

COTTAGE & ENGINEERING SURVEYS

Licensed Surveyors ©

87-89 Guthrie Street, Osborne Park, Western Australia
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
 Email: perth@cottage.com.au Website: www.cottage.com.au

J/N: 442104 DATE: 06 Nov 18 SCALE: 1:200 DRAWN: C. Weightman

Builder : Redink Homes
 CLIENT : Axelsen
 LOT 238 #11 Ilbery Street, Quinns Rocks
 LOT AREA: 908.08m²

OLD AREA

Plan7397

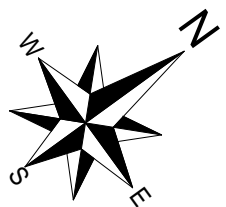
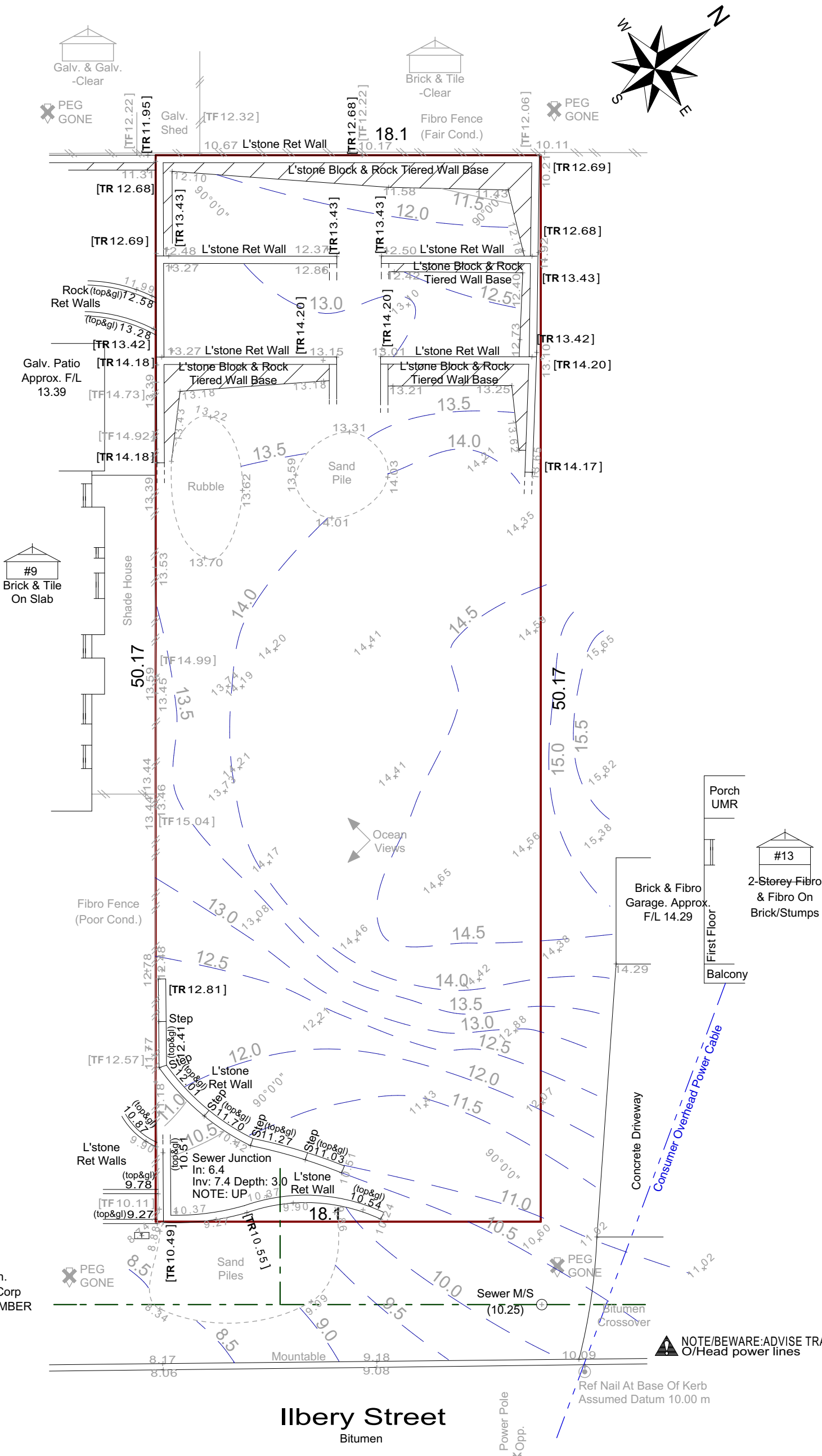
⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

