

# Wanneroo Town Centre

## ACTIVITY CENTRE PLAN NO. 90



Prepared for City of Wanneroo  
Prepared by Taylor Burrell Barnett



# DOCUMENT HISTORY AND STATUS

Wanneroo Town Centre  
Activity Centre Plan No. 90

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17/087-2	BDM	21.11.18

# ENDORSEMENT

This Activity Centre Plan is prepared under the provision of the **City of Wanneroo District Planning Scheme No. 2**

IT IS CERTIFIED THAT THIS ACTIVITY CENTRE PLAN WAS APPROVED BY RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION ON:

..... Date

Signed for and on behalf of the Western Australian Planning Commission:

.....

an officer of the Commission duly authorised by the Commission pursuant to section 16 of the *Planning and Development Act 2005* for that purpose, in the presence of:

..... Witness

..... Date

..... Date of Expiry



# TABLE OF AMENDMENTS

Each time an Activity Centre Plan is amended, the amendment is to be recorded in the table of amendments at the front of the Activity Centre Plan, including the amendment type (minor or major).

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# EXECUTIVE SUMMARY

The Wanneroo Town Centre Activity Centre Plan (ACP) No. 90 is prepared to guide the subdivision and development of land contained within the inner edge of the line denoting the ACP boundary on the ACP map (hereafter referred to as the 'subject land') in accordance with its designation as a 'Secondary Centre' under State Planning Policy 4.2 – Activity Centre for Perth and Peel (SPP 4.2).

The subject land is located:

- Within the municipality of the City of Wanneroo;
- Approximately 23 kilometres (km) north of the Perth Central Business District (CBD), 9 km east of Joondalup; and
- Approximately 4 km east of Mitchell Freeway and 9 km east of Joondalup Train Station.

The subject land encompasses a diverse mix of uses. Land between Dundobar Road and Sinagra Street is characterised by a mix of older buildings along with newer development such as the Wanneroo Central Shopping Centre, Wanneroo GP Super Clinic, Wanneroo Library and Cultural Centre and Aquamotion. Land north of Dundobar Road includes the Wanneroo Civic Centre, St Anthony's School, St Anthony's Catholic Church, Wanneroo Police and a large parcel of land which remains undeveloped as a result of the poultry farm buffer. Land west of Wanneroo Road comprises predominately retail and commercial land uses, in addition to key existing land uses such as Wanneroo Primary School and Wanneroo Showgrounds.

The purpose of this ACP is to facilitate the development of a vibrant, progressive and prosperous town centre by providing a high-level plan that describes, graphically illustrates, and spatially articulates the future built form and allocation of land uses in the town centre. It also considers the provisions of transport and access networks, public open space (POS), design principles, and development controls (such as building height, residential density, car parking and setbacks) to support decision making in relation to subdivision and development.

The ACP proposes development of land for:

- Commercial uses;
- Retail uses;
- Residential purposes comprising a mix of medium and high residential densities;
- Civic and community uses;
- Open Space, including POS, urban spaces and Conservation areas; and
- Access streets.

The subject land is included within the Wanneroo Town Centre Agreed Structure Plan 23 (ASP 23), endorsed in 2001 to guide development within the Wanneroo Town Centre. Following this, in 2012, Local Planning Policy 5.2 – Wanneroo Town Centre (LPP 5.2) was prepared to expand and elaborate on the existing ASP 23 provisions by applying greater control and influence over development outcomes and the quality of built form. This ACP supersedes ASP 23 and LPP 5.2 and will require revoking by the City of Wanneroo (the City) in accordance with Clause 44, Schedule 2, Part 5 and Clause 6, Schedule 2, Part 2 of the Planning and Development (Local Planning Scheme) Regulations 2015 respectively.

TABLE 1: ACTIVITY CENTRE PLAN LAND USE SUMMARY

Item	Data	ACP Ref. (Section No.)
Total area covered by the ACP	86.5981 ha	1.2.3
Area of each land use proposed:	<b>Hectares</b>	3.5
<ul style="list-style-type: none"> <li>Residential</li> <li>Mixed Use</li> <li>Commercial</li> <li>Civic and Cultural</li> <li>Private Clubs / Recreation</li> <li>Public Use: Primary Schools</li> <li>Open Space and Conservation</li> <li>Primary Regional Roads</li> </ul>	25.5961 ha 8.1619 ha 20.2349 ha 1.9262 ha 2.8770 ha 4.5546 ha 15.3120 ha 2.9811 ha	
Estimated No. of Dwellings	2,000 – 3,000	3.5.1
Estimated Residential Site Density & Target	R60	3.5.1
Estimated Population	4,400 – 6,600 (based on 2.2 people per dwelling as per North-West Sub-regional Planning Framework)	3.5.1
No. of High Schools	Nil	3.5.4
No. of Primary Schools	2 existing (including 1 Private Primary School)	3.5.4
Estimated Non-residential Floor Space	145,000 sqm nett lettable area	2.1.3
Estimated area (existing and proposed) and percentage of Open Space and Public Realm given over to:		3.6
<ul style="list-style-type: none"> <li>Conservation</li> <li>Pocket Park</li> <li>Local POS</li> <li>District POS</li> <li>Urban Spaces</li> </ul>	1.4035 ha      1.62% 1.2072 ha      1.39% 1.5304 ha      1.77% 12.9524 ha     14.96% 0.3300 ha      0.38 %	

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# PART ONE IMPLEMENTATION

# 1 ACTIVITY CENTRE PLAN AREA

The Wanneroo Town Centre Activity Centre Plan (ACP) No. 90 shall apply to the Wanneroo Town Centre, being the land contained within the inner edge of the line denoting the ACP boundary on the ACP map (**Plan 1**).

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## 2 OPERATION

This ACP commence operation on the date it is approved by the Western Australian Planning Commission (WAPC).

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### 3 STAGING

The staging of subdivision and development within the ACP will be influenced by a number of factors including:

- Timing for the removal of the poultry farm buffer which currently sterilises the northern portion of the activity centre;
- Collaboration between multiple landowners currently impacted by fragmentation;
- Staged development of Wanneroo Central Shopping Centre; and
- the timing of infrastructure upgrades.

As most of the developable land is fragmented and privately owned, the actual timing and sequence of development will be subject to market demand, individual development intentions and the ability for landowners to work together to achieve development consistent with the ACP.

Land which is less constrained by landownership, such as land owned by Order of the Servants of Mary Inc and Bieson Pty Ltd (Charter Hall), will be more conducive to early development. There are also various freehold parcels of land owned by the City of Wanneroo. The future tenure of this land will need to be considered by Council in line with the ultimate vision and development intent of the land.

Some upgrades to servicing infrastructure will be required to support future development of the subject land, however it is not regarded as an impediment to staging. The timing of these upgrades will be dependent on the rate and intensity of development.

The majority of changes to the road network are not required prior to the commencement of development and will be triggered as redevelopment occurs. The construction of the connection between Conlan Avenue and Rocca Way has occurred which aims to facilitate improved pedestrian and vehicular connectivity and act as a catalyst for redevelopment. Whilst it is understood that the road will ultimately become a dedicated road reserve, the road is presently still under private ownership.

**Table 2** below provides an outline of the key triggers for enabling development within various parts of the ACP area.

TABLE 2: STAGING TRIGGERS

Staging Triggers	Comment
<b>Poultry Farm Area of Influence</b> Land zoned Urban Deferred under the Metropolitan Region Scheme (MRS) and contained within the Poultry Farm buffer as shown on <b>Plan 1</b>	No subdivision or development to be approved until the buffer is removed (and appropriate zoning is in effect) or sufficient justification and amelioration methods are supported.
<b>Environmental referral to Environmental Protection Authority (EPA)</b> Lot 9000 Wanneroo Rd, Sinagra	Landowner to refer proposal to EPA for assessment to ensure that natural assets are protected and management / risk mitigation strategies are being implemented prior to subdivision or development.
<b>Modifications and upgrades to existing roads</b> <ul style="list-style-type: none"> <li>• Cafaggio Crescent</li> <li>• Senario Drive</li> <li>• Yagan Place</li> <li>• Barcoo Close (outside of the ACP area)</li> <li>• Pupil Lane</li> <li>• Public rights-of-way or reciprocal access easements for properties fronting Wanneroo Road and Leach Road</li> <li>• Widening of the Conlan Avenue / Rocca Way road connection at the south-east corner of Lot 63 Conlan Avenue</li> </ul>	Development may be permitted to occur prior to upgrades subject to contribution towards upgrade works in cash or kind (where appropriate).
<b>Transfer of the Conlan Avenue / Rocca Way road connection from private ownership to a dedicated road reserve</b>	Construction of the road connection has occurred and transfer in ownership is also occurring.
<b>Ultimate upgrade of Wanneroo Road</b>	The ultimate upgrade of Wanneroo Road will be undertaken by Main Roads WA (MRWA) in collaboration with the City, including the design of shared and/or rear accessways, pedestrian/cycle environment and crossings. The timeframes for the staging of upgrades is unknown, and will be linked to traffic volumes along the corridor and funding availability.
<b>Land exchange</b> <ul style="list-style-type: none"> <li>• Lots 1 &amp; 2 Ariti Ave, Wanneroo</li> <li>• Lot 58 Leach Rd, Wanneroo</li> <li>• Lot 500 Civic Dr (R47090), Wanneroo</li> <li>• Lot 100 (R48506) Dundebur Rd, Sinagra</li> <li>• Lot 5 (R6058) Dundebur Rd, Wanneroo</li> </ul>	As redevelopment occurs, the City of Wanneroo (the City) to consider the tenure of Crown land and land either owned freehold or vested with the City in order to ensure future development is in accordance with the agreed vision and approved planning framework.
<b>Transit node and public transport routes</b>	Ongoing liaison with state government is essential to ensure integration with East Wanneroo rail link. Public transport infrastructure may attract state and Commonwealth funding.
<b>Transitioning of land uses</b>	Ensure future development within the ACP area is in accordance with the agreed vision and approved planning framework. Consideration should be given to ways in which planning decision making contrary to the vision can be discouraged, until such time the ACP is in place to guide the development.
<b>Public Plaza</b>	As redevelopment occurs, the landowner and the City to enter into a legal agreement prior to redevelopment occurring outlining arrangements to facilitate continued public access over the plaza.
<b>Staged extensions to Wanneroo Central Shopping Centre including decked parking</b>	Dependant on obtaining various approvals, detailed design and market considerations by landowner.

