape of the area. Where metal clad walls are approved by Local government they shall have a factory applied paint finish.</i>	The proposed development comprises of glazed windows, exposed and rendered brick, feature wooden panels, rendered concrete panels as well as black feature pylons for architectural expression.	✓
<i>The façade or facades of all non-rural and non-residential development shall have incorporated in their design, integrated panels for the purpose of signage placement.</i>	No signage is proposed as part of this application.	✓
Clause 4.10 - Visual Truncation to Vehicular Accessways in the Vicinity of Streets or Rights-of-Ways		
<i>No building, wall, fence, landscaping or other development greater than 0.6m in height measured from natural ground level at the boundary shall be constructed or maintained within the sight line area stipulated in the Australian Standard for Off Street Parking AS2890.1 at the intersections of a vehicle access way and a street or right-of-way.</i>	No built structures are proposed within the sightline areas adjacent to the vehicle access points to the car park.	✓
Clause 4.11 - Pedestrian and Vehicle Reciprocal Access Requirements		
<i>If the Local government approves car parking and pedestrian access on neighbouring premises in a manner which relies on the reciprocal movement of vehicles and pedestrians between or across the premises, the owners concerned shall allow the necessary reciprocal access and parking at all times to the satisfaction of Local government.</i>	Recommend that a planning condition requiring an easement-in gross to be registered on the Certificate of Title prior to the occupation of the development, to allow for the reciprocal use of access and parking areas within the subject site (future Lots 75 and 76).	✓ Condition
Clause 4.12 - Service Areas and Access		
<i>Provisions shall be made for service access to the rear of all taverns, hotels, motels, shops, showrooms, restaurants, takeaway food outlets, drive through takeaway food outlets and other commercial uses as required by the Local government for the purpose of loading and unloading goods unless considered by the Local government to be undesirable in a particular instance.</i>	A loading bay is suitably located adjacent to the bin storage area/ plant room/ service entry on the northern frontage of the building and is accessed via Nero Lane.	✓

Required	Proposed	Complies												
Clause 4.13 - Storage and Rubbish Accumulation														
<i>All storage, including storage of accumulated rubbish, shall be confined to within a building, or suitably enclosed area screened from its immediate surrounds and any adjacent public street or road by normal viewing by a wall not less than 1.8 metres in height constructed of brick, masonry or other approved material. All storage of accumulated rubbish shall be located in a position accessible to rubbish collection vehicles and where vehicular access and car parking will not be adversely affected.</i>	A dedicated bin storage area is located adjacent to the proposed development on the northern frontage. The storage area will be screened from public view at a height of 2 metres.	✓												
Clause 4.14 - Car Parking														
<p><i>Clause 4.14.1 of DPS2 requires the number of on-site car parking bays to be provided in accordance with the requirements of Table 2 – Car Parking Standards.</i></p> <p><i>Pursuant to Table 2, the required parking rates for the proposed development are as follows:</i></p> <table border="1"> <thead> <tr> <th>Use</th> <th>Rate</th> <th>Required</th> </tr> </thead> <tbody> <tr> <td>Medical Centre</td> <td>5 per practitioner plus 7 per 100m² of pharmacy</td> <td>11 practitioners = 55 bays</td> </tr> <tr> <td>Office</td> <td>1 per 30m² NLA</td> <td>408.4m² of office = 14 bays</td> </tr> <tr> <td colspan="2">Total:</td> <td>69 bays</td> </tr> </tbody> </table>	Use	Rate	Required	Medical Centre	5 per practitioner plus 7 per 100m ² of pharmacy	11 practitioners = 55 bays	Office	1 per 30m ² NLA	408.4m ² of office = 14 bays	Total:		69 bays	<p>70 bays are proposed on the subject site, comprising:</p> <ul style="list-style-type: none"> • One accessible bay and shared space. • 68 regular staff and visitor bays. • One loading bay. <p>This results in a surplus of one bay.</p>	✓
Use	Rate	Required												
Medical Centre	5 per practitioner plus 7 per 100m ² of pharmacy	11 practitioners = 55 bays												
Office	1 per 30m ² NLA	408.4m ² of office = 14 bays												
Total:		69 bays												
<p><i>In relation to the design of off-street car parking areas, Clause 4.14.2 of DPS2 states:</i></p> <p><i>The design of off-street parking areas including parking for disabled shall be in accordance with Australian Standards AS 2890.1 or AS 2890.2 as amended from time to time. Car parking areas shall be constructed, marked, drained and thereafter maintained to the satisfaction of the Local government.</i></p>	All car parking spaces have been designed in accordance with the Australian Standards AS 2890.1 and AS 2890.2 where applicable. The car parking spaces will be constructed, line marked and drained on-site prior to the occupation of the development.	✓												
Clause 4.17 - Landscaping Requirements for Non Rural and Non Residential Development														
<i>A minimum of 8% of the area of a development site shall be set aside, developed and maintained as landscaping to a standard satisfactory to the Local government.</i>	<p>The development proposes 685m² of landscaping within the development area, which equates to 20.6% of the development site area (3,316.55m²). In addition, landscaping is proposed along all road verges.</p> <p>All landscaping will be consistent with the existing landscaping in the surrounding locality.</p> <p>Refer Appendix 7 for a copy of the Landscaping Plan.</p>	✓												

Required	Proposed	Complies
<p><i>When a proposed development includes a car parking area abutting a street, an area no less than 3 metres wide within the lot along all street alignments shall be set aside, developed and maintained as landscaping to a standard satisfactory to the local government. This landscaped area shall be included in the minimum 8% of the area of the total development site referred to in the previous subclause.</i></p>	<p>The landscaping area between the carparking area and lot boundary varies between 1.2 metres and 5.8 metres.</p> <p>Whilst not consistent, it is considered that the intent of the subclause has been achieved for the following reasons and warrants approval accordingly:</p> <ul style="list-style-type: none"> • Overall, 20.6% of the development area will be landscaped, exceeding the required 8%. • Whilst not achieving 3 metres consistently, all boundaries will be landscaped. • Additionally, all verges will be landscaped, ensuring the carparking area will be suitably softened. • The proposed carpark is compliant with the required rate under DSP2. An increase in the landscaping area will reduce the amount of space for required car parking. <p>Refer Appendix 7 for a copy of the Landscaping Plan.</p>	<p>Discretion</p>
<p><i>Landscaping shall be carried out and maintained on all those areas of a development site which are not approved for buildings, accessways, storage purposes or car parking. Alternatively, local government may require these areas to be screened from view of streets and other public places.</i></p>	<p>All areas utilised for car parking, access, storage or buildings will be adequately landscaped.</p> <p>Refer Appendix 7 for a copy of the Landscaping Plan.</p>	<p>✓</p>
<p><i>Landscape areas shall be designed and located to improve the visual appeal of the development from the street and other public spaces and the standard of amenity for those using the development. The use of endemic trees and shrubs are encouraged.</i></p>	<p>A suitable and appropriate species section is proposed, consistent with existing landscaping in the Ashby locality.</p> <p>Refer Appendix 7 for a copy of the Landscaping Plan.</p>	
<p><i>Shade trees shall be planted and maintained in car parking areas designed within the wells at the rate of one tree for every four (4) car parking bays, to the Local government's satisfaction.</i></p>	<p>As shown on the landscaping plan, 22 shade trees are proposed. This equates to one tree for every 3.2 car parking bays, which exceeds the DSP2 requirement. Therefore, the proposal is compliant with the minimum shade tree requirement.</p>	<p>✓</p>
<p>Clause 4.18 - Screening of Storage Areas</p>		
<p><i>The owner of land on which there is stored, stacked or allowed to remain any materials which in Local government's opinion detract from the amenity of the area shall completely screen the said materials from adjoining properties and from street in a manner specified by and to the satisfaction of Local government, by means of walls, fences, hedges or shrubs.</i></p>	<p>No storage is proposed outside the proposed buildings or bin storage areas as shown on the proposed development plans.</p>	<p>✓</p>

4.5 Local Planning Policies

4.5.1 Local Planning Policy 4.4: Urban Water Management

Local Planning Policy 4.4 – Urban Water Management (**LPP4.4**) provides requirements for the use and management of water resources within the City.

Pursuant to Section 5 of Table 2 of LPP4.4 an Stormwater Drainage Report was prepared for the proposed development. Refer **Appendix 8** for a copy of the Stormwater Drainage Report.

5 Conclusion

This application seeks approval for a two storey mixed medical centre/ office development and associated parking, access and signage on the subject site. The proposed development will provide essential services to the emerging Ashby locality and will contribute in the development of Ashby Village Neighbourhood Centre.

The proposed development is compliant with the relevant planning framework and warrants approval for the following reasons:

- The proposal is consistent with the relevant provisions and requirements of the City of Wanneroo District Planning Scheme No. 2 and Agreed Structure Plan No. 3.
- The proposed medical centre and office will provide increased services to the emerging Ashby locality.
- The proposed development is appropriately located adjacent to the Ashby Village Neighbourhood Centre and acts as an interface between the centre and adjoining residential properties.
- The proposed development is consistent with the urban character of the locality with the use of contemporary textures, materials and tones. The proposed two storey development comprises of an appropriate bulk and scale and is situated on the south eastern corner of the subject site, protecting residential amenity.

Having regard to the above, the proposal is compliant with the relevant planning framework and warrants approval. We therefore respectfully request the proposal be considered on its merits and favourably determined.

Appendix 1

Endorsed Ashby Village Detailed Area Plan

SPECIAL PROVISIONS

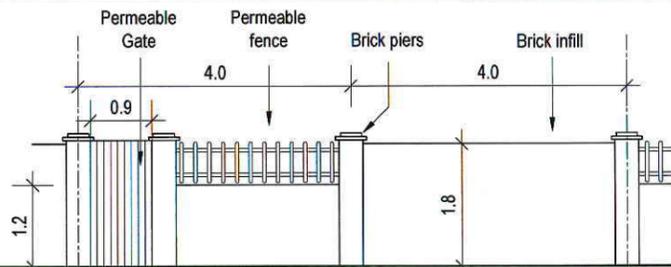
The requirements of the Residential Design Codes apply unless otherwise provided for below. The following standards represent variations to the Residential Design Codes and operate as Acceptable Development requirements.

R40 Lots	Variations
Minimum Open Space	40% subject to: <ul style="list-style-type: none"> Provision of an outdoor living area (to the requirements of the R-Codes) located on the northern or eastern boundary, directly accessible from a habitable room. Any boundary wall to be built on the southernmost or westernmost side boundary to the standards of the R-Codes. Minimum 1.5m solar side setback to walls containing major openings. Where solar side boundary walls do not contain openings, a minimum nil setback is permitted to the northern boundary (with the exception of lots 20, 30, 55 and 65), in addition to any boundary wall/s which may be developed up to the southern boundary.
Building Setbacks	<p>Lots 20, 30-39 & 46-54 Minimum 3.0m, maximum 6.0m street setback (no average setback applicable).</p> <p>Lots 21, 23, 24, 26, 27, 29 & 40-45</p> <ul style="list-style-type: none"> Minimum 1.5m front setback. Garages to be setback 2.0m minimum. Minimum 2.0m setback to common property (no average setback applicable). <p>Lots S1-S12 & S15-S17</p> <ul style="list-style-type: none"> Minimum private street setback to be 2.0m (no average setback applicable) <p>Lots S13 & S14</p> <ul style="list-style-type: none"> Minimum private street setback to be 2.0m (no average setback applicable) Minimum setback from common property visitor parking area to be 1.0m. Nil setback to northern and southern boundaries with common property visitor parking areas. The 1.0m setback area is to be landscaped. <p>All R40 Lots excluding Lot 111</p> <ul style="list-style-type: none"> Nil setback to one side boundary permitted for full length of boundary excluding front & rear setbacks.