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DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

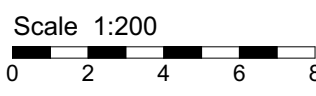


BEWARE:
 Deep sewer junction.
 Check With Water Corp
 BUILDER and PLUMBER
 check GRADE.

NOTE/BEWARE: ADVISE TRADES
 O/Head power lines

LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand / L/Stone(Poss)
 Light Grass Cover



redink
 BUILDERS REGISTRATION N° 12049
 16 FROBISHER STREET,
 OSBORNE PARK WA 6017
 Phone (08) 9208 1111 Fax (08) 9208 1122
 © Copyright 2006

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:

OWNER	DATE
OWNER	DATE
BUILDER	DATE

VARIATIONS:

REV:	DESCRIPTION:	INT:	CHK:	DATE:
1'	CONTRACT	AP	SP	13.11.18
2'	DRAFTING AMEND. (T.BROAD)	SP	SP	19.11.18
3'				
4'				
5'				
6'				
7'				
8'				
9'				

CLIENT: **AXELSEN**

SITE ADDRESS:
**LOT 238 #11 ILBERY STREET
 QUINNS ROCKS WA 6030**

SALES: W. PAULL DRAWN: AP

THE ANSWER PROMO

EXISTING SITE

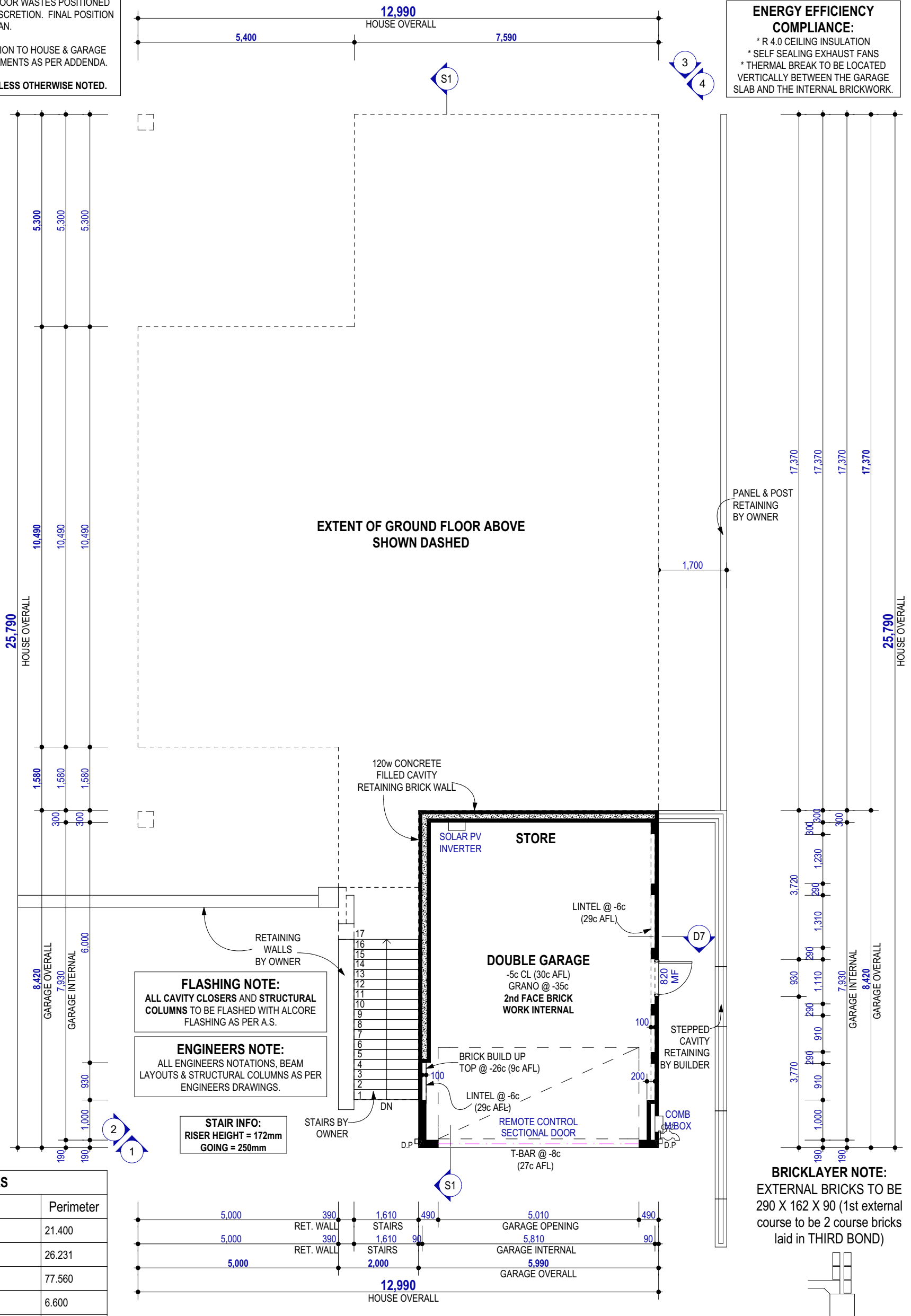
DATE: 19/11/2018	SHEET N°: 02 of 13
SCALE: 1:200	
REVISION N°: 2	JOB N°: 1808018M