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## 4 SUBDIVISION AND DEVELOPMENT REQUIREMENTS

This ACP comprises the plans outlined below:

- **Plan 1 – Activity Centre Plan Map**  
Outlines the zones, reserves and residential densities applicable within the ACP area.
- **Plan 2 – Building Height Plan**  
Depicts the intended building heights within the ACP area. All development should demonstrate compliance with the Building Height Plan.
- **Part 1, Appendix 1 – Building Typologies**  
Provides a preferred street cross section and built form outcome for each typology.

### 4.1 LAND USE ZONES / RESERVES

The ACP Map (**Plan 1**) outlines the following zones and reserves applicable within the ACP area:

- Residential
- Mixed Use
- Commercial
- Civic and Cultural
- Private Clubs / Recreation
- Parks and Recreation
- Conservation
- Public Use: Primary School
- Primary Regional Roads

Land use permissibility within the ACP area shall be in accordance with the corresponding zone or reserve under the City of Wanneroo District Planning Scheme (DPS 2). Acceptable and not preferred land uses for land designated 'commercial' and 'mixed use' within the ACP are listed in **Tables 2 & 3**. Until such time as the land use tables are incorporated or normalised into DPS 2, when considering discretionary uses ("A" or "D") under the zoning table, the City will have regard to **Tables 2 & 3** and the objectives outlined within DPS 2 and tailored below for this ACP for each zone as they relate to land use.

#### 4.1.1 RESIDENTIAL

The Residential zone is intended to offer variety in living opportunities in a form and density appropriate to the activity centre context, while ensuring a suitable transition to the existing and future medium density residential areas adjacent the WTC.

The objectives of the Residential zone are to:

- Maximise the urban infill opportunity through dwelling density and diversity.
- Support high quality built form outcomes that enhance and contribute to the activation and vibrancy of the public realm throughout the WTC.
- Ensure the built form responds to the pedestrian scale, natural topography and urban character of the centre and contributes positively to the public realm and the identity of the centre.

#### Dwelling Target

Objective: To provide for a minimum residential density of R60 within the Residential zone of the ACP area.

## Density

**Plan 1** defines R-Codings that apply to different areas within the Residential zone of the ACP as follows:

- R60 – transitioning towards existing residential densities adjacent the centre
- R100 – generally located within 400m of the centre

## Housing Diversity

DPS 2 provides the opportunity for grouped and multiple dwellings to be provided to support the provision of housing diversity within the ACP. LPP 3.1 places emphasis on increasing housing choice within close proximity to retail and employment centres in a form consistent with the form of residential developed envisaged within the Commercial, Mixed Use and Residential zones of this ACP.

Diversity may be achieved via a variety of elements including dwelling size, design, cost or ownership structure to accommodate different household types and composition. Diversity may also be distributed within the subject land in a number of ways, for example, mixing different products within buildings or designation of a particular zone, development site or a building within a site for a particular residential typology. The diversity of dwelling types throughout the ACP area is to be addressed further through development applications. Illustrations of possible building typologies are provided at **Part 1, Appendix 1** and provide an example of ways in which housing diversity can be achieved.

### 4.1.2 MIXED USE

The Mixed Use zone is intended to promote a mix of land uses around the 'civic heart', possible future transit node and Wanneroo Central Shopping Centre to generate a broader economic base and optimise the sharing of facilities and infrastructure.

The objectives of the Mixed Use zone are to:

- a) Develop robust buildings that are capable of adapting to a mix of land uses and intensification over time.
- b) Enable primarily high density residential development, with non-residential development at ground level.
- c) Facilitate a sustainable mixed-use environment where a variety of land uses can co-exist.
- d) Provide for housing opportunities and goods/services to the local community through the creation of mixed-use environments.
- e) Act as a transition between the WTC and the surrounding existing residential neighbourhoods to reduce the potential for land use conflict.

## Density

**Plan 1** defines R-Codings that apply to different areas within the Mixed Use zone of the ACP as follows:

- R60 - transitioning towards existing residential densities adjacent the centre
- 'R-AC3' – adjacent to centre

## Housing Diversity

The diversity of dwelling types within the Mixed Use zone of the ACP area will be predominately grouped and single dwellings.

### 4.1.3 COMMERCIAL

The Commercial zone is intended to provide an attractive and vibrant precinct with a broad range of commercial, office, retail and entertainment uses, whilst accommodating high density residential development above the commercial/retail activity.

The objectives of the Commercial zone are to:



- a) Facilitate the development of a retail core which is well integrated with the Rocca Way, the possible future transit node and the remainder of the centre.
- b) Maximise convenience retail/food and beverage tenancies in close proximity to Rocca Way and key pedestrian connections
- c) Encourage developments that accommodate a mix of land uses that provide an appropriate balance of day and night activity.
- d) Non-residential land uses shall be provided on the ground floor to activate the street frontage and facilitate employment opportunities.
- e) Ensure non-residential development is compatible in scale with adjoining residential land uses and maintains appropriate levels of amenity and privacy to adjoining dwellings.
- f) Facilitate commercial development opportunities that contribute to economic development and place activation.
- g) Develop robust buildings that are capable of adapting to a mix of land uses and intensification over time.

### Density

**Plan 1** defines R-Codings that apply to different areas within the Commercial zone of the ACP as follows:

- 'R-AC1'
- 'R-AC3'

### Housing Diversity

The diversity of dwelling types within the Commercial zone of the ACP area will be predominately multiple dwellings. Single and grouped dwellings are identified as not preferred land uses within the Commercial zone.

#### 4.1.4 CIVIC AND CULTURAL

The Civic and Cultural zone is intended to enhance the current civic presence within the centre, acknowledging the agricultural history of the area.

The objectives of the Civic and Cultural zone are to:

- a) Ensure existing and future civic uses have a stronger presence and role in the life of the centre.
- b) Aim to consolidate civic and community uses along Dundobar Road, and in close proximity to retail and entertainment uses.

#### 4.1.5 PRIVATE CLUBS / RECREATION

The Private Clubs / Recreation zone accommodates St Anthony's School. Community facilities such as schools are increasingly important for community development. As such, **Plan 1** facilitates and protects this existing use.

#### 4.1.6 PUBLIC USE: PRIMARY SCHOOLS

Existing education facilities within the ACP area include the Wanneroo Primary School (Kindergarten to Year 6 Independent Public School) and St Anthony's School (Pre-Kindergarten to Year 6 Private Catholic School).

Based on the estimated lot and population yields for the subject land and given the location of two primary schools (one public school and one private school) within the ACP area, development of the subject land does not generate the need for additional education facilities to service the locality.

#### 4.1.7 PARKS AND RECREATION

The provision of a minimum 10% POS being provided in accordance with WAPC's LN and the City of Wanneroo Local Planning Policy 4.3: Public Open Space.

POS is to be provided generally in accordance with **Plan 1**. An updated POS schedule is to be provided at the time of subdivision for determination by the WAPC, upon advice from the City.

POS provision on **Plan 1** may be varied subject to:

- a) The minimum 10% being provided.
- b) Suitable justification being provided by the proponent for the variation based on the design principles of LN and to the satisfaction of the City/DPLH.
- c) Consideration of conservation and tree preservation requirements.

#### 4.1.8 MOVEMENT NETWORK

Access shall be provided generally in accordance with **Plan 1** and highlighted below:

- a) Arrangements are to be made to the satisfaction of the City/WAPC for:
  - a) The provision of road widenings to Wanneroo Road, Senario Drive, Caffagio Crescent, Yagan Place, Conlan Avenue, Barcoo Place, Pupil Lane, as detailed within this report;
  - b) Rationalisation of crossovers along Wanneroo Road as redevelopment occurs and alternative access can be determined;
  - c) The provision and development of 'Main Street' for the portion of Rocca Way and Conlan Avenue between Wanneroo and Dunbar Road;
  - d) Upgrade of existing roads to include parking embayments, high quality landscaping, street furniture and pedestrian facilities to reflect an inner urban street character. It is noted that landowners may be entitled to seek reimbursement from other landowners abutting these road reserves in accordance with Part 10 Division 4 of the Planning and Development Act 2005;
  - e) The provision of public rights-of-way or reciprocal access easements extending between side streets are to be provided entirely within the properties fronting Wanneroo Road, to service those properties. These accessways are to provide the opportunity for access to properties fronting Leach Road;
  - f) The provision of new roads and key pedestrian connections in accordance with **Plan 1** and the Traffic and Transport Management Strategy;
  - g) The provision of green links as shown on **Plan 1**. The green links shall include a 3.0m shared path and street tree planting. Where the green link forms part of a road reserve, the width from a kerbline (on-street parking and/or carriageway) to the property boundary shall be a minimum of 9.0m. The verge width is to accommodate tree planting on each side of the shared path. The City may require the verge width and the road reserve width to be increased where retention of existing trees is required. The design of any public space along the green link is to accommodate a dedicated corridor for the shared path and trees.
- b) The City has identified two sites for the possible location of Transit Nodes to accommodate the terminus of the East Wanneroo rail link. Prior to considering the development potential of these sites further discussion is required with the City to determine implications. The City may require the preparation of a LDP and other detailed planning and design controls.

## 4.2 LAND USE PERMISSIBILITY

Land use permissibility within the ACP area shall be in accordance with the corresponding zone or reserve under the City of Wanneroo DPS 2. Acceptable and not preferred land uses for discretionary uses (“D” or “A”) as listed under Table 1 – The Zoning Table of DPS 2 within the Commercial and Mixed-Use Zones are listed in the tables below.

Until such time as the land use tables are incorporated or normalised into DPS 2, when considering discretionary uses under the zoning table, the City will have regard to **Tables 3 & 4** and the objectives for each zone as they relate to land use.

Uses listed in the Land Use table are defined in *Schedule 2: Land Use Definitions* of DPS 2.