R60 Lots	Variations
Minimum Open Space	40% subject to: Provision of an outdoor area on northernmost or easternmost boundary. Area & dimensions as per R-Codes. For the purposes of calculating open space, any alfresco area open on at least one side shall count as open space.
Building Setbacks	<p>Lots 55-74 Ground Floor & Upper Floor</p> <ul style="list-style-type: none"> Nil setback to both side boundaries permitted.
Building Heights	<p>Lots 55-74 Minimum 2 storeys development.</p> <p>Lots 75-77 & 82-85 Maximum height of 3 storeys or 10.5m to top of external wall (whichever is the lesser).</p>

TYPICAL FENCE DETAIL

1:100



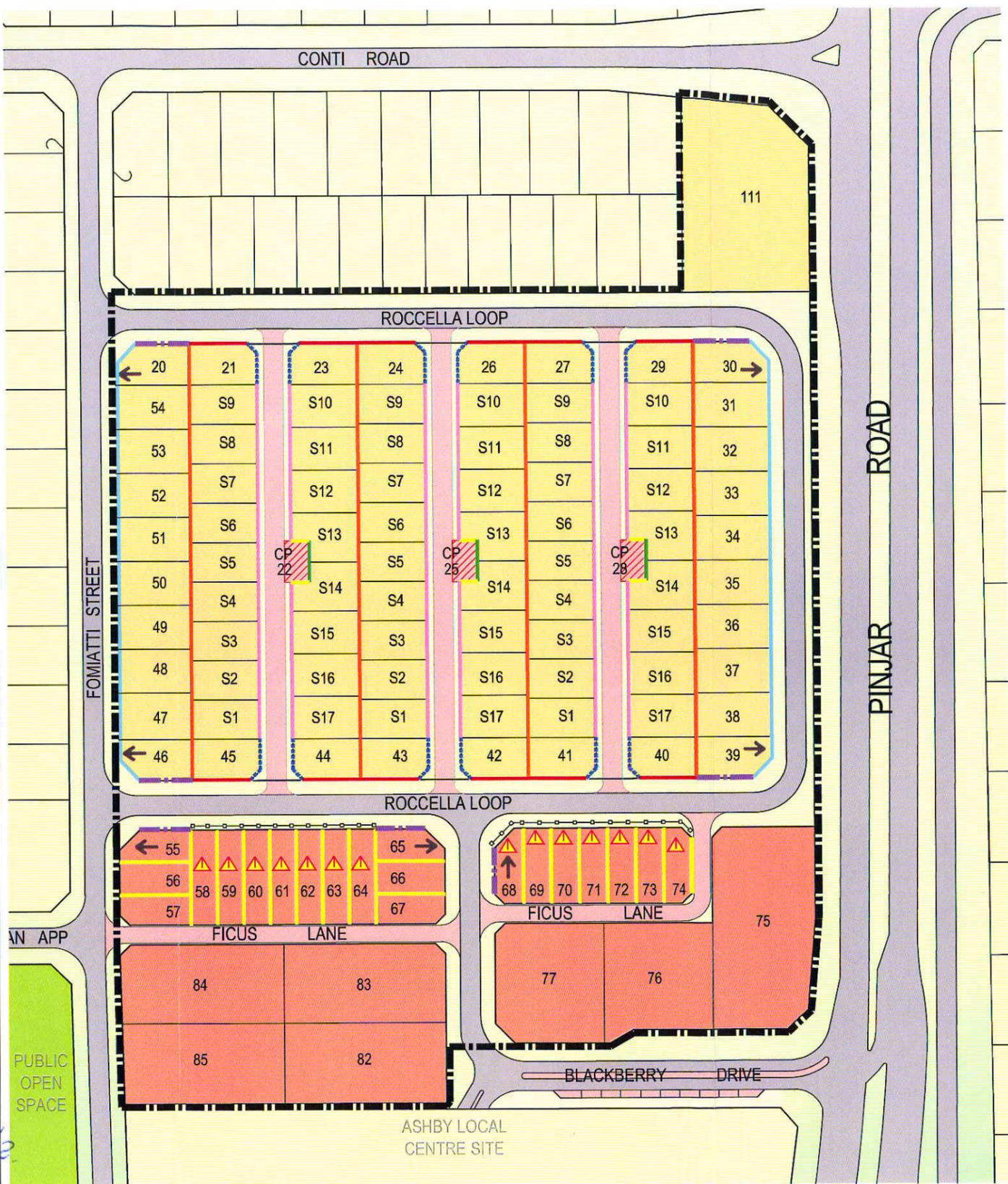
LEGEND

- DAP border
- Primary dwelling orientation
- Min 3m front setback, max 6m setback, no averages apply
- 1m rear setback / side setback
- Min 1.5m front setback. Garages to be setback 2.0m minimum. No averages apply. Main entrance to building from this frontage
- Min 2.0m front setback. No averages apply
- Min 1 major opening to a habitable room
- Min 2.0m setback. No averages apply
- Min 1.0m setback from visitor parking area to be landscaped.
- Nil setback permitted
- Visitor Parking in Common Property
- Fence required (Refer Detail)
- Passive surveillance from upper floor to primary street
- R40 Zoning
- R60 Zoning
- Common Property

ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 9.14.3(a) of District Planning Scheme No. 2

Manager Planning Implementation: *[Signature]* Date: 14/12/12
City of Wanneroo



AN APP

PUBLIC OPEN SPACE

DETAILED AREA PLAN

ASHBY VILLAGE

SCALE: 1:1,500 @ A3
DATE: 4 December 2012
FILE: 121204 2530 DAP.dwg
REVISION: 17/KG/Council Changes/04.12.12
16/GW/WW-Add Endorsement Table/09.11.12
15/KG/WW-Minor Changes/31.10.12

BASEPLAN SOURCE: JOHN CHAPMAN TOWN PLANNING CONSULTANT



PLANNING SOLUTIONS

URBAN & REGIONAL PLANNING

PERTH
A: 205 Fitzgerald Street, Perth WA 6000
T: (08) 9227 7970
F: (08) 9227 7971
P: PO Box 8701 PERTH BC WA 6849

MELBOURNE
A: Level 4, 395 Collins Street, Melbourne VIC 3000
T: (03) 9999 1500
F: (03) 9800 1477

E: admin@planningsolutions.com.au
W: www.planningsolutions.com.au
ACN 143 573 184 ABN 23 143 573 184
Planning Solutions Austral Pty Ltd

Appendix 2
Subdivision Approval, Dated 1 March 2018



Your Ref : 171123 5590

Planning Solutions
GPO Box 2709
Cloisters Square
PERTH WA 6850

Approval Subject To Conditions Freehold (Green Title) Subdivision

Application No : 156031
Planning and Development Act 2005

Applicant	:	Planning Solutions GPO Box 2709, Cloisters Square, PERTH WA 6850
Owner	:	Endeavour Properties Pty Ltd 12 Duncraig Road, APPLECROSS WA 6153
Application Receipt	:	8 December 2017

Lot Number	:	9631
Diagram / Plan	:	406445
C/T Volume/Folio	:	2903/695
Street Address	:	14 Blackberry Drive, Ashby
Local Government	:	City of Wanneroo

The Western Australian Planning Commission has considered the application referred to and is prepared to endorse a deposited plan in accordance with the plan date-stamped **08 December 2017** once the condition(s) set out have been fulfilled.

This decision is valid for **three years** from the date of this advice, which includes the lodgement of the deposited plan within this period.

The deposited plan for this approval and all required written advice confirming that the requirement(s) outlined in the condition(s) have been fulfilled must be submitted by **01 March 2021** or this approval no longer will remain valid.

Reconsideration - 28 days

Under section 151(1) of the *Planning and Development Act 2005*, the applicant/owner may, within 28 days from the date of this decision, make a written request to the WAPC to reconsider any condition(s) imposed in its decision. One of the matters to which the WAPC will have regard in reconsideration of its decision is whether there is compelling evidence by way of additional information or justification from the applicant/owner to warrant a reconsideration of the decision. A request for reconsideration is to be submitted to the WAPC on a Form 3A with appropriate fees. An application for reconsideration may be submitted to the WAPC prior to submission of an application for review. Form 3A and a schedule of fees are available on the WAPC website: <http://www.planning.wa.gov.au>

Right to apply for a review - 28 days

Should the applicant/owner be aggrieved by this decision, there is a right to apply for a review under Part 14 section 251 of the *Planning and Development Act 2005*. The application for review must be submitted in accordance with part 2 of the *State Administrative Tribunal Rules 2004* and should be lodged within 28 days of the date of this decision to: the State Administrative Tribunal, Level 6, State Administrative Tribunal Building, 565 Hay Street, PERTH, WA 6000. It is recommended that you contact the tribunal for further details: telephone 9219 3111 or go to its website: <http://www.sat.justice.wa.gov.au>

Deposited plan

The deposited plan is to be submitted to the Western Australian Land Information Authority (Landgate) for certification. Once certified, Landgate will forward it to the WAPC. In addition, the applicant/owner is responsible for submission of a Form 1C with appropriate fees to the WAPC requesting endorsement of the deposited plan. A copy of the deposited plan with confirmation of submission to Landgate is to be submitted with all required written advice confirming compliance with any condition(s) from the nominated agency/authority or local government. Form 1C and a schedule of fees are available on the WAPC website: <http://www.planning.wa.gov.au>

Condition(s)

The WAPC is prepared to endorse a deposited plan in accordance with the plan submitted once the condition(s) set out have been fulfilled.

The condition(s) of this approval are to be fulfilled to the satisfaction of the WAPC.

The condition(s) must be fulfilled before submission of a copy of the deposited plan for endorsement.

The agency/authority or local government noted in brackets at the end of the condition(s) identify the body responsible for providing written advice confirming that the WAPC's requirement(s) outlined in the condition(s) have been fulfilled. The written advice of the agency/authority or local government is to be obtained by the applicant/owner. When the written advice of each identified agency/authority or local government has been obtained, it should be submitted to the WAPC with a Form 1C and appropriate fees and a copy of the deposited plan.

If there is no agency/authority or local government noted in brackets at the end of the condition(s), a written request for confirmation that the requirement(s) outlined in the condition(s) have been fulfilled should be submitted to the WAPC, prior to lodgement of the deposited plan for endorsement.

Prior to the commencement of any subdivision works or the implementation of any condition(s) in any other way, the applicant/owner is to liaise with the nominated agency/authority or local government on the requirement(s) it considers necessary to fulfil the condition(s).

The applicant/owner is to make reasonable enquiry to the nominated agency/authority or local government to obtain confirmation that the requirement(s) of the condition(s) have been fulfilled. This may include the provision of supplementary information. In the event that the nominated agency/authority or local government will not provide its written confirmation following reasonable enquiry, the applicant/owner then may approach the WAPC for confirmation that the condition(s) have been fulfilled.

In approaching the WAPC, the applicant/owner is to provide all necessary information, including proof of reasonable enquiry to the nominated agency/authority or local government.

The condition(s) of this approval, with accompanying advice, are:

CONDITIONS:

1. The landowner/applicant contributing towards development infrastructure provisions pursuant to the City of Wanneroo District Planning Scheme No. 2 (Local Government)
2. Pursuant to Section 150 of the *Planning and Development Act 2005* and Division 3 of the *Planning and Development Regulations 2009* a covenant preventing vehicular access onto Pinjar Road being lodged on the certificate(s) of title of the proposed lot(s) at the full expense of the landowner/applicant. The covenant is to prevent access, to the benefit of the City of Wanneroo, in accordance with the plan dated **8 December 2017** (attached) and the covenant is to specify:

"No vehicular access is permitted from Pinjar Road."

(Local Government)

3. The land being filled, stabilised, drained and/or graded as required to ensure that
 - a) lots can accommodate their intended development; and
 - b) finished ground levels at the boundaries of the lot(s) the subject of this approval match or otherwise coordinate with the existing and/or proposed finished ground levels of the land abutting; and
 - c) stormwater is contained on-site, or appropriately treated and connected to the local drainage system.

(Local Government)
4. Engineering drawings and specifications are to be submitted, approved, and subdivisional works undertaken in accordance with the approved plan of subdivision, engineering drawings and specifications, for the provision of footpath through and connecting to the application area in accordance with the plan dated **8 December 2017**(attached). The approved footpaths are to be constructed by the landowner/applicant. (Local Government)
5. Arrangements being made to the satisfaction of the Western Australian Planning Commission and to the specification of Western Power for the removal, relocation and/or replacement of electricity supply infrastructure, including plant and/or equipment located on or near the lots shown on the approved plan of subdivision. (Western Power)
6. Arrangements being made with the Water Corporation so that provision of a suitable water supply service will be available to the lots shown on the approved plan of subdivision. (Water Corporation)
7. Arrangements being made with the Water Corporation so that provision of a sewerage service will be available to the lots shown on the approved plan of subdivision. (Water Corporation)

ADVICE:

1. In regard to Condition 4, the landowner/applicant is advised that the road reserves, including the constructed footpaths are to be generally consistent with the approved plan of subdivision.
2. In regard to Conditions 6 and 7, the landowner/applicant shall make arrangements with the Water Corporation for the provision of the necessary services. On receipt of a request from the landowner/applicant, a Land Development Agreement under

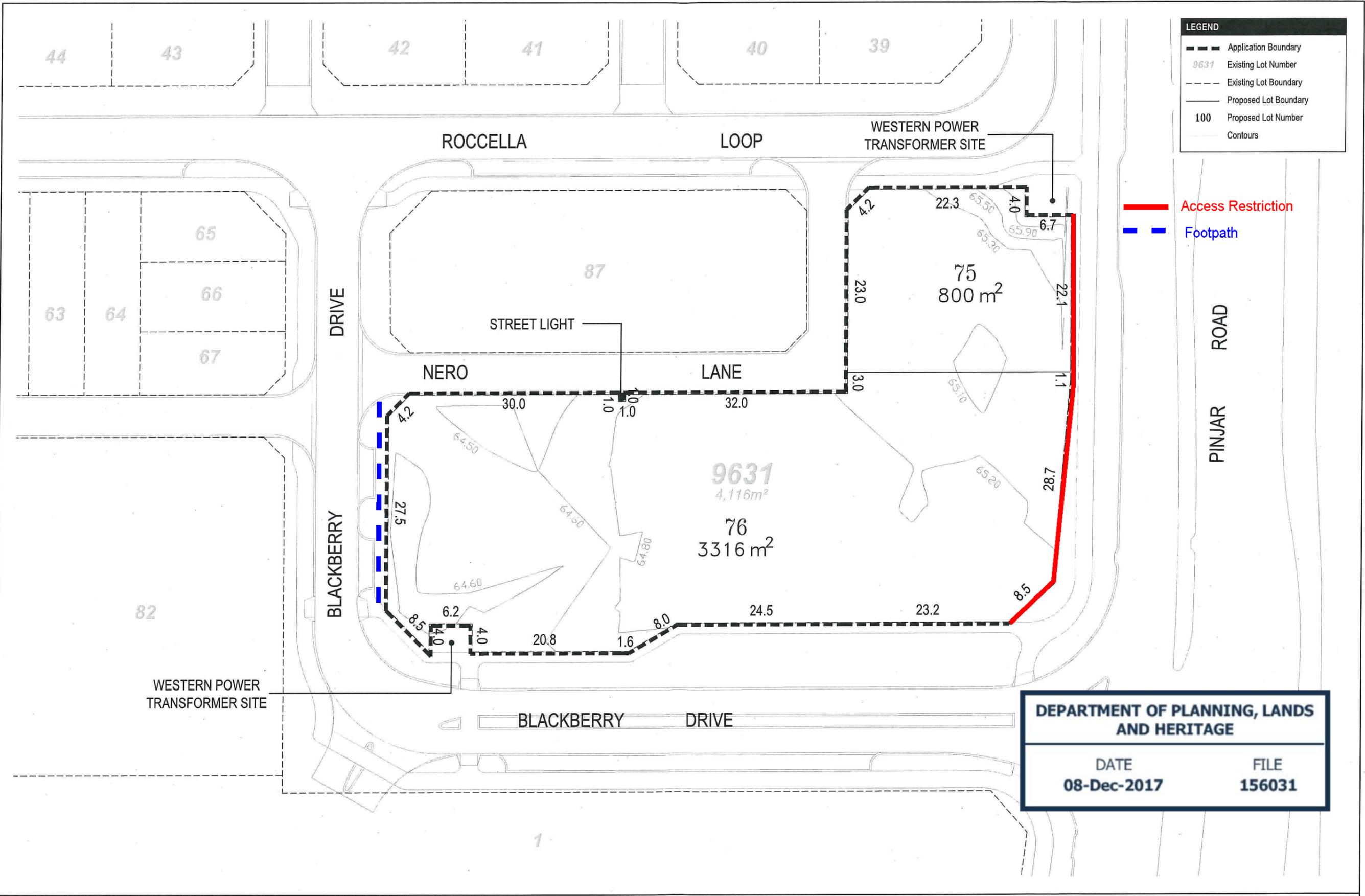


Section 83 of the *Water Services Act 2012* will be prepared by the Water Corporation to document the specific requirements for the proposed subdivision.