STANDARD UPDATE = 15/01/00

NOTES:
 EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER ADDENDA.
 30c CEILINGS UNLESS OTHERWISE NOTED.

SITE CLASSIFICATION : A
 FOOTING DETAIL : D10V
 WIND CATEGORY : N2
 COASTAL CONDITIONS : CAT 1

ENERGY EFFICIENCY COMPLIANCE:
 * R 4.0 CEILING INSULATION
 * SELF SEALING EXHAUST FANS
 * THERMAL BREAK TO BE LOCATED VERTICALLY BETWEEN THE GARAGE SLAB AND THE INTERNAL BRICKWORK.

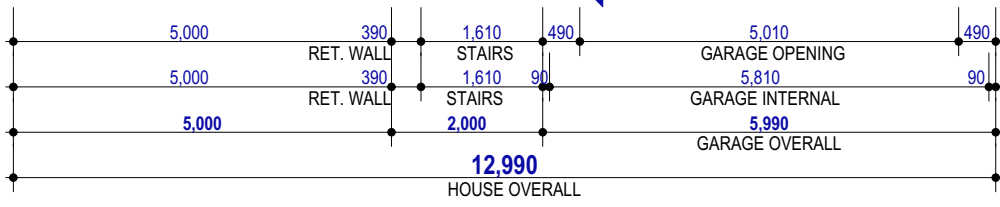


FLASHING NOTE:
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

STAIR INFO:
 RISER HEIGHT = 172mm
 GOING = 250mm

AREAS		
Name	Area	Perimeter
ALFRESCO	28.620	21.400
GARAGE	42.682	26.231
HOUSE	243.392	77.560
PORTICO	2.600	6.600
STORE	7.754	14.569
VERANDAH	10.000	14.000
	335.048 m ²	



BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

redink
 BUILDERS REGISTRATION N° 12049
 16 FROBISHER STREET,
 OSBORNE PARK WA 6017
 Phone (08) 9208 1111 Fax (08) 9208 1122
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OWNER DATE

BUILDER DATE

VARIATIONS:

REV:	DESCRIPTION:	INT:	CHK:	DATE:
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'2'	DRAFTING AMEND. (T.BROAD)	SP	SP	19.11.18
'3'				
'4'				
'5'				
'6'				
'7'				
'8'				
'9'				

CLIENT: **AXELSEN**

SITE ADDRESS:
**LOT 238 #11 ILBERY STREET
 QUINNS ROCKS WA 6030**

SALES: W. PAULL DRAWN: AP

THE ANSWER PROMO
GARAGE FLOOR PLAN

DATE: 19/11/2018 SHEET N°: 06 of 13
 SCALE: 1:100

REVISION N°: 2 JOB N°: 1808018M

⊕	SEC Dome
⊖	Power Pole
[T] [C]	Phone Pits
[W]	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

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STANDARD BCA NOTE:
 - DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BCA & A.S.
 - SMOKE ALARMS INTERCONNECTED & HARWIRED AS PER AS3786-2014.
 - STORMWATER AND SURFACE WATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.2.1 BCA VOL 2, 3.1.2.5 BCA VOL 2 AND LOCAL AUTHORITY REQUIREMENTS.