### 4.2.1 COMMERCIAL ZONE

TABLE 3 - LAND USE TABLE - COMMERCIAL ZONE

Acceptable Uses	Not Preferred Uses
Aged or Dependent Persons’ Dwelling	Car Wash
Amusement Facility / Parlour	Drive-Through Food Outlet
Ancillary Accommodation	Funeral Parlour
Auction Room	Grouped Dwelling
Bakery	Plant Nursery
Caretaker’s Dwelling	Residential Building
Child Care Centre	Restricted Premises
Cinema	Road House
Civic Building	Service Station
Department Store	Single House
Display Home Centre	Vehicle Sales / Hire Premises
Hall	
Hospital	
Hotel	
Kindergarten	
Laundry	
Liquor Store	
Market (Retail)	
Mast or Antenna	
Motel	
Multiple Dwelling	
Night Club	
Nursing Home	
Park	
Place of Assembly	
Place of Worship	
Private Recreation	
Public Exhibition Facility	
Recreation Centre	
Retirement Village	
Stall – General	
Take-Away Food Outlet	
Tavern	
Telecommunications Infrastructure	
Veterinary Hospital	

## 4.2.2 MIXED USE ZONE

TABLE 4 - LAND USE TABLE - MIXED USE ZONE

Acceptable Uses	Not Preferred Uses
Aged or Dependent Persons' Dwelling	Auction Room
Ancillary Accommodation	Place of Assembly
Art Gallery	Private Recreation
Bakery	Public Exhibition Facility
Car Park	Reception Centre
Caretaker's Dwelling	Recreation Centre
Child Care Centre	
Civic Building	
Convenience Store	
Costume Hire	
Display Home Centre	
Educational Establishment	
Grouped Dwelling	
Hall	
Kindergarten	
Mast or Antenna	
Multiple Dwelling	
Nursing Home	
Park	
Pharmacy	
Place of Worship	
Residential Building	
Restaurant	
Retirement Village	
Single House	
Stall – General	

## 4.3 GENERAL DEVELOPMENT REQUIREMENTS

Development within the subject land shall be generally in accordance with the standards and requirements of DPS 2, having regard to the provisions contained within this ACP.

Proposed variations to the standards and requirements of DPS 2 or the provisions of this ACP are to be outlined within a development application and will be considered by the Responsible Authority with due regard to the intent and purpose of the standards.

These general development requirements apply to all development within the ACP.

### 4.3.1 NON-RESIDENTIAL FLOORSPACE

- The non-residential floorspace (NLA) for the ACP shall not exceed 150,000 sqm.
- In order to realise the potential of the ACP area as a 'Secondary' centre and applying the principles of economic activation, development applications shall ensure that the current level of non-residential floorspace is maintained across the ACP area as a whole.

### 4.3.2 BUILDING TYPOLOGIES

#### 4.3.2.1.1 Building Heights

- Residential and mixed-use development within the subject land shall comply with the maximum building height requirements as set out in the R-Codes.

- b) For non-residential development, maximum building heights within the ACP area are to be in accordance with the ranges identified on **Plan 2**.

#### 4.3.2.1.2 Building Typologies and Cross Sections

- a) Preferred street cross sections and built form outcomes have been prepared for possible building typologies as detailed in **Part 1, Appendix 1**. The building typologies and cross sections provide indicative illustrations of possible built form outcomes based on the development standards contained within this ACP, development requirements of DPS 2 and the R-Codes.

#### 4.3.3 PLOT RATIO

- a) Residential and mixed-use development within the subject land shall comply with the maximum plot ratio requirements as set out in the R-Codes.
- b) For land within the Commercial zone, the requirement for a minimum non-residential land use plot ratio of 0.5 applies.

#### 4.3.4 CAR PARKING

- a) Car parking within the ACP area is to be provided in accordance with the Table 5 below having regard to the intent of the Traffic and Transport Management Strategy contained at Appendix 2.
- b) The City encourages innovative approaches to car parking provision, such as reciprocity and unbundling of parking (i.e. made available for general use of either residential or non-residential uses representing unallocated communal parking bays).
- c) Mixed use development should also be required, as a condition of Development Approval, to prepare a Car Parking Strategy that addresses the management of parking, including:
- Total parking mix proposed in comparison to current requirements.
  - Current on-street parking supply and use within 200m of front door of development.
  - Implications for trip generation and impact of development site.
  - Retention of visitor bays.
  - Provision or enhancement of End of Trip (EOT) and bicycle parking facilities.

TABLE 5 - MAXIMUM NON-RESIDENTIAL CAR PARKING RATIOS

Use Class	Parking Requirements (maximum)
Non-residential uses	3.5 car bays per 100m <sup>2</sup> of gross floor area

- a) The maximum parking requirements as outlined above will take effect once the requirements have been incorporated or normalised into DPS 2. Where no rate is provided for the use proposed, reference is to be made to the rates contained in DPS 2.
- b) Parking should be located to the rear of developments, out of view of surrounding streets and sleeved by development. Some at-grade parking directly adjoining shops and businesses may be appropriate, however should not dominate, or detrimentally impact, the streetscape.

#### 4.3.5 INTERIM LAND USES

- a) For the purposes of this ACP, an 'interim land use' is defined as:

***'A land use that is permissible within the prescribed zone, but because of its nature, scale, form or intensity, is not an appropriate long-term use of the land within the ACP area.'***

Council may determine to approve an 'interim land use' and associated development within the ACP area, subject to the following:

- a) The applicant shall demonstrate that any building or structure associated with the interim use:
  - i. contributes to the public realm;
  - ii. incorporates built form structurally capable of vertical intensification over time; and
  - iii. forms part of a large staged built form strategy; or
  - iv. the internal floor space and tenancy configuration is adaptable and capable of accommodating active ground floor uses or more employment generating land uses over time; or
  - v. be easily removed from the site and the site appropriately remediated to the City's satisfaction; or
  - vi. be appropriately adapted to suit a permanent use that is to the satisfaction of the City; and
- b) The City may impose a condition stating that the approval period for interim development is to be a maximum of 20 years, which may be renewed or extended by a further 10 years where deemed appropriate by the City.

#### 4.3.6 SITES OF SIGNIFICANCE

- a) The St Anthony's Catholic Church and Wanneroo Showgrounds shall not be altered, modified or removed without the prior approval of the City through an official application to demolish, Approval to Commence Development or subdivision approval issued by the WAPC.
- b) The retention of St Anthony's Catholic Church in its current form and location is the most desirable method of preservation, and notwithstanding the provisions of DPS 2 and this ACP, the building may at the discretion of the City be utilised for alternative land uses. Any proposal to modify or remove the structure should be further considered by the City on its merits with due consideration for the most effective method of ensuring the preservation of its historical significance. The applicant shall be required to undertake a formal heritage assessment of the site as a prerequisite to any consideration by the City of a proposal to modify / remove the structure.

### 4.4 BUILT FORM DEVELOPMENT STANDARDS – COMMERCIAL AND MIXED USE ZONES

#### 4.4.1 DEVELOPMENT STANDARDS FOR RESIDENTIAL AND MIXED-USE DEVELOPMENT

- a) In relation to residential and mixed-use development, the standards or requirements of the relevant R-Code (as shown on **Plan 1**) and the provisions, standards or requirements of this ACP and DPS 2 apply, unless varied by **Table 6**.

#### 4.4.2 DEVELOPMENT STANDARDS WITHIN THE COMMERCIAL AND MIXED USE ZONES

The following development standards have been established to ensure that the ACP area is developed in a comprehensive and integrated manner having regard to desired character, preferred land uses, residential density, built form and public realm principles.

- a) The aim is to create great quality buildings that provide an excellent contribution to the character, amenity and enjoyment of the WTC experience. Part of the intent for these development controls is to enable new building development in the ACP area to focus on a higher quality of materials and architectural design applied to building massing and forms that are uncomplicated in their design and simpler to deliver.
- b) **Table 6** outlines the standards for non-residential development within the Commercial and Mixed Use zones of the ACP area. The development standards shall be read in conjunction with the standards of DPS 2 and R-Codes.

**TABLE 6 - DEVELOPMENT STANDARDS WITHIN THE COMMERCIAL AND MIXED USE ZONES**

ELEMENT	REQUIREMENT
<b>1.0 Building Setbacks</b>	1.1 Commercial Zone (RAC-1 and RAC-3): Mandatory nil setback applies to the ground floor front façade of buildings fronting the streets, except to provide a forecourt, colonnade,



	<p>indentation, building articulation, alfresco dining, or other feature that adds amenity and interest to the streetscape.</p> <p>1.2 Mixed Use Zone (RAC-3): A minimum nil setback and maximum 2.0m setback applies to the ground floor front façade of buildings fronting the streets, except to provide a forecourt, colonnade, indentation, building articulation, alfresco dining, or other feature that adds amenity and interest to the streetscape.</p> <p>1.3 Commercial Zone (RAC-1 and RAC-3) and Mixed Use Zone (RAC-3): For buildings of three-storeys height and above, a 3.0m minimum setback equivalent to the dimension of the building frontage to a street, public space and/or urban space shall be applied to one or more levels above the ground floor level. The extent of the upper level setback can be greater than the relevant building frontage dimension, and can be distributed across multiple levels above ground floor level. The minimum width of an upper level setback space shall be 5.0m. Refer to <b>Part 1, Appendix 1</b> Commercial Zone (RAC-1 and RAC-3) and Mixed Use Zone (RAC-3) Upper Level Setbacks.</p> <p>1.4 Mixed Use Zone (R60): For lots abutting Leach Avenue, the R60 code setbacks will apply.</p> <p>1.5 Except for the provision of vehicle access, pedestrian access and building articulation, buildings shall be developed from side boundary to side boundary to provide continuity of facades to the street. The focus is for buildings to address the adjacent public realm environment.</p>
<b>2.0 Heights</b>	<p>2.1 The minimum height for single-storey buildings is 4.0m to the bottom of the eaves, or 5.0m to the top of a front parapet wall.</p> <p>2.2 For buildings with residential land uses, maximum heights are to be in accordance with Residential Design Codes of WA and/or Design WA.</p>
<b>3.0 Landmark and Corner Sites</b>	<p>3.1 Buildings at public realm corners should be expressed differently from other parts of the building. Employ architectural design to create landmark buildings that emphasise key view-line locations, corners and building entrances to increase legibility of the town centre via:</p> <ul style="list-style-type: none"> <li>• Architectural roof features that protrude above the normal roof line;</li> <li>• Increased parapet heights with additional detail, colour and textures; and/or</li> <li>• Provision of an additional storey at the street corner.</li> </ul> <p>3.2 The provision of a mature tree at landmark and corner locations can also be contemplated by the City, which could include the recessing of the building to provide room for the tree.</p>
<b>4.0 Facades</b>	<p>4.1 Utilise an architectural treatment that breaks down building mass to provide visual relief through building structure, cladding and glazing.</p> <p>4.2 A minimum 50% glazing shall be achieved at ground level on any façade to the street front.</p> <p>4.3 The design of buildings taller than three storeys is to provide differentiation between the base, middle and top parts of the building.</p> <p>4.4 On the second storey and subsequent storeys above, building facades shall be articulated to break-up straight plain facades using a combination of the following:</p> <ul style="list-style-type: none"> <li>• Openings;</li> <li>• Protruding or indented balconies;</li> <li>• Awnings or sun shading devices over all windows;</li> <li>• Use of different colours and textures; and</li> <li>• Indentations and extrusions with details to break the building into individual elements.</li> </ul> <p>4.5 Blank walls shall not be visible from the public realm, unless abutting a side boundary where it is anticipated that another building will eventually be constructed to screen the wall. In such instances, architectural treatments shall be installed on the portions of the wall visible from the public domain.</p> <p>4.6 Parking on upper levels shall either be sleeved behind habitable development or presented with openings and/or façade treatments commensurate with the design intent of openings on other levels.</p>
<b>5.0 Parapets</b>	<p>5.1 Buildings that contain parapets shall include indentations and additional modulation.</p>