A handwritten signature in black ink, appearing to read "Kerrine Blenkinsop". The signature is fluid and cursive.

Kerrine Blenkinsop
Secretary
Western Australian Planning Commission
1 March 2018

Enquiries : Alex Campbell (Ph 6551 9183)



LEGEND	
	Application Boundary
	9631 Existing Lot Number
	Existing Lot Boundary
	Proposed Lot Boundary
	Proposed Lot Number
	Contours

Access Restriction
 Footpath

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 08-Dec-2017	FILE 156031

Appendix 3
Development Approval, Dated 22 March 2018

**LOCKED BAG 1
WANNEROO WA 6946
TELEPHONE: (08) 9405 5000
FACSIMILE: (08) 9405 5499**

Application Number : DA2018/107
Enquiries Officer : Jeremy Thompson

22 March 2018

Planning Solutions
GPO Box 2709
Cloisters Square
PO WA 6850

**CITY OF WANNEROO DEVELOPMENT APPROVAL
METROPOLITAN REGION SCHEME
FORM 2**

Land Parcel Details:	Lot: 9631 DP: 406445
Property Details:	14 Blackberry Drive ASHBY
Registered Owner(s):	Endeavour Properties Pty Ltd
Application Date:	25 January 2018
Application Received:	25 January 2018
Development Description:	8 Multiple Dwellings

The City advises that Development Approval has now been **granted** under the provisions of the City of Wanneroo District Planning Scheme No. 2 and the Metropolitan Region Scheme. This Approval is subject to compliance with the following conditions:

1. The landowners shall enter into a reciprocal car parking agreement, or other legally binding agreement, with the City to ensure reciprocal access and car parking rights are maintained between both proposed lots as identified on the approved plans. The agreement shall be to the satisfaction of the City and shall be finalised prior to the development first being occupied. All costs associated with the preparation of the agreement shall be met by the landowners.
2. All refuse shall be stored within the designated bin enclosure/s and shall be collected from the site by a private contractor at the cost of the applicant/owner.
3. Parking areas, driveways, crossovers and points of ingress and egress shall be designed and constructed in accordance with the Australian Standard for Offstreet Carparking (AS2890) as amended and the City of Wanneroo Technical Standards, and shall be drained, sealed and marked.
4. The parking areas and associated access indicated on the approved plans shall not be used for the purpose of storage or obstructed in any way at any time, without the prior approval of the City.
5. Stormwater and any other water run-off from buildings or paved areas shall be collected and retained on-site.
6. The applicant shall undertake adequate measures to minimise any impacts of dust and sand drift from the site.

7. Residents and visitor car parking spaces shall be marked and clearly signposted as dedicated for residents and visitor use only respectively, to the satisfaction of the City.
8. Lighting shall be installed in all car-parking areas, driveways and pedestrian pathways prior to the development first being occupied.
9. Planting and landscaping shall be carried out in accordance with the plans as submitted prior to the occupation of the development and thereafter maintained to the satisfaction of the City.

FOOTNOTES

1. This is a planning approval only and is issued under District Planning Scheme No. 2 and the Metropolitan Region Scheme. It is the applicant's responsibility to comply with all other applicable legislation and obtain all the required approvals, licenses and permits prior to commencement of the development.
2. This planning approval shall not be construed as an approval for or support of any other planning related application (including subdivision) on the land.
3. This planning approval does not take into account any restrictive covenants that may apply to the land. It is the proponent's responsibility to ensure that the development will not result in a conflict with any other contractual obligations relating to the land.
4. If the development has not substantially commenced within two (2) years of the date of approval, or another period specified in this approval, the approval will lapse and have no further effect. Where the approval has lapsed, no development can be carried out without the further approval of the Council.
5. If an applicant is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the Planning and Development Act 2005. An application to the Tribunal must be made within twenty eight (28) days of the date of the determination.

Unless otherwise specified, all conditions shall be complied with, by and at the cost of the owner, to the specification and satisfaction of the City, before the development is occupied. Thereafter, maintenance and compliance with conditions of approval shall continue to the City's satisfaction.

Unless otherwise specified through the conditions above, this approval requires development to be undertaken in accordance with the enclosed approved plans. Should any minor variation to the approved plans be proposed on the submission of a building licence, such variation may only be permitted under this Planning Approval at the City's discretion and to the satisfaction of the Manager Approval Services.

Should you have any further queries relating to this advice, please contact Jeremy Thompson from the City of Wanneroo Planning and Sustainability Directorate on 9405 5311.



Jeremy Thompson
SENIOR PLANNER, APPROVAL SERVICES

FEATURE SURVEY OF LOT 9631 ON
DP406445 AND PORTION OF LOT 39 ON DP76431
No 14 BLACKBERRY DRIVE, ASHBY

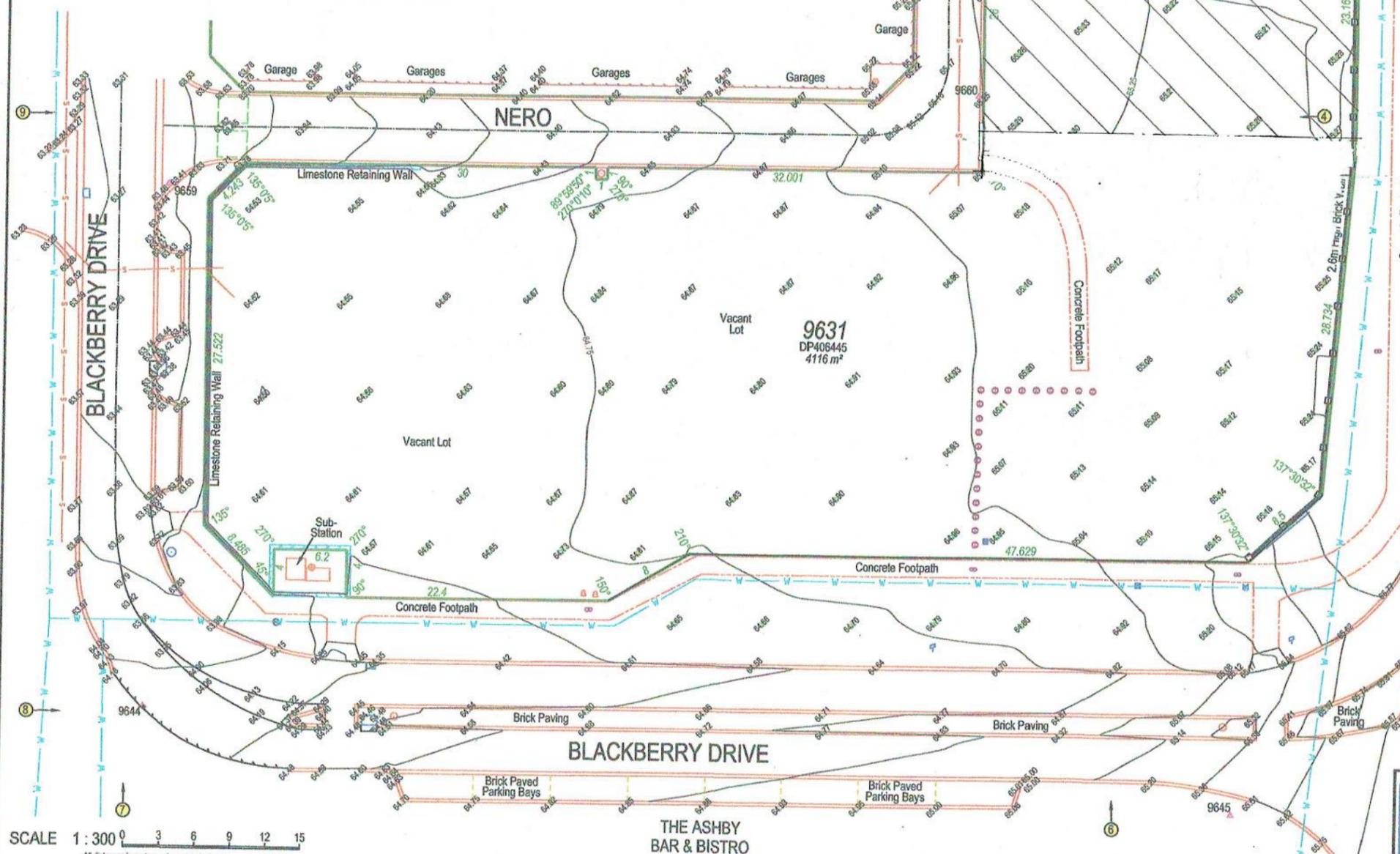
Client ENDEAVOUR PROPERTIES PTY LTD

SEWER AND WATER DATA SHOWN ON THIS PLAN IS DERIVED FROM SUPPLIED WATER CORPORATION INFORMATION SHEETS AND IS COMPILED AS BEST-FIT MODEL. BROWN McALLISTER SURVEYORS CANNOT GUARANTEE THE ACCURACY OF THIS DATA.

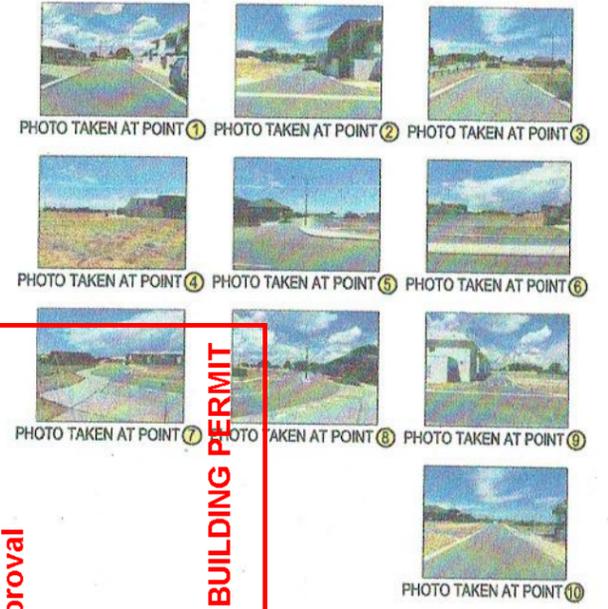
EXISTING SITE PLAN

REV A : JAN '18
REV B : FEB '18

AREA SUBJECT TO THIS PLANNING APPLICATION



LOCATION PLAN
APPROXIMATE EXTENT OF SUBJECT SITE
2017 AERIAL PHOTOGRAPHY
NOT TO SCALE



**CITY OF WAMNEROO
PINJAR**

PLANNING APPLICATION APPROVED

Subject to the endorsement hereon and compliance with the conditions of the Planning Approval

Application No: DA2018/107
Date Approved: 22/03/2018

NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

- LEGEND OF FEATURES**
- BOUNDARY
 - CONTOUR (INTERVAL OF 0.25m)
 - BUILDING / STRUCTURE
 - RETAINING WALL
 - WALL
 - FENCE
 - CONCRETE EDGE
 - BRICK PAVING
 - FOOTPATH
 - KERB
 - ROAD DASHED LINE MARK
 - ROAD SOLID LINE MARK
 - ROAD CENTRELINE MARK
 - NATURAL SURFACE LEVEL
 - SURVEY CONTROL MARK
 - ELECTRICAL LIGHT POLE
 - EARTH PIT
 - POWER DOME
 - HYDRANT GROUND
 - RETIC CONTROL VALVE
 - STOP VALVE
 - COMMUNICATION PIT
 - SIGN
 - BOLLARD
 - TREE CANOPY
 - WATER PIPE
 - SEWER PIPE