TERMITE TREATMENT NOTE:
 TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2016 PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE TERMICO TERMITE MANAGEMENT SYSTEM.

STORMWATER NOTE:
 STORMWATER DISPOSAL VIA SOAKWELLS BY BUILDER TO COUNCIL REQUIREMENTS

PRELAY NOTE:
 PLUMBING & ELECTRICAL PRELAYS REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

SITE CLASSIFICATION : A
FOOTING DETAIL : D10V
WIND CATEGORY : N2
COASTAL CONDITIONS : CAT 1

LOT MISCLOSE
 0.000 m

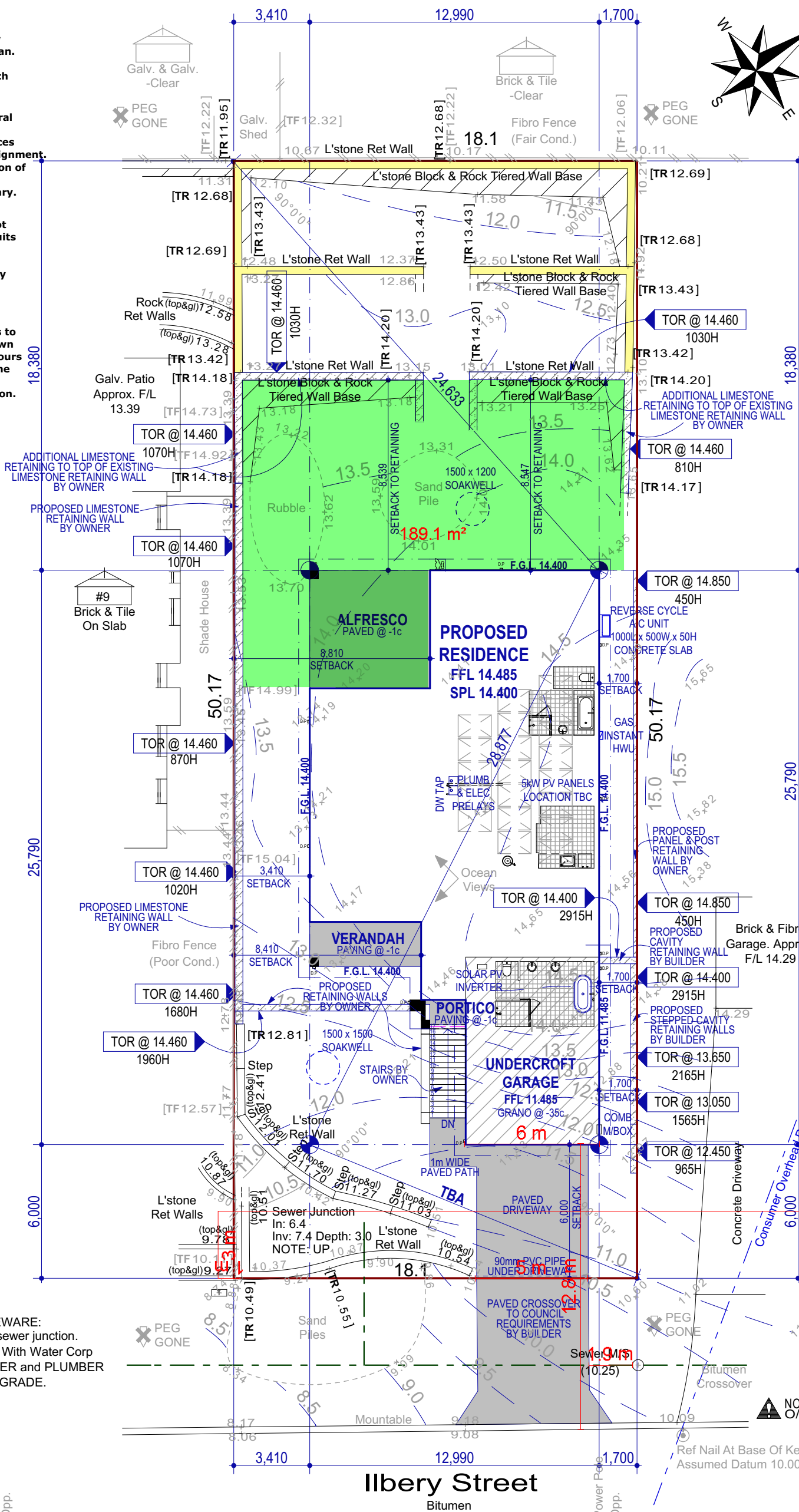
SOIL DESCRIPTION
 Sand / L/Stone(Poss)
 Light Grass Cover