<b>6.0 Weather Protection</b>	<p>6.1 A weather-protecting awning shall be provided along the edge of any part of a building that abuts a pedestrian footpath and/or public space. The minimum dimensions are:</p> <ul style="list-style-type: none"> <li>• 2.5 metres in depth; and</li> <li>• 3.6 metres in height above footpath.</li> </ul>
<b>7.0 Access and Car Parking</b>	<p>7.1 Optimise the opportunities for active street frontages and streetscape design by:</p> <ul style="list-style-type: none"> <li>• Making vehicle access points as narrow as possible;</li> <li>• Limiting the number of vehicle accessways; and</li> <li>• Locating car park entry and access from secondary streets and lanes.</li> </ul> <p>7.2 Parking areas shall generally be set behind the development away from the street or screened from the street where appropriate.</p> <p>7.3 Where a development orients to more than one street, the City may permit at grade parking to the secondary street(s) where it is softened by landscaping, contributes to streetscape amenity and retains the architectural quality of the development.</p> <p>7.4 Multi-storey car parks shall be designed so they are not readily identifiable from the street and are not to adversely impact on the streetscape.</p> <p>7.5 At-grade uncovered parking bays shall be landscaped with shade trees at a rate of one tree per four car bays.</p>
<b>8.0 Ground Floor and Active Street Frontages</b>	<p>8.1 Non-residential land uses shall be provided on the ground floor to activate the street frontage and facilitate employment opportunities.</p> <p>8.2 Tenancies with dual frontages to the public realm and an internal mall shall be designed with doors and windows to both frontages.</p> <p>8.3 50% of the tenancy frontage presenting to the street shall be transparent and clear glazing and shall not be blocked by signage.</p> <p>8.4 Floor to floor heights on the ground floor retail and commercial tenancies shall be a minimum of 3.5m.</p> <p>8.5 Retail tenancies abutting a street or public space shall typically be in the 6.0m - 10.0m wide range for the majority, and are not to exceed these widths except if they are suitably articulated and have window displays that allow visual transparency to the tenancy beyond.</p> <p>8.6 Dedicated entries to commercial, residential and other non-retail uses at upper floors are to be incorporated into the design of the ground floor.</p>
<b>9.0 Amenity</b>	<p>9.1 Loading docks and service areas within development sites shall be screened visually and acoustically from residential units.</p> <p>9.2 Odour producing servicing elements (for example, waste compactors and storage) shall be suitably located or designed and treated in a manner that does not impose unacceptably on residential amenity in a mixed-use building.</p> <p>9.3 Extraction vents from odour producing uses shall be suitably located or designed and treated in a manner that does not impose unacceptably on residential amenity in a mixed-use building.</p> <p>9.4 Bin storage areas shall be screened from the street and provide a clear method for refuse disposal.</p> <p>9.5 TV antennae, satellite dishes and radio masts shall be located discretely and setback from the building edge to reduce visibility from ground level or screened.</p> <p>9.6 Roof and wall mounted air conditioning units are not permitted unless fully concealed from view. Where air conditioning units are located within balconies, they shall be screened from view in a manner that has regard for the overall design of the building. Noise impact to adjacent dwellings shall also be considered and managed.</p> <p>9.7 A waste management and disposal plan should be prepared for all developments.</p> <p>9.8 Developments are to incorporate design principles of CPTED.</p> <p>9.9 Developments should be designed to engage with and activate the public realm, particularly at ground level.</p> <p>9.10 Proposed pedestrian access ways shall provide adequate lighting and natural surveillance to meet the CPTED guidelines for safety.</p> <p>9.11 Private areas for the sole use of occupants shall be clearly demarcated from the public domain.</p>

<b>10.0 Adaptability</b>	<p>10.1 In considering whether a building is capable of adaptive re-use, the City will have regard to the:</p> <ul style="list-style-type: none"> <li>• use of load bearing columns and walls;</li> <li>• location of service cores and stairs; and</li> <li>• the number of openings to the primary street.</li> </ul>
<b>11.0 Landscaping</b>	<p>11.1 Landscaping for non-residential developments is to be provided in accordance with DPS 2 provisions unless it can be demonstrated that the reduction in landscaping will help meet other design provisions.</p>

#### 4.4.3 OPPORTUNITY SITES

- a) Opportunity sites have been identified on Plan 1. These sites have been identified in response to priority view lines, reinforce the public realm and/or arrangement of built form to define surrounding spaces.
- b) A LDP shall be prepared and approved by the City prior to a development application being considered for any site identified as an opportunity site. Design excellence is required in terms of quality, articulation of the facade, proportion, scale and massing, material selection and detailing as outlined in **Table 6**.

# 5 OTHER REQUIREMENTS

## 5.1 SCHEME AMENDMENT

A Scheme Amendment will be required to ensure that the existing 'Centre' zoning under DPS 2 reflects the proposed zoning as outlined within **Plan 1**.

In order to have the force and effect of the Scheme, the land use tables provided at Section 4.2 will be incorporated into DPS 2 (Schedule 16), via a scheme amendment. With respect to parking requirements for the ACP area, the table provided at Section 4.3.4 will be incorporated into DPS 2, via a scheme amendment also.

## 5.2 REVOCATION OF AGREED STRUCTURE PLAN 23 & LOCAL PLANNING POLICY 5.2

This ACP includes the built form and public realm requirements relating to the subject land within the ACP and as such, it is recommended that the City revoke Wanneroo Town Centre Agreed Structure Plan 23 (ASP 23) and Local Planning Policy 5.2 – Wanneroo Town Centre (LPP 5.2) in accordance with Clause 44, Schedule 2, Part 5 and Clause 6, Schedule 2, Part 2 of the Planning and Development (Local Planning Scheme) Regulations 2015 respectively.

A thorough review of ASP 23 and LPP 5.2 has been undertaken to ensure that all necessary requirements have been transferred over to this ACP, including additional requirements where deemed necessary in order to ensure an appropriate built form outcome is achieved and consistent with the original vision, objectives and intent of LPP 5.2. This approach has been determined acknowledging the requirements of SPP 4.2 with regards to the requirement for the preparation of an ACP for secondary centres and Planning and Development (Local Planning Scheme) Regulations 2015.

## 5.3 DEVELOPMENT CONTRIBUTION PLAN

The portion of the Wanneroo Town Centre located to the north of Dundobar Road as shown on the East Wanneroo Cell 2 (Sinagra) - Agreed Structure Plan No. 4 where developer contributions towards essential infrastructure are required. Further information in regard to landowner obligations can be obtained through reference to East Wanneroo Cell 2 (Sinagra) - Agreed Structure Plan No. 4 and the relevant provisions of DPS 2, including the provision of POS.

## 5.4 LOCAL DEVELOPMENT PLAN

A LDP shall be prepared and approved by Council prior to a development application being considered for any site identified as an opportunity site and/or future transit node as identified on **Plan 1**. A LDP may also be required and approved by Council prior to a development application being considered for any site within the Commercial and Mixed Use zones of the ACP area and is required to address the matters listed in Clause 48 of the Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015.

LDPs are to be consistent with the principles of the ACP provisions, guided by clear objectives and design principles.

## 5.5 BUSHFIRE MANAGEMENT

This ACP is supported by a Bushfire Management Plan (BMP), which is contained at **Appendix 3**.

Where appropriate, development will have due regard to the Bushfire Attack Level (BAL) Assessment contained in this Report and be determined in accordance with Schedule 2, Part 10A of the Planning and Development Regulations 2015 and section 6.3 of SPP 3.7 Planning in Bushfire Prone Areas (SPP 3.7).

Where a subdivision application includes land with a BAL of 12.5 or greater, the City shall recommend to the WAPC that a condition be imposed on the grant of subdivision approval for a notification to be placed on the Certificate of Title advising that the land is located within a bushfire prone area and may be subject to a BMP.

## 5.6 ENVIRONMENTAL MANAGEMENT

Where Matters of National Environmental Significance (MNES) values (such as black cockatoo habitat or vegetation representative of the Banksia Woodland Threatened Ecological Community (TEC)) are proposed to be impacted to facilitate development, individual proponents should consider their obligations for potential referral under the EP Act and EPBC Act. The extent of vegetation proposed to be cleared, as well as any impact avoidance, mitigation or offset commitments are to be determined by individual proponents to support this approvals process.

Following formal environmental assessment by the EPA, the areas of environmental significance identified by the EPA as part of its Bulletin will be reserved for 'Parks and Recreation' for conservation purposes. The EPA Bulletin will outline the required area for conservation purposes and the requirement for the preparation and implementation of a Reserve Management Plan (or similar) and Fauna Relocation Plan (or similar) will be included as a condition of any future subdivision approval incorporating this land. The Reserve Management Plan should guide the establishment of the proposed conservation POS area and the ongoing management of fauna habitat, flora and vegetation values within it. The aim of the Fauna Relocation Plan should be to appropriately manage the fauna habitat clearing process such that direct impacts to fauna species are avoided.