SCALE 1 : 300
All distances in metres unless stated otherwise

Brown McAllister Surveyors
Licensed Surveyors | Land Development & Strata Consultants | Engineering Surveyors
Email: admin@brownmcallister.com.au Tel: (08) 9386 9688
43 Broadway, Nedlands, Western Australia, 6009 Fax: (08) 9386 9677

APPROVED AND ISSUED TO CLIENT		10/11/2017	R.COELLA	M.WALL
No.	DETAILS	DATE	DRAWN	CHECKED
REVISIONS				

SHEET	A2
SURVEYED	M.WALL - 09/11/2017
FIELD NOTES	
DRAWN	R.COELLA - 10/11/2017
CHECKED	
REFERENCE	08175-42F

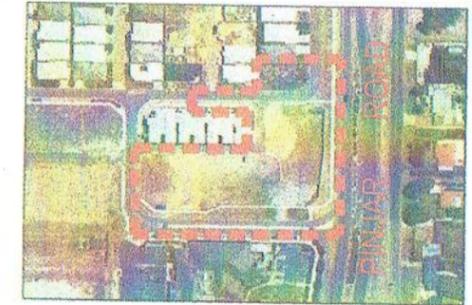
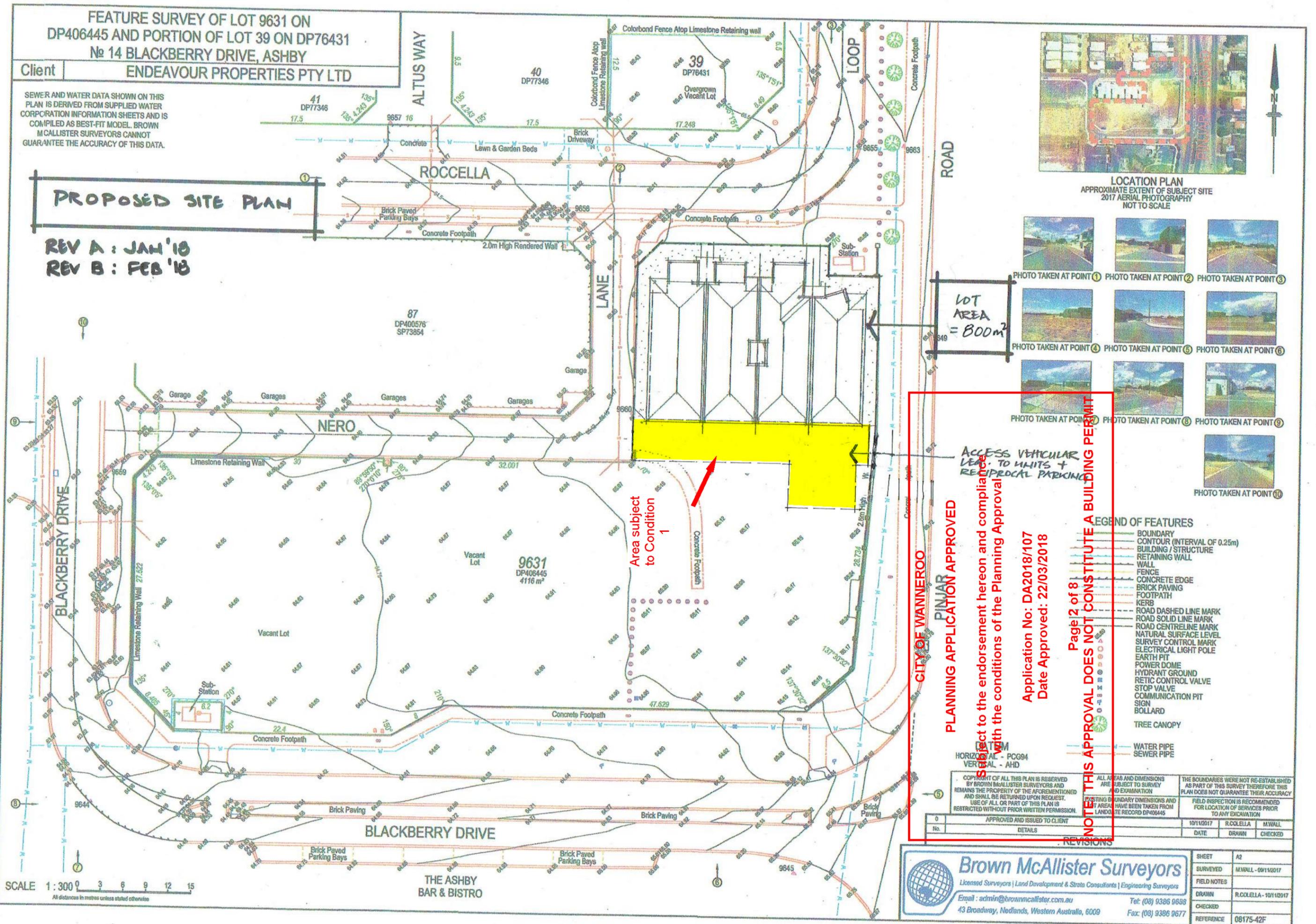
FEATURE SURVEY OF LOT 9631 ON
DP406445 AND PORTION OF LOT 39 ON DP76431
No 14 BLACKBERRY DRIVE, ASHBY

Client ENDEAVOUR PROPERTIES PTY LTD

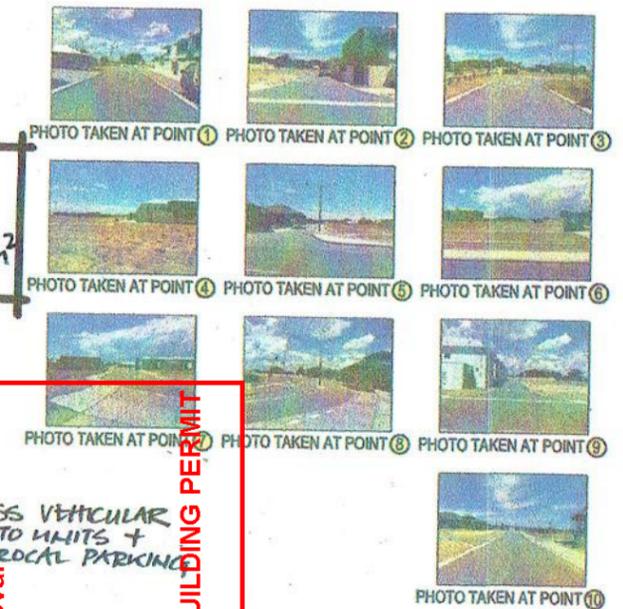
SEWER AND WATER DATA SHOWN ON THIS PLAN IS DERIVED FROM SUPPLIED WATER CORPORATION INFORMATION SHEETS AND IS COMPILED AS BEST-FIT MODEL. BROWN McALLISTER SURVEYORS CANNOT GUARANTEE THE ACCURACY OF THIS DATA.

PROPOSED SITE PLAN

REV A : JAN '18
REV B : FEB '18



LOCATION PLAN
APPROXIMATE EXTENT OF SUBJECT SITE
2017 AERIAL PHOTOGRAPHY
NOT TO SCALE



LOT AREA = 800m²

Area subject to Condition 1

ACCESS VEHICULAR LEAN TO UNITS + RECIPROCAL PARKING

CITY OF WANNEROO
PINJAR
PLANNING APPLICATION APPROVED

Subject to the endorsement hereon and compliance with the conditions of the Planning Approval

Application No: DA2018/107
Date Approved: 22/03/2018

- LEGEND OF FEATURES
- BOUNDARY
 - CONTOUR (INTERVAL OF 0.25m)
 - BUILDING / STRUCTURE
 - RETAINING WALL
 - WALL
 - FENCE
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 - SEWER PIPE

Page 2 of 8

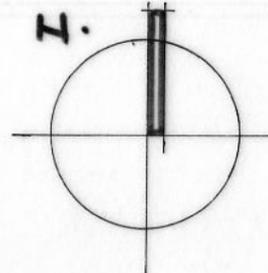
NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

APPROVED AND ISSUED TO CLIENT		10/1/2017		R. COLELLA		M. WALL	
No.	DETAILS	DATE	DRAWN	CHECKED			

SCALE 1:300
All distances in metres unless stated otherwise

Brown McAllister Surveyors
Licensed Surveyors | Land Development & Strata Consultants | Engineering Surveyors
Email: admin@brownmcallister.com.au Tel: (08) 9386 9888
43 Broadway, Nedlands, Western Australia, 6009 Fax: (08) 9386 9677

SHEET	A2
SURVEYED	M. WALL - 09/11/2017
FIELD NOTES	
DRAWN	R. COLELLA - 10/1/2017
CHECKED	
REFERENCE	08175-42F



ROCCELLA LOOP

EXISTING POWER TRANSFORMER LOCATION.

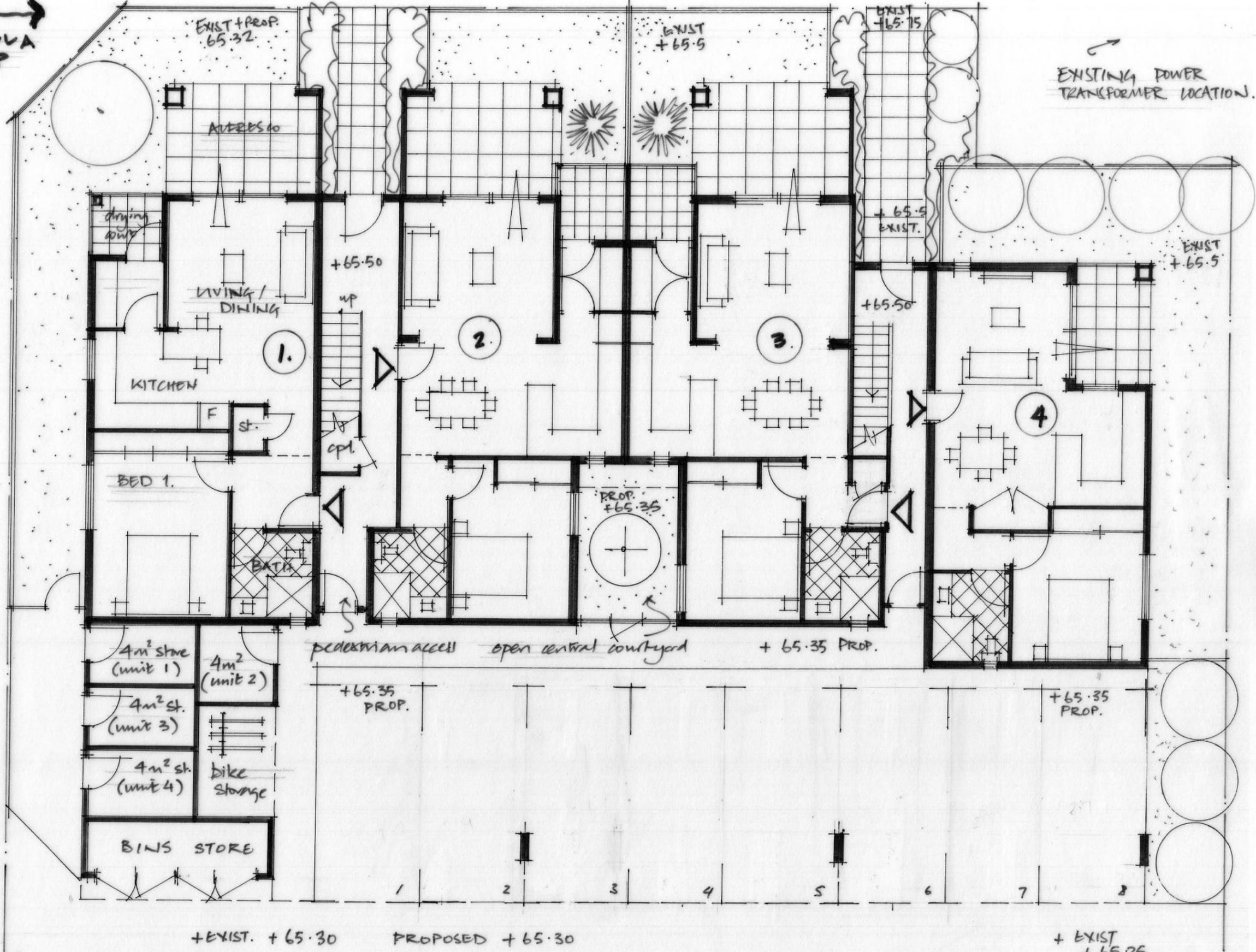
GROUND FLOOR

CITY OF WANNEROO
 PLANNING APPLICATION APPROVED
 Subject to the endorsement hereon and compliance with the conditions of the Planning Approval
 Application No: DA2018/107
 Date Approved: 22/03/2018
 Page 3 of 8
 NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