## 5.7 HERITAGE ASSESSMENT

### 5.7.1 ABORIGINAL HERITAGE

No Registered Aboriginal Sites are known to occur within the subject land. Three Other Heritage Places are mapped within the subject land but do not meet the definition of a Registered Aboriginal Site for the purpose of the Aboriginal Heritage Act 1972, and as such are not afforded statutory protection under the Act.

However, northern areas of the subject land supporting remnant vegetation could potentially contain Aboriginal heritage values such as modified trees or surface expressions of cultural material, given there has been limited disturbance to the natural environment and given significant Aboriginal heritage values are known to occur in the wider locality. As such, one of the recommendations of the desktop assessment is to consider commissioning an Aboriginal heritage archaeological survey of these native bushland areas.

### 5.7.2 NON-INDIGENOUS HERITAGE

Eight places are listed in the City of Wanneroo Local Heritage Survey (2016) occur within the subject land. Three of these listed places are also listed on the City of Wanneroo Scheme Heritage List, and as such, are afforded statutory protection under the Heritage of Western Australia Act 1990 and the Deemed Provisions of DPS 2.

Proponents of future subdivision and/or development proposals which may impact upon identified heritage places may be required to undertake heritage assessments at discretion of the City. In addition, such proposals would also require planning approval (for heritage considerations), in addition to referral to the Heritage Council of WA (Department of Planning, Lands, and Heritage) and public consultation.

## 5.8 NOISE ATTENUATION

For noise-sensitive development located adjacent to Wanneroo Road, an acoustic assessment shall be undertaken and included as part of any subdivision or development application to demonstrate that the proposed design will meet the internal noise level requirements of SPP 5.4 Road and Rail Transport Noise and Freight Considerations in Land Use Planning (SPP 5.4).

In accordance with SPP 5.4 a notification shall be required to be placed on the Certificate of Title for lots where dwellings are exposed to traffic noise that exceeds the outdoor "Noise Target" as defined in SPP 5.4.

## 5.9 POULTRY FARM – AREA OF INFLUENCE

Whilst it is generally intended that land uses within the area affected by the poultry farm buffer will be guided by the ACP, prior to the City issuing a use or development approval, or, giving subdivision support to an application within the buffer, justification and design consideration is required by the City / WAPC, including mapping of the location of the proposed sensitive use/s and identification of amelioration methods to be employed.

## 5.10 WATER CORPORATION WATER RETICULATION INFRASTRUCTURE

A 1,000 mm diameter water distribution trunk main is located on the northern boundary of the ACP area. This main is currently contained within a 5m wide easement. Any future development will need to consider this easement (and infrastructure) or relocation within a road reserve.

DRAFT



## 6 ADDITIONAL INFORMATION

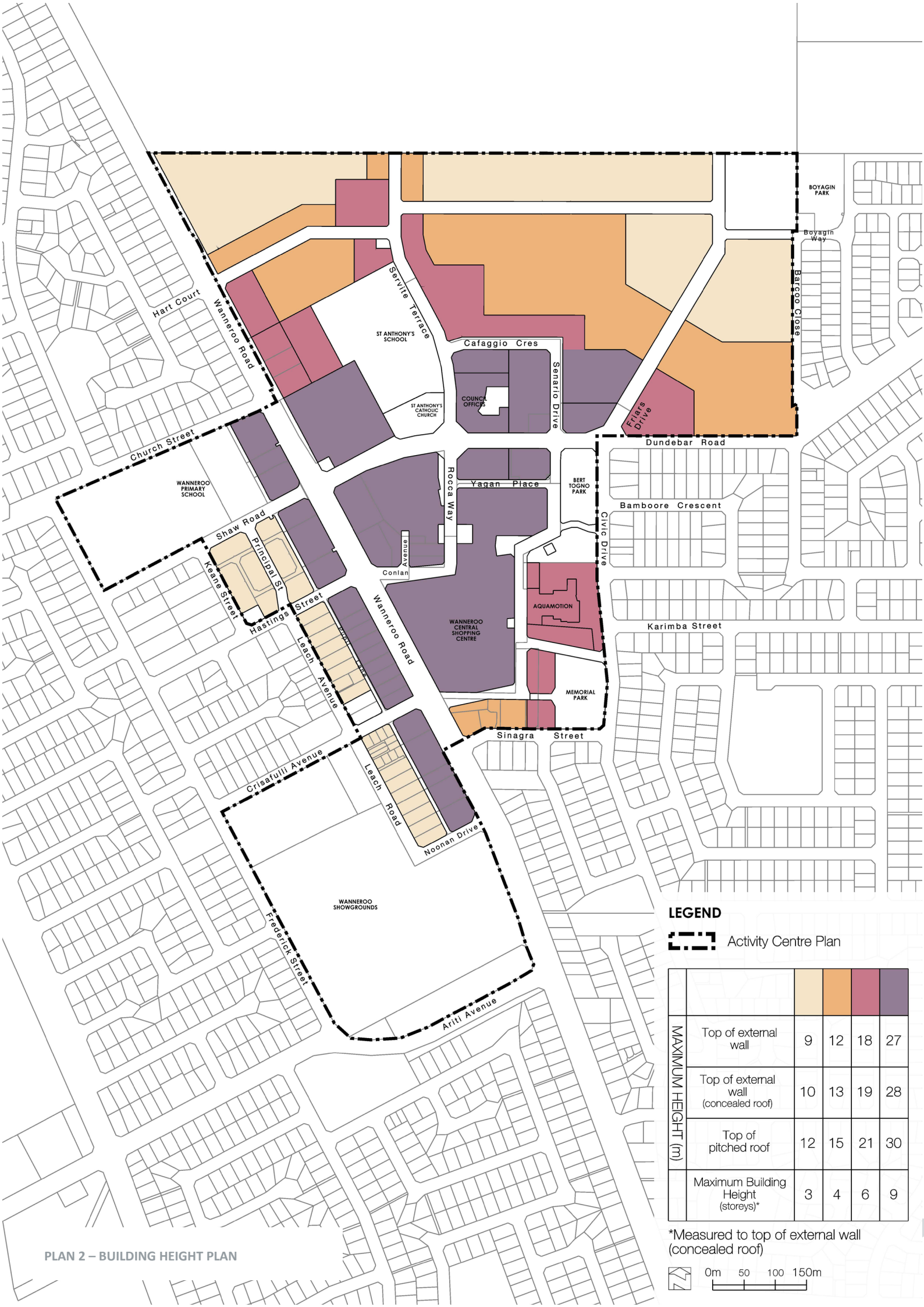
**Table 7** below outlines additional information that will be required to be addressed at future approval stages. Additional information requirements may not be limited to those listed; the City or WAPC may require other information in relation to particular proposals:

TABLE 7 - ADDITIONAL INFORMATION REQUIREMENTS

Additional Information	Approval Stage	Approving Authority
<b>Water Management</b>		
Local Water Management Strategy (LWMS)	Documented in ACP and to be considered as part of ACP process Implementation as part of UWMP	WAPC, City, DWER
Urban Water Management Plan (UWMP)	Condition of subdivision	WAPC, City, DWER
<b>Environment</b>		
Reserve Management Plan (or similar)	Condition of subdivision	WAPC, City, OEPA
Fauna Relocation Plan (or similar)	Condition of subdivision	WAPC, City, OEPA
Fire Management Plan	Condition of subdivision	WAPC, City
Landscape Management Plan	Condition of subdivision	City
Heritage Assessment	Condition of planning approval	DPLH (Heritage Council of WA)
Acoustic Report (Noise Attenuation)	Condition of planning approval	City
Identification and protection of vegetation worthy of protection	Condition of subdivision	WAPC, City
<b>Engineering</b>		
Servicing Report	Documented in ACP Condition of subdivision	City, Water Corp, Western Power, ATCO Gas
Transport Assessment Report	Documented in ACP	WAPC, City
Geotechnical	Condition of subdivision	City
<b>Economy</b>		
Economic, Retail and Employment Strategy	Documented in ACP	WAPC, City
<b>Other</b>		
Residential Density Code Plan	Prior to subdivision approval	WAPC
Local Development Plan(s)	Condition of subdivision if deemed necessary by City	City











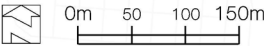
PLAN 2 – BUILDING HEIGHT PLAN

LEGEND

 Activity Centre Plan

					
MAXIMUM HEIGHT (m)	Top of external wall	9	12	18	27
	Top of external wall (concealed roof)	10	13	19	28
	Top of pitched roof	12	15	21	30
	Maximum Building Height (storeys)*	3	4	6	9


\*Measured to top of external wall (concealed roof)







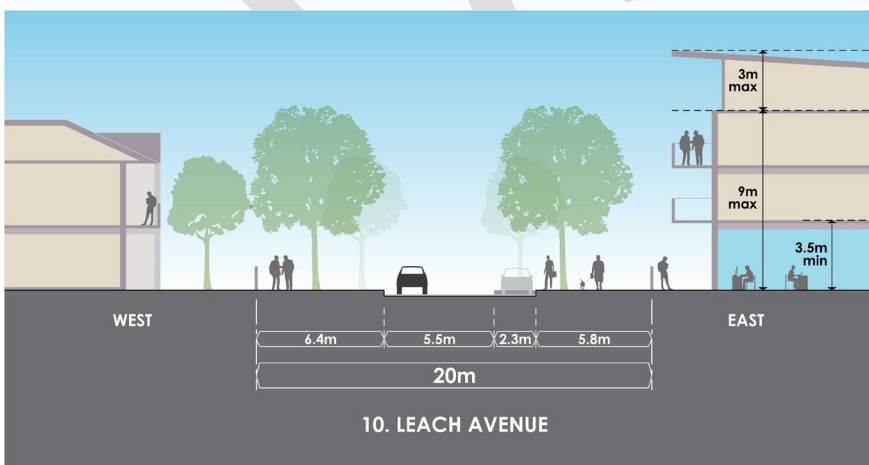
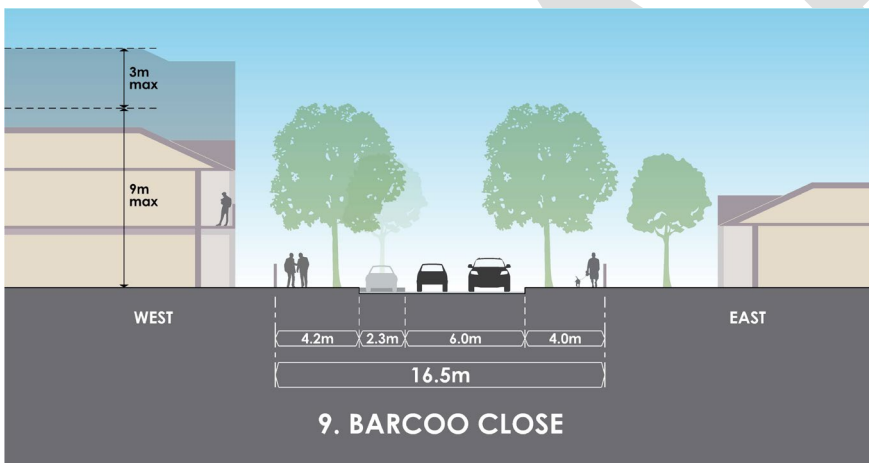
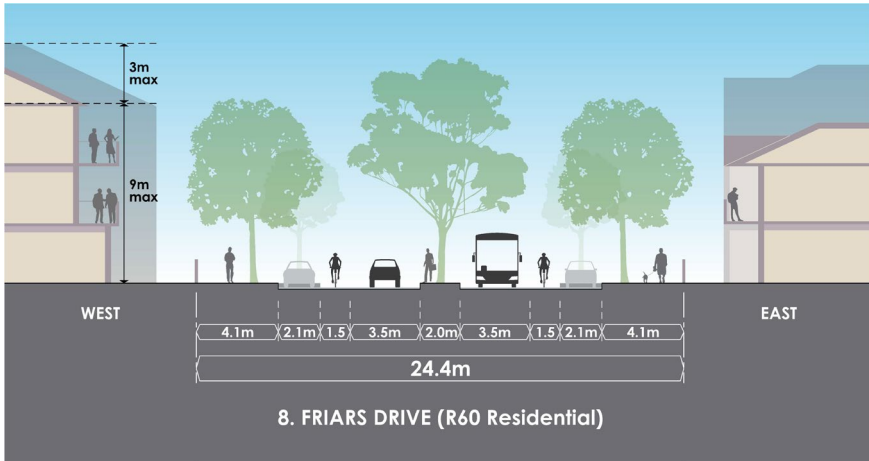


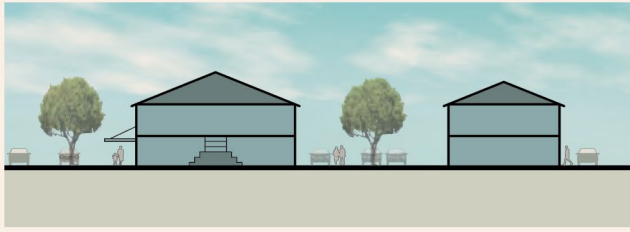


# PART ONE – APPENDIX 1 BUILDING TYPOLOGIES AND STREETSCAPE CROSS SECTIONS

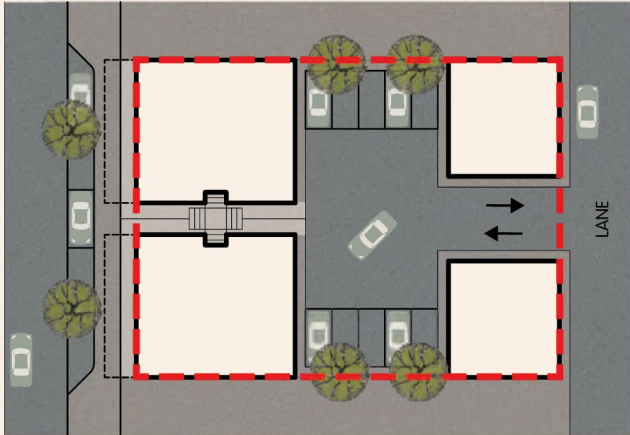
## RESIDENTIAL ZONE (R60) AND MIXED USE ZONE (R60)

### INDICATIVE STREETScape CHARACTERISTICS

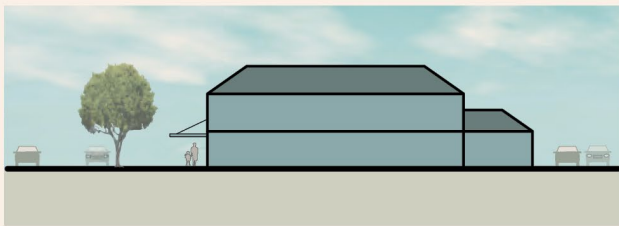
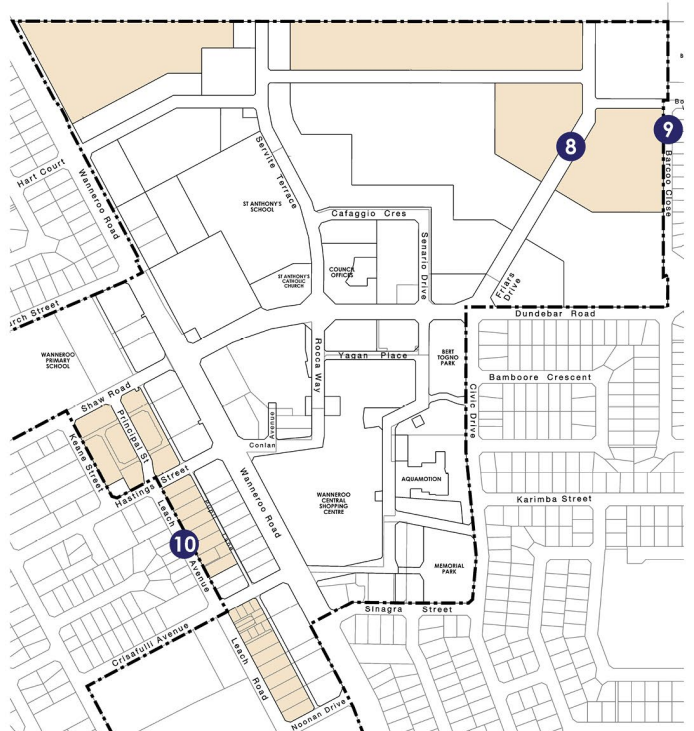




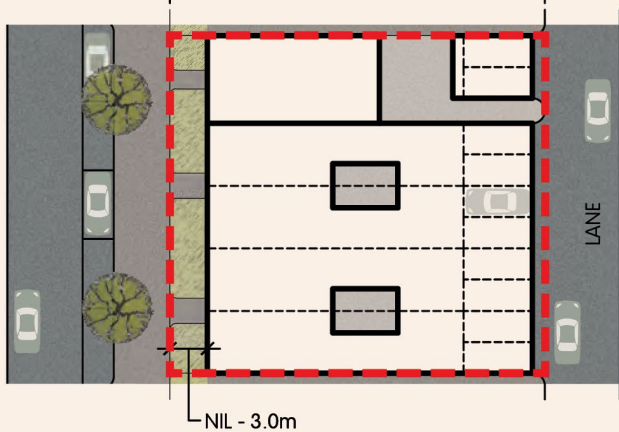
35m - 40m



*Building Typology - Mixed Use Compound*



30m



*Building Typology - Mixed Use Terrace*

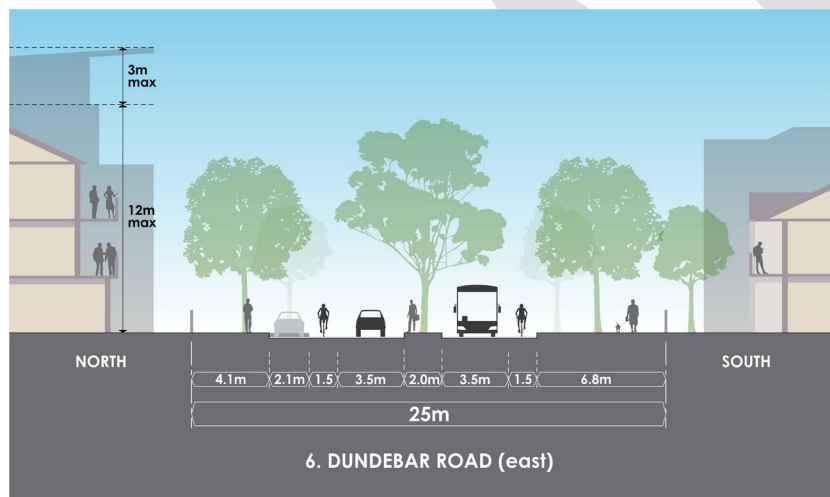
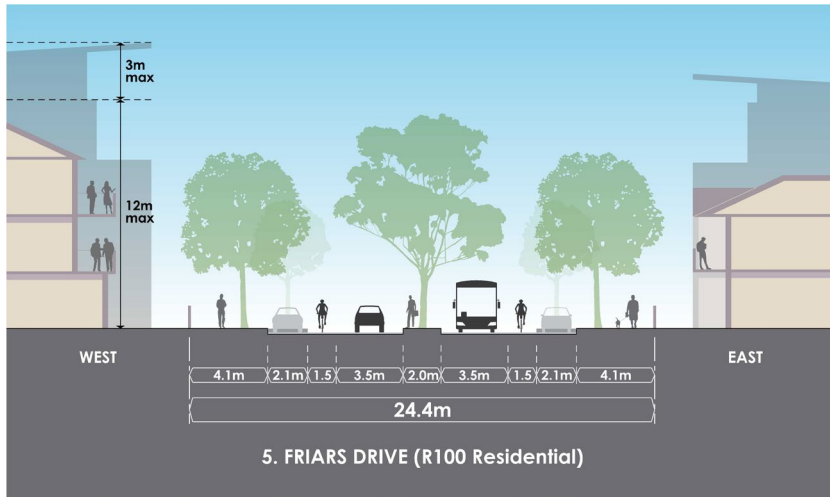