REV B: FEB '18
 REV A: JAN '18

PROPOSED 8 UNIT DEVELOPMENT IN N/EAST SECTION OF MIXED USE LOT 9631 ASHBY VILLAGE

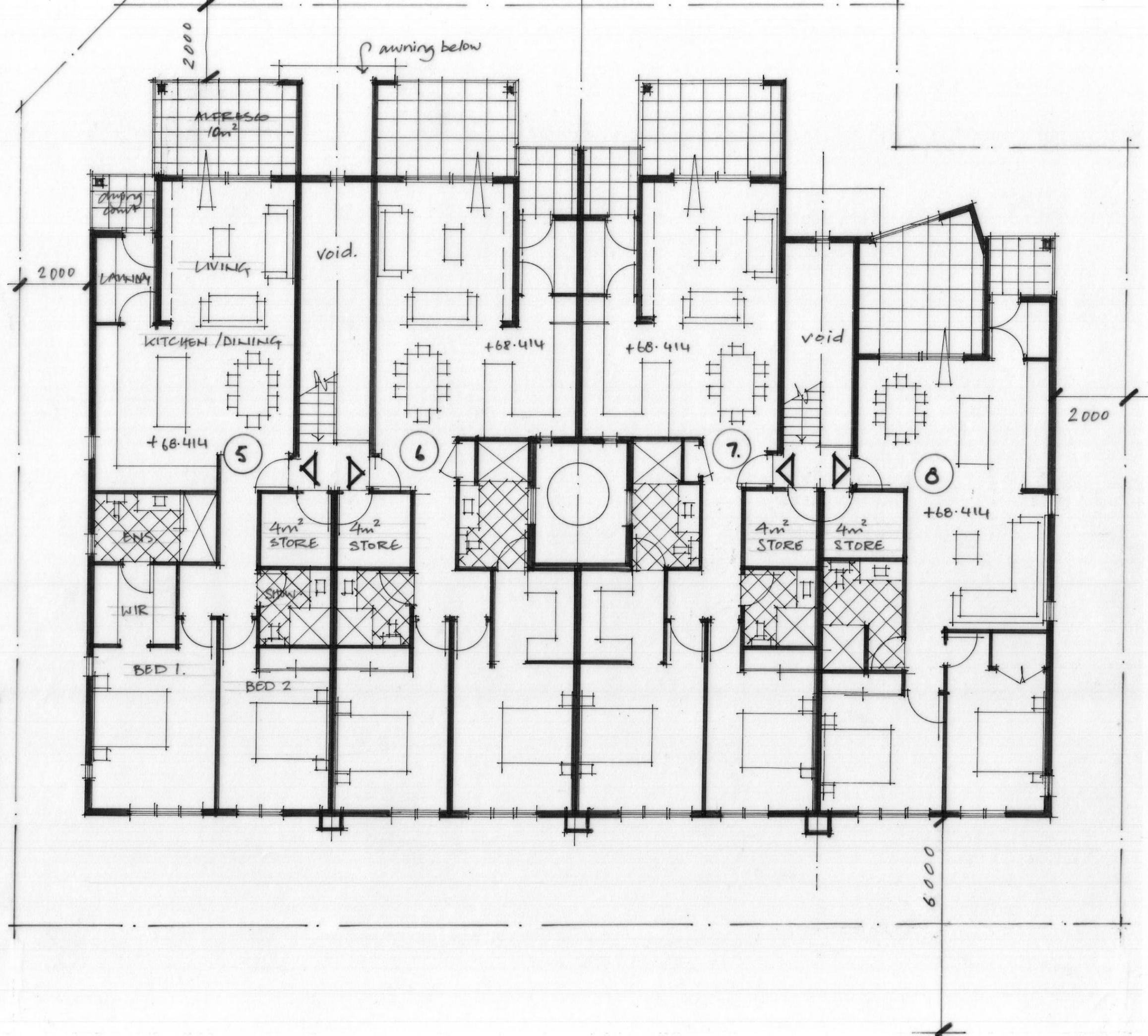
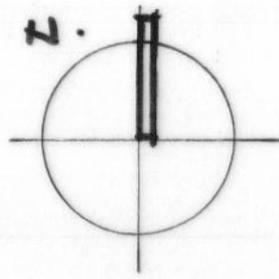
SCALE 1:100
 DATE NOV '17
 DESIGN J. EVERITT



← Accessed from Nero Lane

DEEMED SITE BOUNDARY LINE
 (REMAINING AREA OF ACCESS LEG & 3 X PARKING SPACES SUBJECT TO EASEMENT)

3 X PARKING BAYS ACCESSED TO CREATE A TOTAL OF 11 SPACES FOR DWELLINGS + VISITORS



FIRST FLOOR

CITY OF WANNEROO

PLANNING APPLICATION APPROVED

Subject to the endorsement hereon and compliance with the conditions of the Planning Approval

Application No: DA2018/107

Date Approved: 22/03/2018

Page 4 of 8

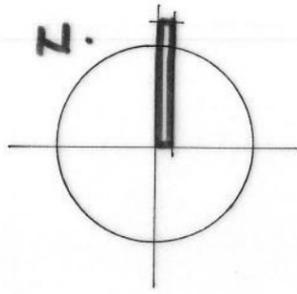
NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

REV B : FEB '18

REV A : JAN '18

PROPOSED 8 UNIT DEVELOPMENT IN N/EAST SECTION OF MIXED USE LOT 9631 ASHBY VILLAGE

SCALE 1:100
DATE NOV '17
DESIGN J. EVERITT



ROOF PLAN.

CITY OF WANNEROO

PLANNING APPLICATION APPROVED

Subject to the endorsement hereon and compliance with the conditions of the Planning Approval

Application No: DA2018/107
Date Approved: 22/03/2018

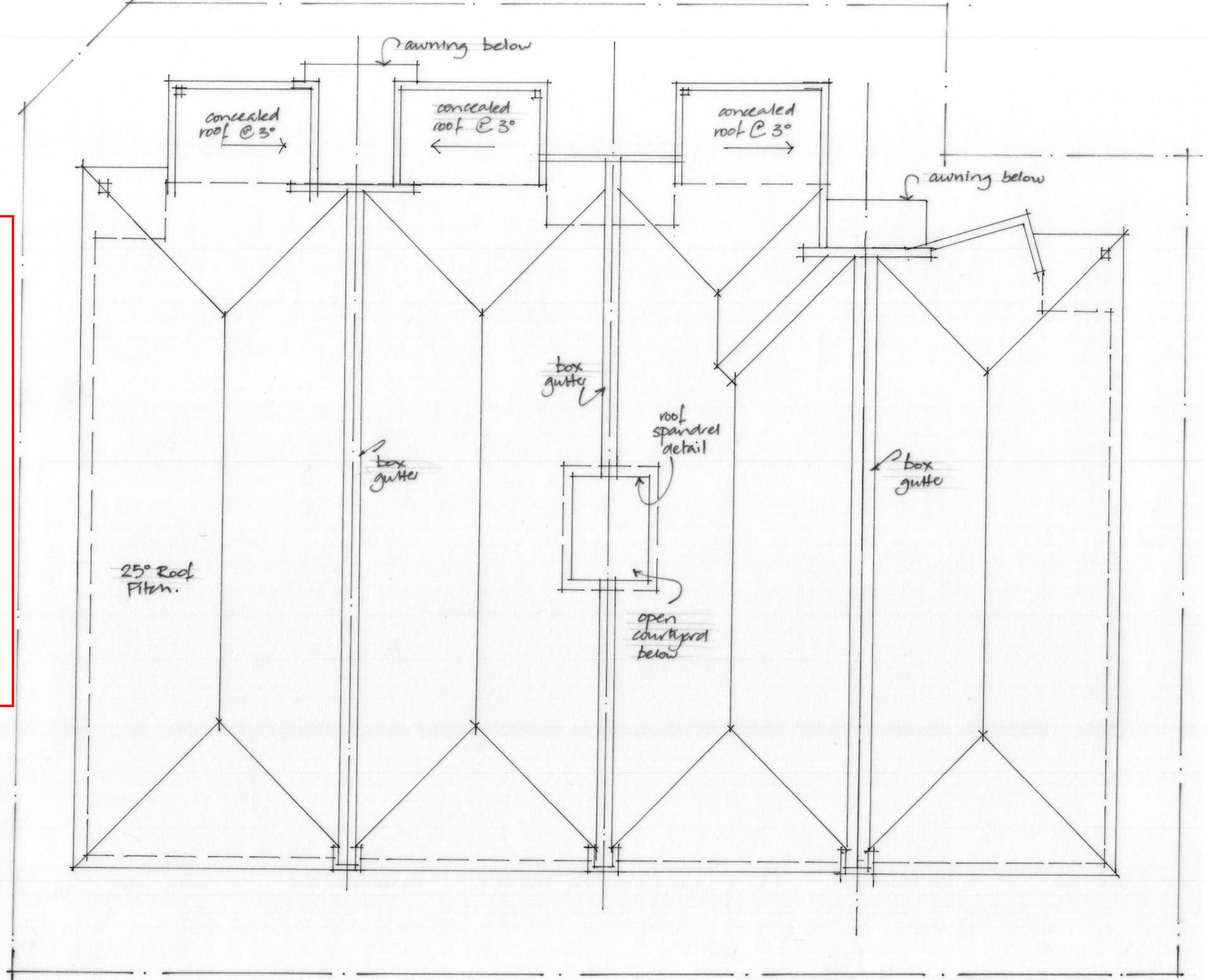
Page 5 of 8

NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

REV B: FEB '18
REV A: JAN '18

PROPOSED 6 UNIT
DEVELOPMENT IN
N/EAST SECTION OF
MIXED USE LOT 9631
ASHBY VILLAGE

SCALE 1:100
DATE NOV '17
DESIGN J. EVERITT



ROOFS : COLORBOND
colour : Shake Grey

FEATURE RENDER FINISH
colour : CHARCOAL GREY

MAIN WALLS : RENDER FINISH
colour : off-white

SLATTED SCREEN FEATURES
TIMBER LOOK : CEDAR COLOUR

WALL TO
ADJACENT
POWER
TRANSFORMER

+68.414

+65.50

NERO LANE

ROCCELLA LOOP ELEVATION.

EXTENT OF 1800mm HIGH
WALL TO FRONT BOUNDARY
(REFER TO BOUNDARY WALL
DESIGN DRAWING)

NATURAL GROUND
LEVEL

CITY OF WANNEROO

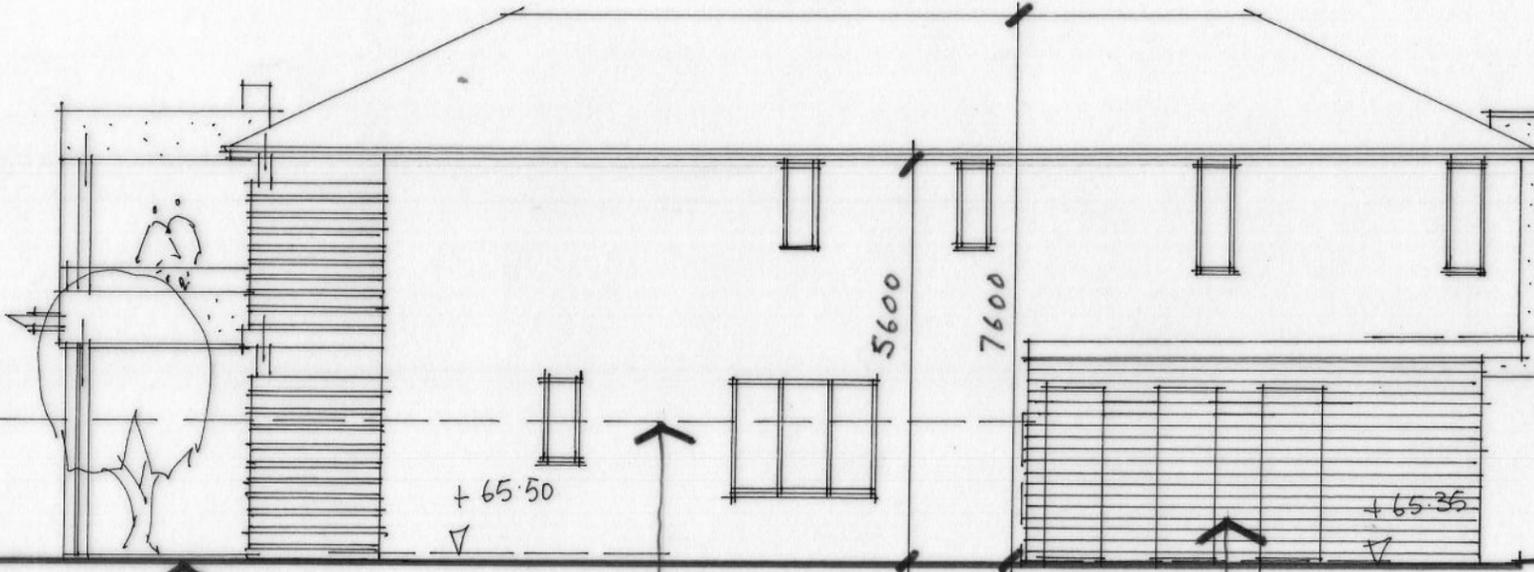
PLANNING APPLICATION APPROVED

Subject to the endorsement hereon and compliance
with the conditions of the Planning Approval

Application No: DA2018/107
Date Approved: 22/03/2018

Page 6 of 8

NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT



NATURAL GROUND
LEVEL

EXTENT OF 1800 mm
WALL TO BOUNDARY
(REFER TO BOUNDARY
WALL DESIGN DRAWING)

+68.414

VEHICULAR
ACCESS FROM
NERO LANE

VISITOR PARKING

NERO LANE ELEVATION.

FEATURE CLADDING (TBA)
COLOUR - CHARCOAL
GREY

PROPOSED 8 UNIT DEVELOPMENT ON N/EAST SECTION
OF LOT 9631 , ASHBY VILLAGE .

SCALE 1:100
DATE NOV'17
DESIGN J. EVERITT

REV A : JAN '18
REV B : FEB '18



REAR (SOUTH FACING) ELEVATION.

CITY OF WANNEROO

PLANNING APPLICATION APPROVED

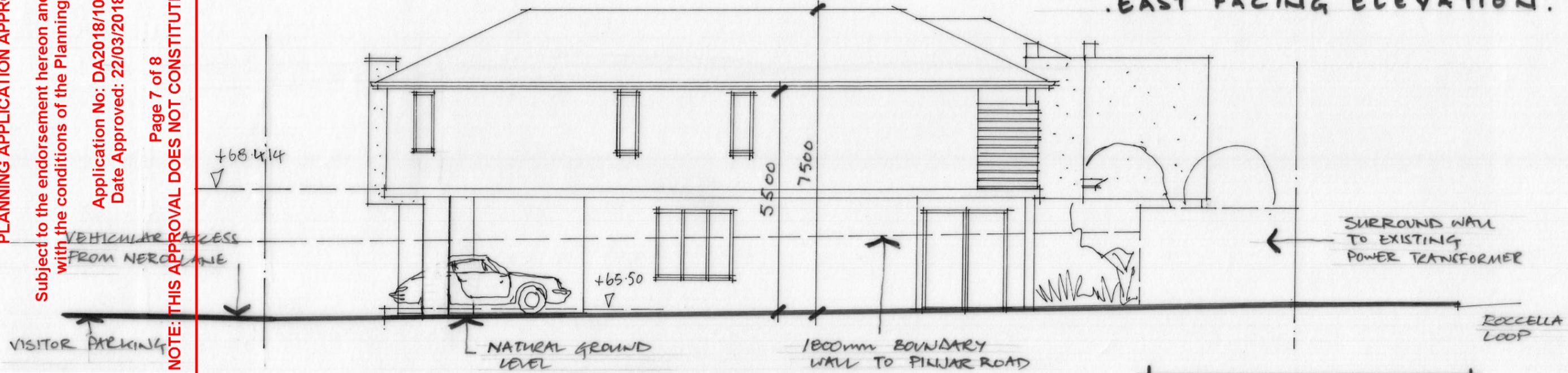
Subject to the endorsement hereon and compliance with the conditions of the Planning Approval

Application No: DA2018/107
Date Approved: 22/03/2018

Page 7 of 8

NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

EAST FACING ELEVATION.

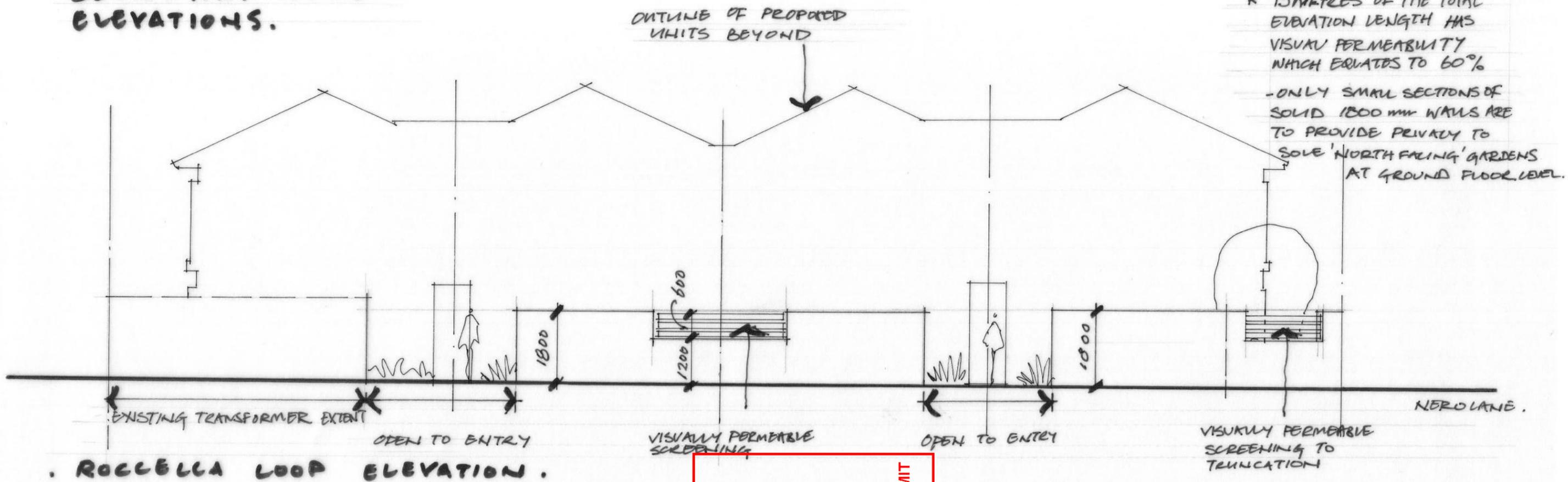


PROPOSED 8 UNIT DEVELOPMENT ON N/EAST SECTION OF LOT 9631, ROCCELLA LOOP, ASHBY VILLAGE

SCALE 1:100
DATE NOV'17
DESIGN J. EVERITT

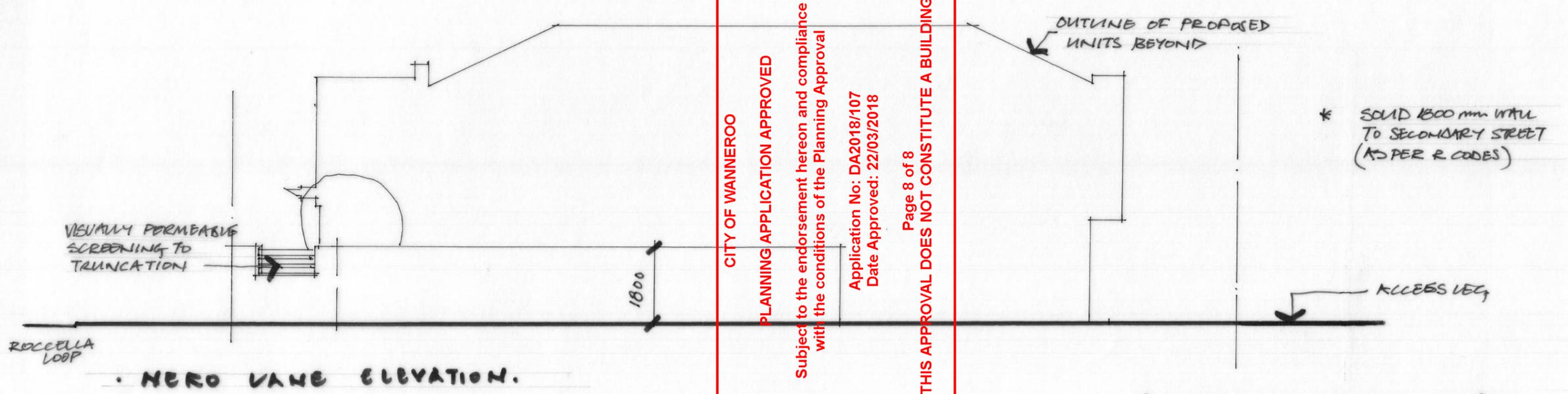
REV A : JAN '18
REV B : FEB '18

BOUNDARY WALL ELEVATIONS.



* 19 METRES OF THE TOTAL ELEVATION LENGTH HAS VISUAL PERMEABILITY WHICH EQUATES TO 60%
 - ONLY SMALL SECTIONS OF SOLID 1800 MM WALLS ARE TO PROVIDE PRIVACY TO SOLE 'NORTH FACING' GARDENS AT GROUND FLOOR LEVEL.

ROCCELLA LOOP ELEVATION.



NERO LANE ELEVATION.

CITY OF WANNEROO
 PLANNING APPLICATION APPROVED
 Subject to the endorsement hereon and compliance with the conditions of the Planning Approval
 Application No: DA2018/107
 Date Approved: 22/03/2018
 Page 8 of 8
 NOTE: THIS APPROVAL DOES NOT CONSTITUTE A BUILDING PERMIT

PROPOSED 8 UNIT DEVELOPMENT ON N/EAST SECTION OF LOT 9631, ASHBY VILLAGE.

SCALE	1:100
DATE	NOV'17
DESIGN	J. EVERITT

REV A : JAN '18 / REV B : FEB '18

Appendix 4

Certificate of Title and Deposited Plan

WESTERN



AUSTRALIA

REGISTER NUMBER 9631/DP406445	
DUPLICATE EDITION N/A	DATE DUPLICATE ISSUED N/A

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **2903** FOLIO **695**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

LAND DESCRIPTION:

LOT 9631 ON DEPOSITED PLAN 406445

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

ENDEAVOUR PROPERTIES PTY LTD OF PO BOX 110, LEEDERVILLE

(AF N359245) REGISTERED 21/6/2016

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

- 1. *M488898 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA REGISTERED 10/12/2013.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP406445
PREVIOUS TITLE: 2892-449
PROPERTY STREET ADDRESS: 14 BLACKBERRY DR, ASHBY.
LOCAL GOVERNMENT AUTHORITY: CITY OF WANNEROO

NOTE 1: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING L747911 AND L747912.

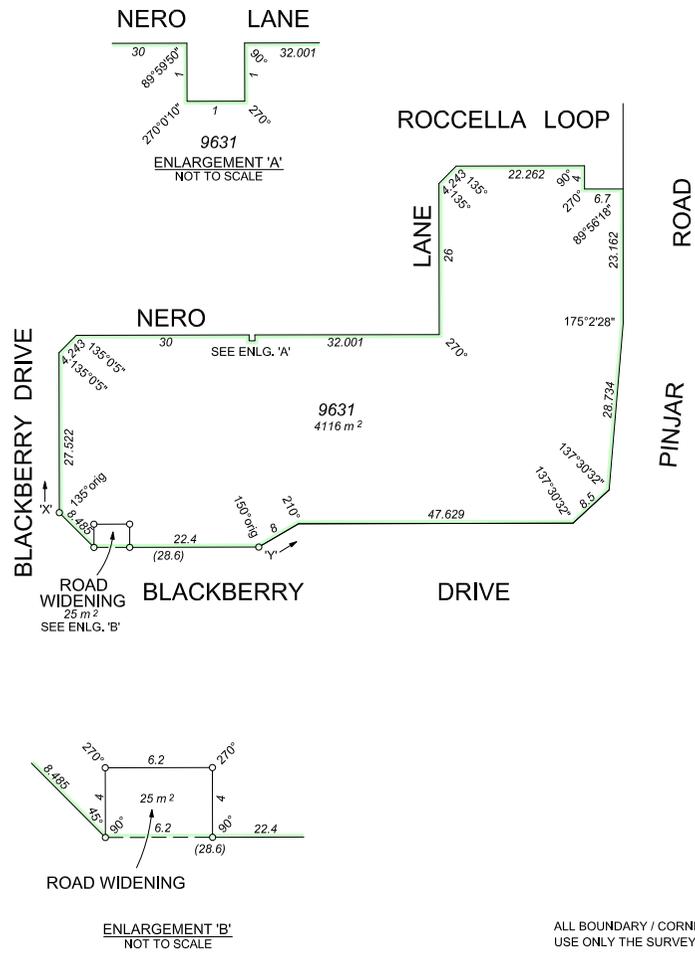
AMENDMENTS TABLE (PLAN GRAPHICS ONLY)			
VER.	AMENDMENT	AUTHORISED BY	DATE

LIMITED IN DEPTH TO 60.96 METRES

Brown McAllister Surveyors | Licensed Surveyors | Engineering Surveyors | Land Development & Strata Consultants |
 Email: admin@brownmcalister.com.au Tel: (08) 9386 9688 Fax: (08) 9386 9677
 43 Broadway, Nedlands WA 6009 Our Ref: 08175_37DP(1) Date: 17/03/2016
 STAGE 6B_PHASE 11

SPECIAL SURVEY AREA SUBDIVISION

TYPE	FREEHOLD	S.S.A. YES
PURPOSE	SUBDIVISION	
PLAN OF	LOTS 9631 AND ROAD WIDENING	
FORMER TENURE	LOT 9630 ON DP406433 C/T 2892/449	
LOCAL AUTHORITY	CITY OF WANNEROO	
LOCALITY	ASHBY	
D.O.L. FILE		
FIELD RECORD	90974 & 101670	
SURVEYOR'S CERTIFICATE - REG 54		
I, PETER HILLE hereby certify that this plan is accurate and is a correct representation of the - (a) "survey; and/or (b) "calculations from measurements recorded in the field records, ("delete if inapplicable) undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged. Peter S. Hill 2016.04.21 14:46:09 +0800 LICENSED SURVEYOR DATE		
LOGGED		
22-Apr-16 DATE	\$337.00 FEE PAID	19305645 ASSESS No.
I.S.C.		
RF	EXAMINED	6.5.2016 DATE
WESTERN AUSTRALIAN PLANNING COMMISSION		
9102-4444-02 FILE	145602	
Delegated under S.16 P&D Act 2005		DATE
IN ORDER FOR DEALINGS		
SUBJECT TO	Section 168(3) P & D Act	
		24-May-16 DATE
FOR INSPECTOR OF PLANS AND SURVEYS		
APPROVED	REG.26A (4)	
INSPECTOR OF PLANS AND SURVEYS (S. 18 Licensed Surveyors Act 1909)		21.6.2016 DATE
		
DEPOSITED PLAN		
406445		
SHEET 1 OF 1 SHEET (PLUS SURVEY SHEET)		
VERSION 1		



ALL BOUNDARY / CORNER SURVEY MARKS SHOWN ON THIS SHEET ARE INDICATIVE ONLY. USE ONLY THE SURVEY SHEET WHEN DETERMINING THE TRUE POSITION AND TYPE OF ALL SURVEY MARKS PLACED PERTAINING TO THIS PLAN. SURVEY CARRIED OUT UNDER REGULATION 26A SPECIAL SURVEY AREA GUIDELINES. SEE SURVEY SHEET FOR SURVEY INFORMATION. ALL DIMENSIONS CLOCKWISE BETWEEN 'X' & 'Y' ARE ORIGINAL.