(Original source: Alkimos City Centre ACP; Roberts Day)

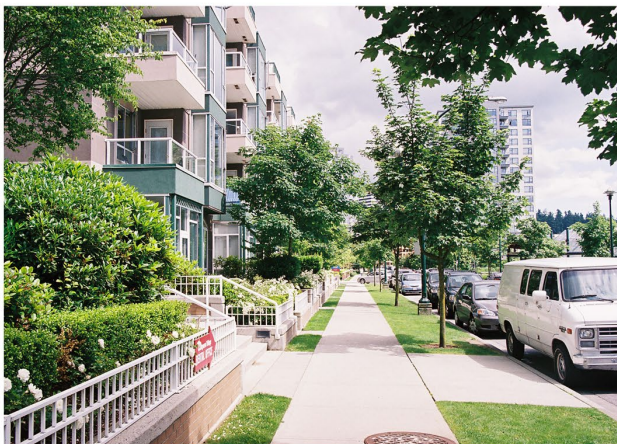
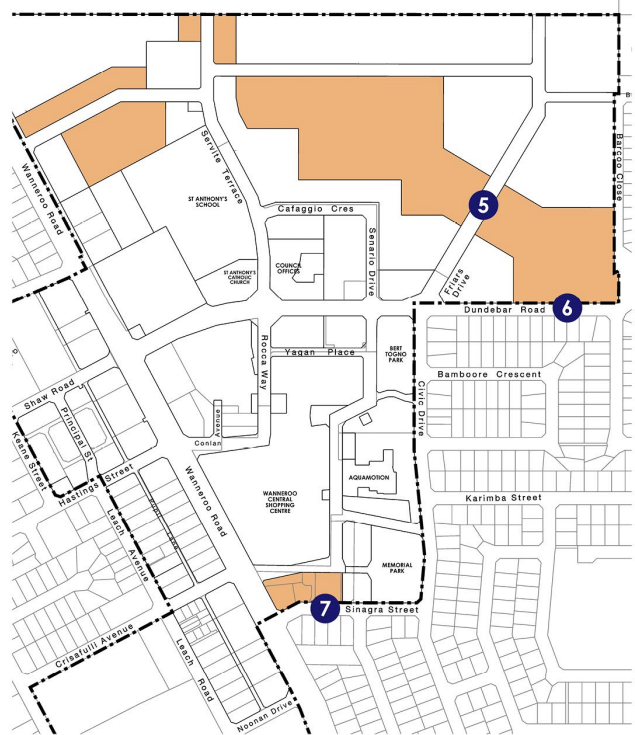


## RESIDENTIAL ZONE (R100)

### INDICATIVE STREETScape CHARACTERISTICS

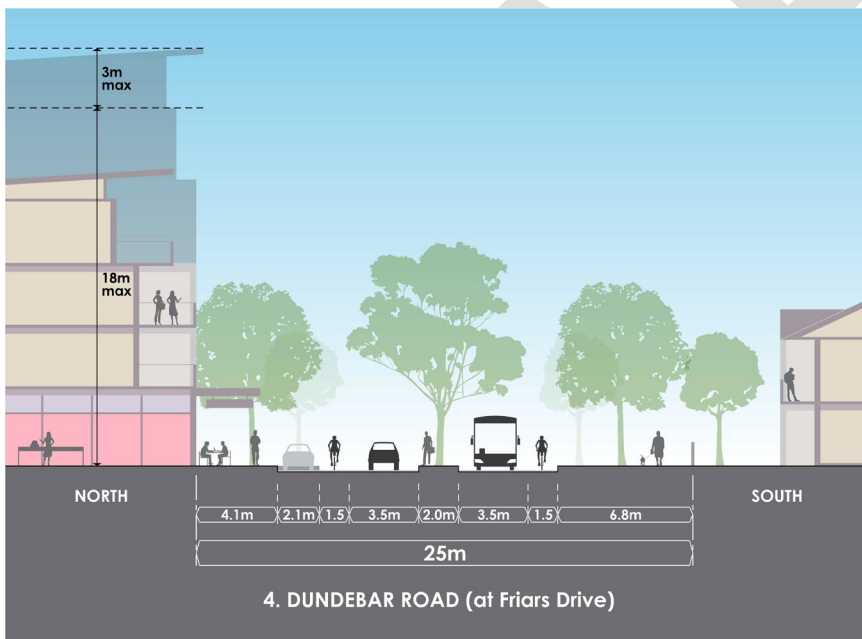
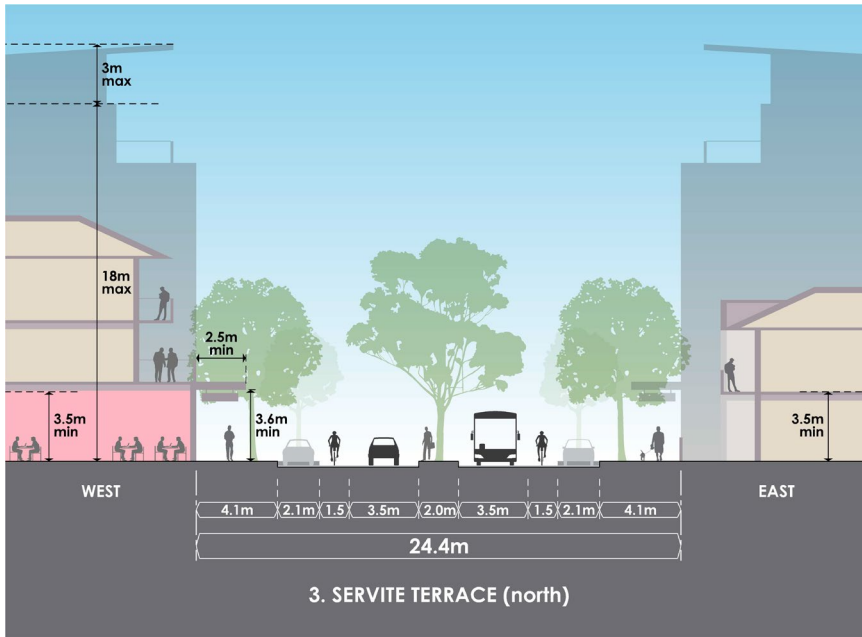


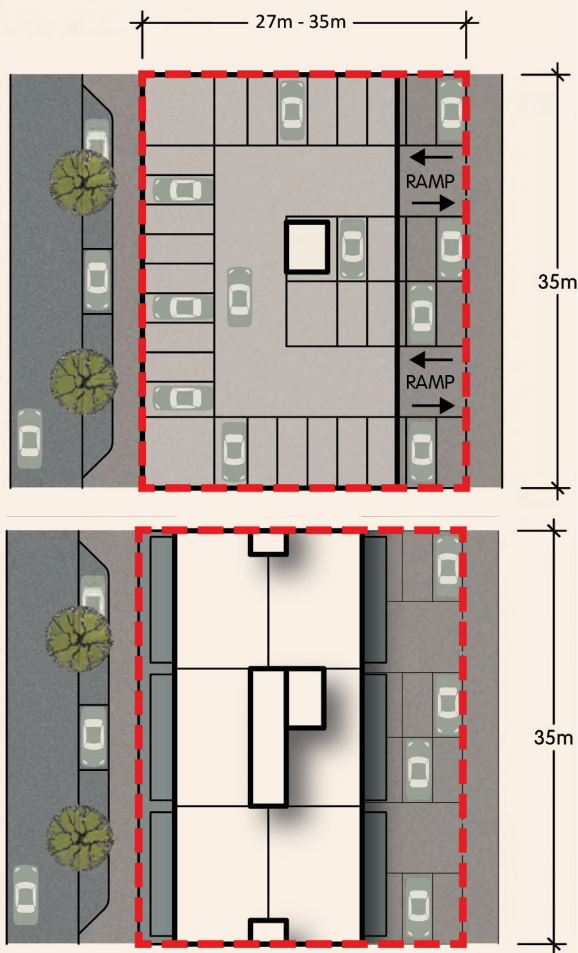
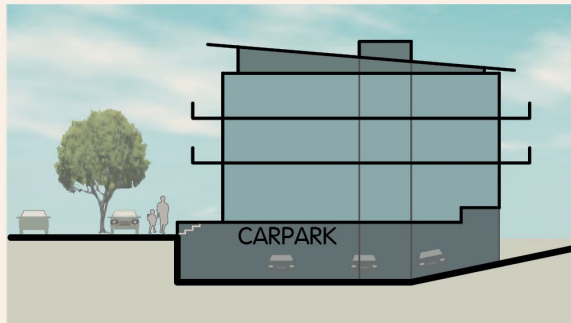






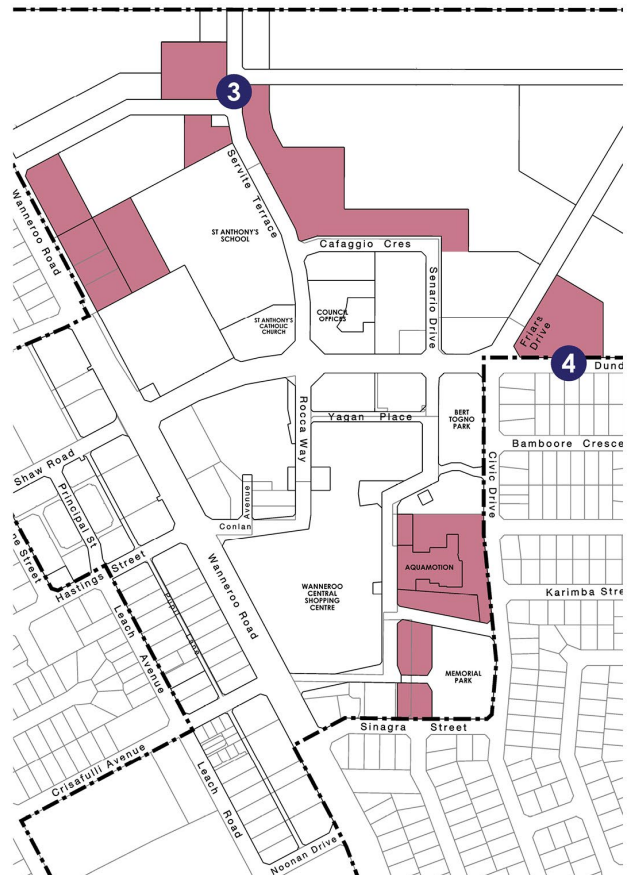
## COMMERCIAL ZONE AND MIXED USE ZONE (RAC-3)