INTERESTS AND NOTIFICATIONS						
SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS

0 6 12 18 24 30
 SCALE - 1 : 600 AT A2

HELD BY LANDGATE IN DIGITAL FORMAT ONLY

AMENDMENTS TABLE (SURVEY SHEETS ONLY)

VER.	AMENDMENT	AUTHORISED BY	DATE

FOR SURVEY INFORMATION ONLY
SURVEY INFORMATION COMPRISES
SURVEY SHEET

SURVEY CARRIED OUT UNDER REG 26A
SPECIAL SURVEY AREA GUIDELINES
GRID DATUM PCG 94



Brown McAllister Surveyors | Licensed Surveyors | Engineering Surveyors |
| Land Development & Strata Consultants |

Email: admin@brownmcallister.com.au
43 Broadway, Nedlands WA 6009

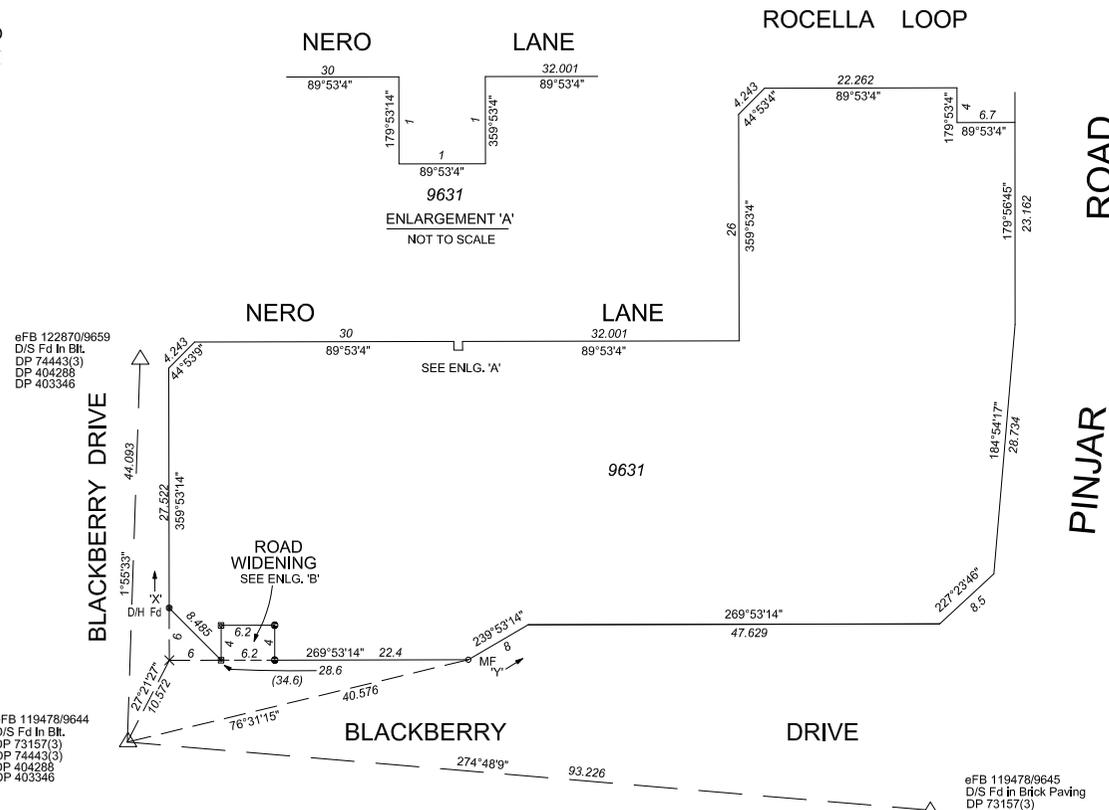
Tel: (08) 9386 9688

Our Ref: 08175_37DP(2)

Fax: (08) 9386 9677

Date: 9/05/2016
STAGE 6B PHASE 11

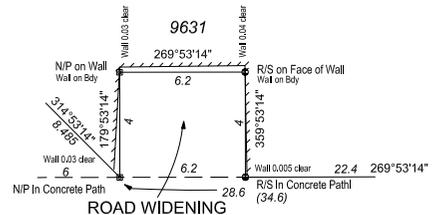
SURVEY SHEET AUDITED
DATE: 15/9/2017 RJH



eFB 122870/9659
D/S Fd In Blt.
DP 74443(3)
DP 404288
DP 403346

eFB 119478/9644
D/S Fd In Blt.
DP 73157(3)
DP 74443(3)
DP 404288
DP 403346

eFB 119478/9645
D/S Fd In Brick Paving
DP 73157(3)
DP 74443(3)
DP 403346



SURVEYOR'S CERTIFICATE - REG 54
I, PETER HILLE
hereby certify that this plan is accurate and is a correct representation of the -
(a) 'survey' and/or
(b) 'calculations from measurements recorded in the field records, if defined if applicable)
undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.

SURVEYOR'S CERTIFICATE - REG 55E(d)
The marks shown on these plans of survey were in place on
6/05/2016

Peter E. Hille
2016.05.09
09:50:00 +
08:00

LICENSED SURVEYOR DATE

- LEGEND**
- △ Permanent Control Mark (PCM)
 - Peg unless stated otherwise
 - Nail and Plate in Limestone Wall (NIP)
 - Ramset Nail (R/S)
 - × Spike
 - Drill Hole
 - ▨ 0.35 High Limestone Wall



DEPOSITED PLAN
406445
SURVEY SHEET
VERSION 1

ALL DIMENSIONS CLOCKWISE BETWEEN 'X' & 'Y' ARE ORIGINAL.

0 5 10 15 20 25

SCALE - 1 : 400 AT A2

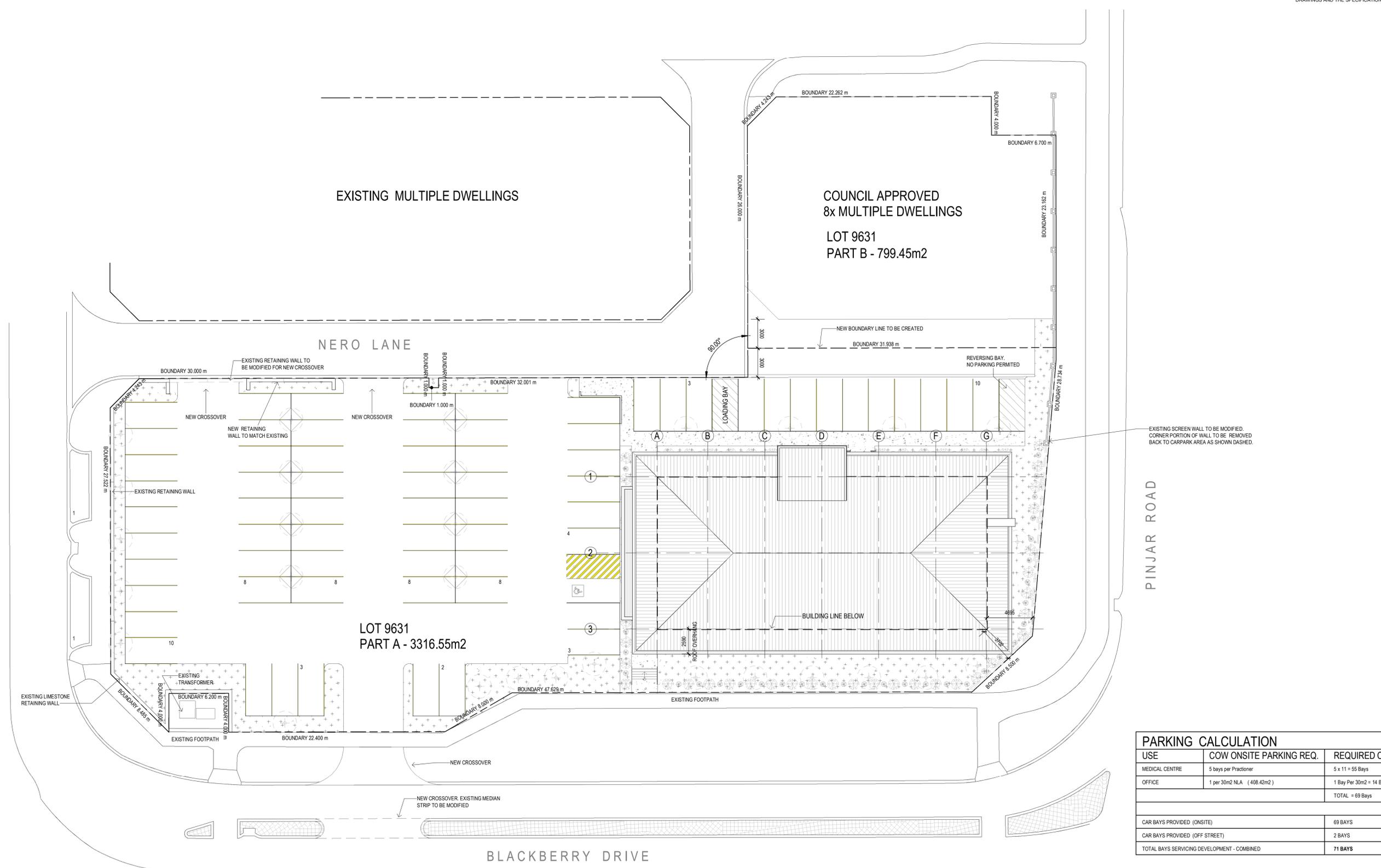
HELD BY LANDGATE IN DIGITAL FORMAT ONLY

LANDGATE COPY OF ORIGINAL NOT TO SCALE Wed Oct 3 09:35:47 2018 JOB 57769418

Appendix 5

Development Plans, Elevations, Perspectives

- GENERAL NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES
 2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 3. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND THE SPECIFICATION



EXISTING SCREEN WALL TO BE MODIFIED. CORNER PORTION OF WALL TO BE REMOVED BACK TO CARPARK AREA AS SHOWN DASHED.

PARKING CALCULATION		
USE	COW ONSITE PARKING REQ.	REQUIRED CARBAYS
MEDICAL CENTRE	5 bays per Practitioner	5 x 11 = 55 Bays
OFFICE	1 per 30m2 NLA (408.42m2)	1 Bay Per 30m2 = 14 Bays
		TOTAL = 69 Bays
CAR BAYS PROVIDED (ONSITE)		69 BAYS
CAR BAYS PROVIDED (OFF STREET)		2 BAYS
TOTAL BAYS SERVICING DEVELOPMENT - COMBINED		71 BAYS

1 SITE PLAN
A401 SCALE: 1:200

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 567 Hay Street DAGLISH WA 6008 | PO Box 849 SUBIACO WA 6904
 T: (08) 9381 6788 | F: (08) 9381 4619 | E: oka@okarch.com.au

Rev.	Date	Issued By	Revision Description
A	13-9-2018		BUILDING FOOTPRINT REVISED
B	20-9-2018		LOADING BAY & PARKING

Project Name
**PROPOSED ASHBY MEDICAL CENTRE,
 Blackberry Drive, Ashby WA 6065 for
 Endeavor Properties PTY LTD**

Drawing Name
SITE AND LOCATION PLAN

Project Number
16096

Drawing No. Rev.
P100 B

Reduction 25mm on A1 | Scale 1:200 | Date Month 2017 | Drawn Author | Checked Checker

- GENERAL NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES.
 2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 3. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND THE SPECIFICATION.

EXISTING SCREEN WALL TO BE MODIFIED. CORNER PORTION OF WALL TO BE REMOVED BACK TO CARPARK AREA AS SHOWN DASHED.



1 FLOOR PLAN
SCALE: 1 : 100



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Rev.	Date	Issued By	Revision Description
A	13-9-2018		BUILDING FOOTPRINT REVISED
B	20-9-2018		LOADING BAY & PARKING

Project Name
PROPOSED ASHBY MEDICAL CENTRE,
Blackberry Drive, Ashby WA 6065 for
Endeavor Properties PTY LTD

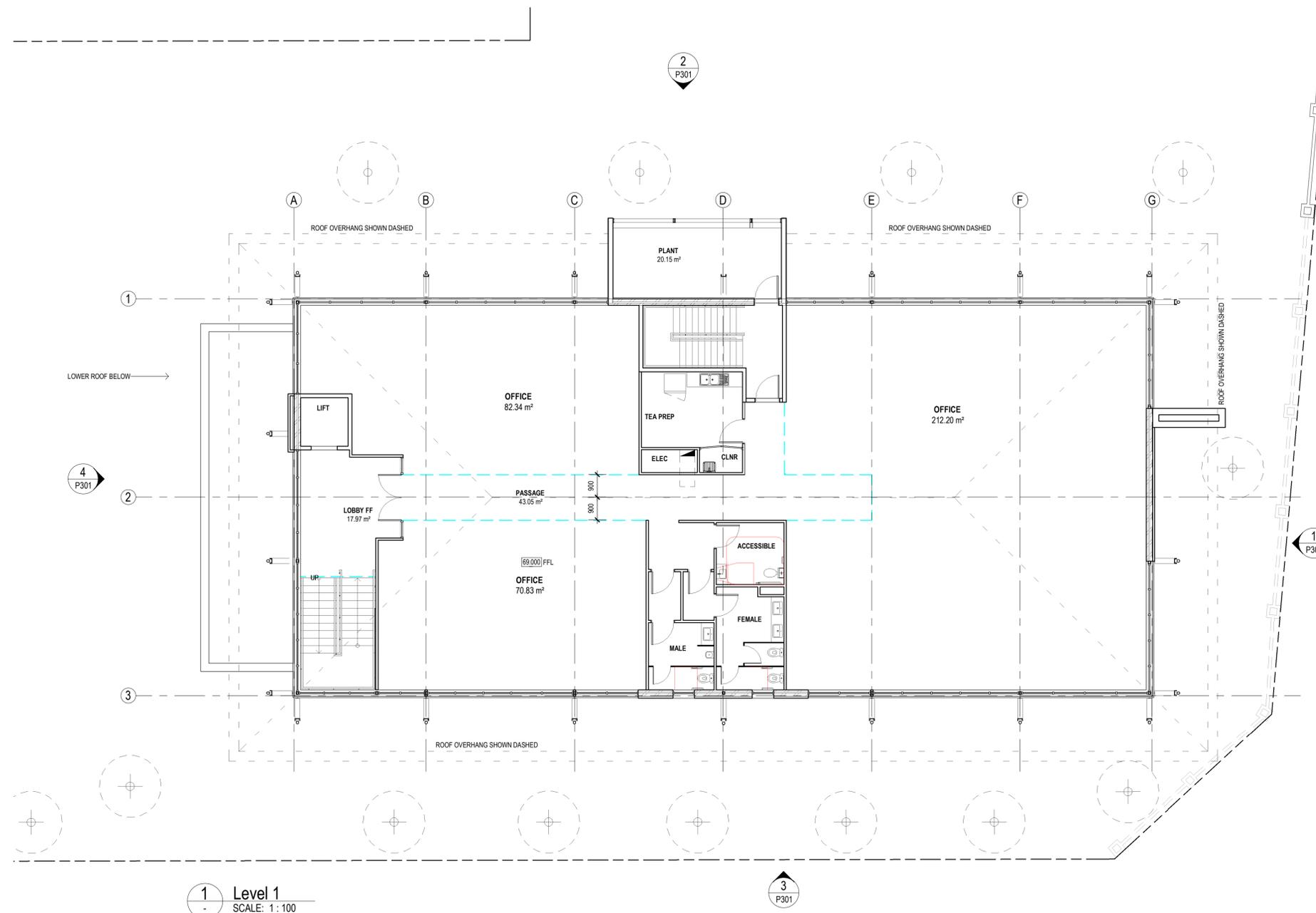
Drawing Name
GROUND FLOOR PLAN

Project Number
16096

Drawing No. **P201**
 Rev. **B**

Reduction 25mm on A1 | Scale 1 : 100 | Date Month 2017 | Drawn Author | Check Checker
 C:\Revit Temp\16096 MC Building_genovese@okarch.com.au.rvt

- GENERAL NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES
 2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 3. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND THE SPECIFICATION



1 Level 1
SCALE: 1 : 100

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Rev.	Date	Issued By	Revision Description
A	13-9-2018		BUILDING FOOTPRINT REVISED

Project Name
**PROPOSED ASHBY MEDICAL CENTRE,
 Blackberry Drive, Ashby WA 6065 for
 Endeavor Properties PTY LTD**

Drawing Name
FIRST FLOOR PLAN

Project Number
16096

Drawing No. Rev.
P202 A

GENERAL NOTES
 1. ALL DIMENSIONS ARE IN MILLIMETRES
 2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 3. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND THE SPECIFICATION



3 SOUTH ELEVATION
 P201 SCALE: 1: 100

BLACK BERRY DRIVE



4 WEST ELEVATION
 P201 SCALE: 1: 100

CARPARK ENTRY



1 EAST ELEVATION
 P201 SCALE: 1: 100

PINJAR ROAD SIDE

EXISTING SCREEN WALL TO BE MODIFIED. CORNER PORTION OF WALL TO BE REMOVED. REFER PLANS FOR EXTENT.



2 NORTH ELEVATION
 P201 SCALE: 1: 100

NERO LANE

GENERAL EXTERIOR WALLS COMBINATION OF EXPOSED FACE BRICK WORK & RENDERED & PAINT FINISHED BRICK WORK

POWDERCOATED ALUMINIUM LOUVRE SCREENING

WIDE PAN COLOBOND ROOF SHEETING

ALL GUTTERING AND ASSOCIATED RAINWATER GOODS COLOBOND FINISH

PAINTED CFC FEATURE BLADE WALL

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Rev.	Date	Issued By	Revision Description
A	13-9-2018		BUILDING FOOTPRINT REVISED
B	20-9-2018		ADDITIONAL NOTES

Project Name
PROPOSED ASHBY MEDICAL CENTRE,
Blackberry Drive, Ashby WA 6065 for
Endeavor Properties PTY LTD

Drawing Name
EXTERNAL ELEVATIONS

Project Number
16096

Drawing No.
P301

Rev.
B

Reduction 25mm on A1 | Scale 1: 100 | Date Month 2017 | Drawn DG | Checked FI

- GENERAL NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES
 2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
 3. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS
 4. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND THE SPECIFICATION



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Rev.	Date	Issued By	Revision Description
A	13-9-2018		BUILDING FOOTPRINT REVISED
B	20-9-2018		LOADING BAY & PARKING

Project Name
**PROPOSED ASHBY MEDICAL CENTRE,
 Blackberry Drive, Ashby WA 6065 for
 Endeavor Properties PTY LTD**

Drawing Name
PERSPECTIVES

Reduction 25mm on A1 | Scale

Project Number
16096

Date

Drawing No.
P101

Month 2017 | Drawn

Rev.
B

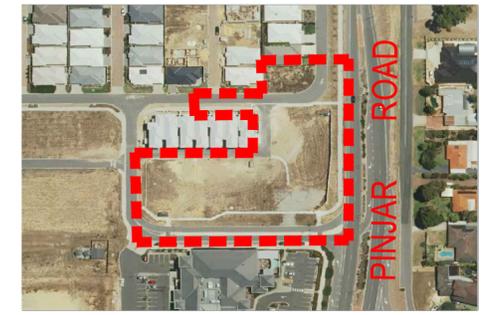
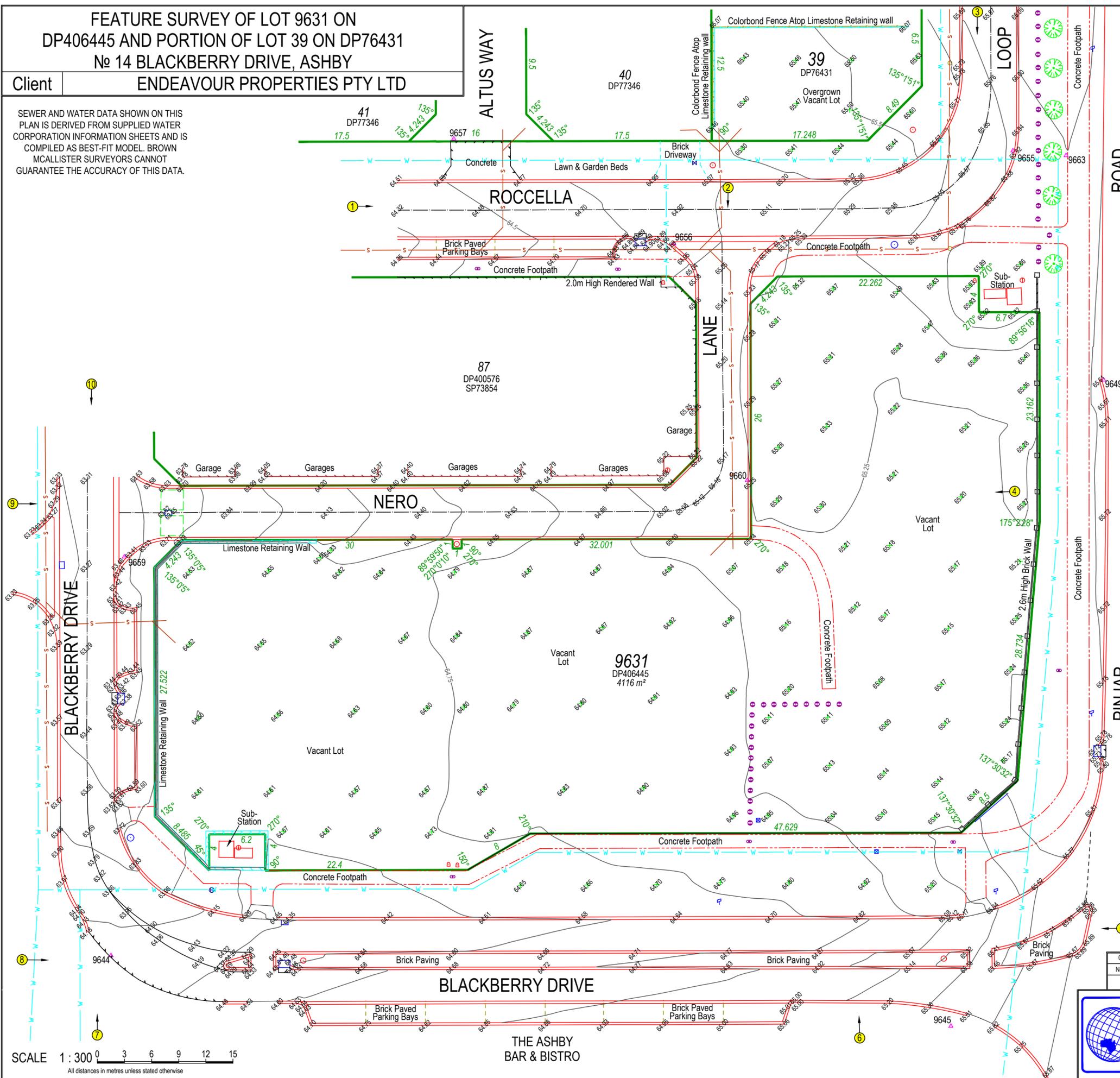
DG | Checked | FI

C:\Revit Temp\16096 MC Building_dgenovese@okarch.com.au.rvt

FEATURE SURVEY OF LOT 9631 ON
DP406445 AND PORTION OF LOT 39 ON DP76431
No 14 BLACKBERRY DRIVE, ASHBY

Client ENDEAVOUR PROPERTIES PTY LTD

SEWER AND WATER DATA SHOWN ON THIS PLAN IS DERIVED FROM SUPPLIED WATER CORPORATION INFORMATION SHEETS AND IS COMPILED AS BEST-FIT MODEL. BROWN McALLISTER SURVEYORS CANNOT GUARANTEE THE ACCURACY OF THIS DATA.



LOCATION PLAN
APPROXIMATE EXTENT OF SUBJECT SITE
2017 AERIAL PHOTOGRAPHY
NOT TO SCALE



LEGEND OF FEATURES

- BOUNDARY
- CONTOUR (INTERVAL OF 0.25m)
- BUILDING / STRUCTURE
- RETAINING WALL
- WALL
- FENCE
- CONCRETE EDGE
- BRICK PAVING
- FOOTPATH
- KERB
- ROAD DASHED LINE MARK
- ROAD SOLID LINE MARK
- ROAD CENTRELINE MARK
- NATURAL SURFACE LEVEL
- SURVEY CONTROL MARK
- ELECTRICAL LIGHT POLE
- EARTH PIT
- POWER DOME
- HYDRANT GROUND
- RETIC CONTROL VALVE
- STOP VALVE
- COMMUNICATION PIT
- SIGN
- BOLLARD
- TREE CANOPY
- W WATER PIPE
- S SEWER PIPE

DATUM
HORIZONTAL - PCG94
VERTICAL - AHD

COPYRIGHT OF ALL THIS PLAN IS RESERVED BY BROWN McALLISTER SURVEYORS AND REMAINS THE PROPERTY OF THE AFOREMENTIONED AND SHALL BE RETURNED UPON REQUEST. USE OF ALL OR PART OF THIS PLAN IS RESTRICTED WITHOUT PRIOR WRITTEN PERMISSION.

ALL AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY AND EXAMINATION. EXISTING BOUNDARY DIMENSIONS AND LOT AREAS HAVE BEEN TAKEN FROM LANDGATE RECORD DP406445.

THE BOUNDARIES WERE NOT RE-ESTABLISHED AS PART OF THIS SURVEY THEREFORE THIS PLAN DOES NOT GUARANTEE THEIR ACCURACY. FIELD INSPECTION IS RECOMMENDED FOR LOCATION OF SERVICES PRIOR TO ANY EXCAVATION.

No.	APPROVED AND ISSUED TO CLIENT	DATE	DRAWN	CHECKED
0	DETAILS	10/11/2017	R.COLELLA	M.WALL

Brown McAllister Surveyors
Licensed Surveyors | Land Development & Strata Consultants | Engineering Surveyors

Email : admin@brownmcallister.com.au Tel: (08) 9386 9688
43 Broadway, Nedlands, Western Australia, 6009 Fax: (08) 9386 9677

SHEET	A2
SURVEYED	M.WALL - 09/11/2017
FIELD NOTES	
DRAWN	R.COLELLA - 10/11/2017
CHECKED	
REFERENCE	08175-42F

SCALE 1 : 300
All distances in metres unless stated otherwise