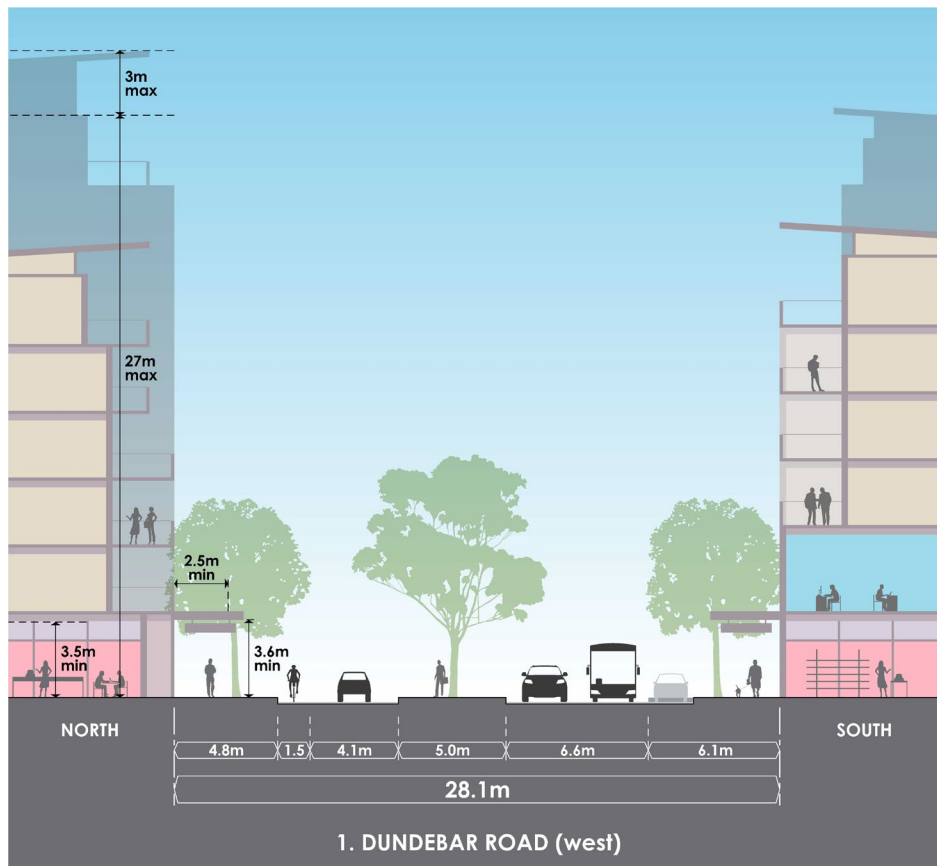
*Building Typology - Mixed Use Shallow Lot*

(Original source: Alkimos City Centre ACP; Roberts Day)

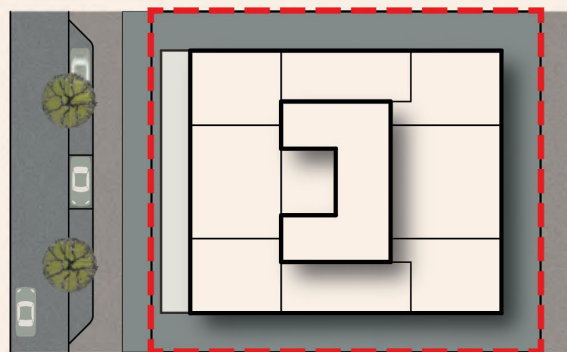
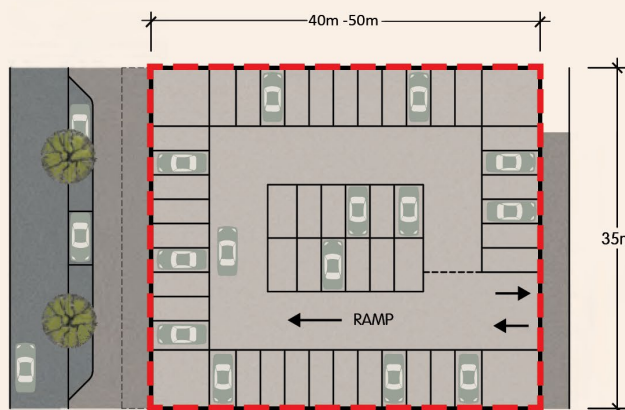
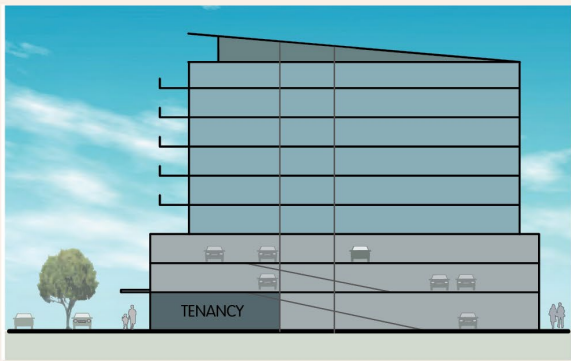


## COMMERCIAL ZONE (RAC-1)

### INDICATIVE STREETSCAPE CHARACTERISTICS

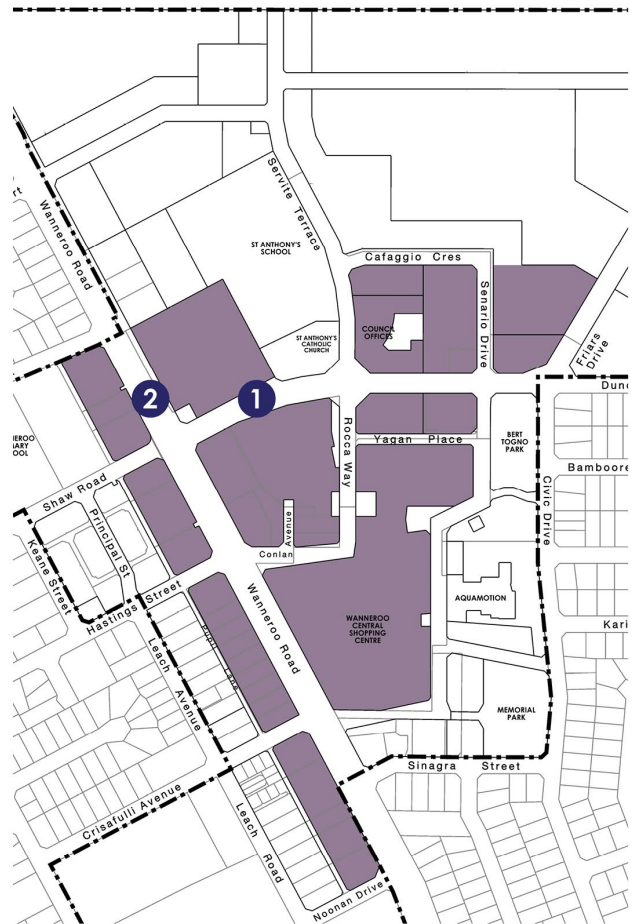






*Building Typology - Mixed Use Landmark Sites*

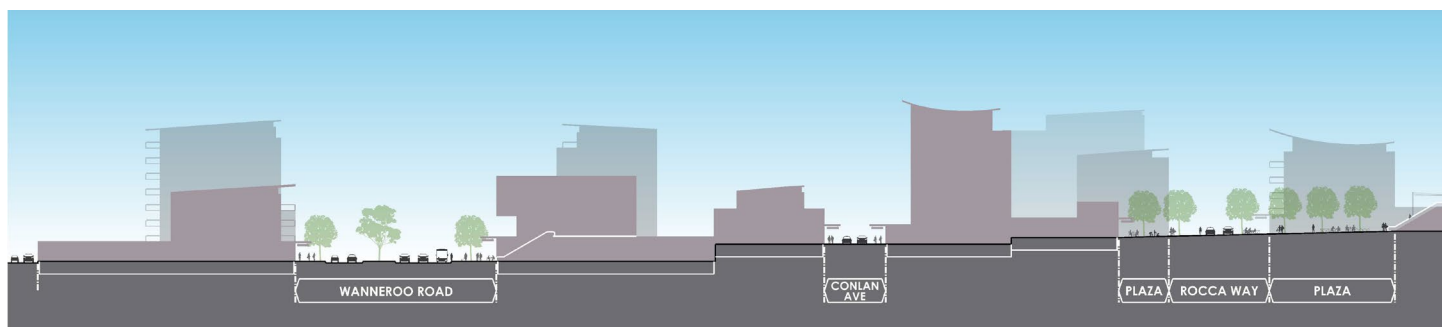
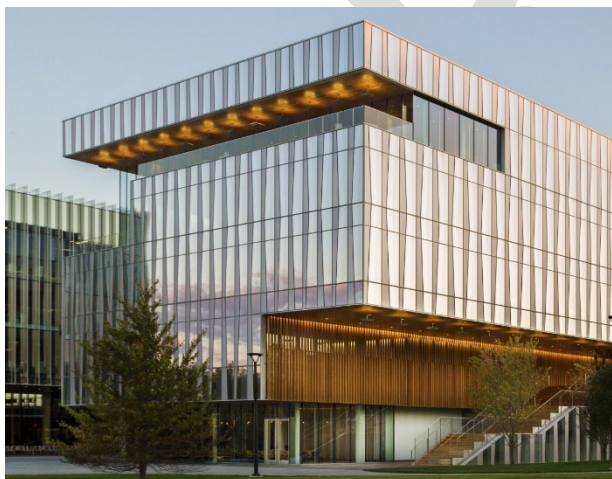
(Original source: Alkimos City Centre ACP; Roberts Day)





## UPPER LEVEL SETBACKS – COMMERCIAL ZONE AND MIXED USE ZONE (R-AC3)

The following images illustrate examples of the intent, variety and flexibility for upper level setbacks for buildings of three-storey height and above.



INDICATIVE LONG SECTION: WANNEROO ROAD TO CIVIC DRIVE

Wanneroo Town Centre Activity Centre Plan No. 90