Scale 1:200

0 2 4 6 8

BEWARE:
 Deep sewer junction.
 Check With Water Corp
 BUILDER AND PLUMBER
 check GRADE.

NOTE/BEWARE:ADVISE TRADES
 O/Head power lines



DRAINAGE NOTES:
 1. Volumes are in cubic metres & Areas in square meters.
 2. Volume to be stored based on 0.0122 of m² of impervious surface.
 3. Down pipes to be located so each tank fills at same rate (i.e. Roof Area to each tank is proportional to its Volume).
 4. Plumber to confirm Run Layout & location of soak wells. Drawings are indicative only.

DRAINAGE CALCULATIONS.
Impervious Area (Roof) Area A.
 (Roof Area) = 323.39m².
 Volume to Store = 3.95m³.

Impervious Area (Paving) Area B.
 (Driveway & Path) = 30.49m²
 Volume to Store = 0.37m³.
**(Storm-water grate to soak well).
 Run to existing Soakwells**

TOTAL VOLUME TO DRAIN AREA A + AREA B = 4.32m³.

NUMBER TANKS REQ'D =
 (TAKEN FROM TABLE)
 1x1500 x 1200 = 2.12m³
 1x1500 x 1500 = 2.65m³

TWO TANKS REQUIRED
TOTAL TANK VOLUME = 4.77m³.

TANK VOLUME.

DIAM	DEPTH	VOL
1800	900	2.29
	1200	3.05
	1500	3.82
	1800	4.58
1500	900	1.59
	1200	2.12
	1800	3.18
1200	900	1.02
	1200	1.36
	1500	1.70
	1800	2.03
900	900	0.57
	1200	0.76
	1500	0.95
	1800	1.14

Power Pole Opp.

Power Pole Opp.

redink
 BUILDERS REGISTRATION N° 12049
 16 FROBISHER STREET,
 OSBORNE PARK WA 6017
 Phone (08) 9208 1111 Fax (08) 9208 1122
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THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:
 OWNER DATE.....
 OWNER DATE.....
 BUILDER DATE.....

VARIATIONS:

REV:	DESCRIPTION:	INT:	CHK:	DATE:
1'	CONTRACT	AP	SP	13.11.18
2'	DRAFTING AMEND. (T.BROAD)	SP	SP	19.11.18

CLIENT:
AXELSEN
 SITE ADDRESS:
LOT 238 #11 ILBERY STREET
QUINNS ROCKS WA 6030
 SALES: W. PAULL DRAWN: AP

THE ANSWER PROMO
SITE PLAN
 DATE: 19/11/2018 SHEET N°:
 SCALE: 1:200 03 of 13
 REVISION N°: 2 JOB N°: 1808018M

NOTES:
 EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.
 ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.
 CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER ADDENDA.
28c CEILINGS UNLESS OTHERWISE NOTED.

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OWNER: DATE:
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VARIATIONS:

REV.	DESCRIPTION:	INT.	CHK.	DATE:
1	CONTRACT	AP	SP	13/11/18
2	DRAFTING AMEND (T BROAD)	SP	SP	19/11/18
3				
4				
5				
6				
7				
8				
9				

CLIENT:
AXELSEN

SITE ADDRESS:
**LOT 238 #11 ILBERRY STREET
 QUINNS ROCKS WA 6030**

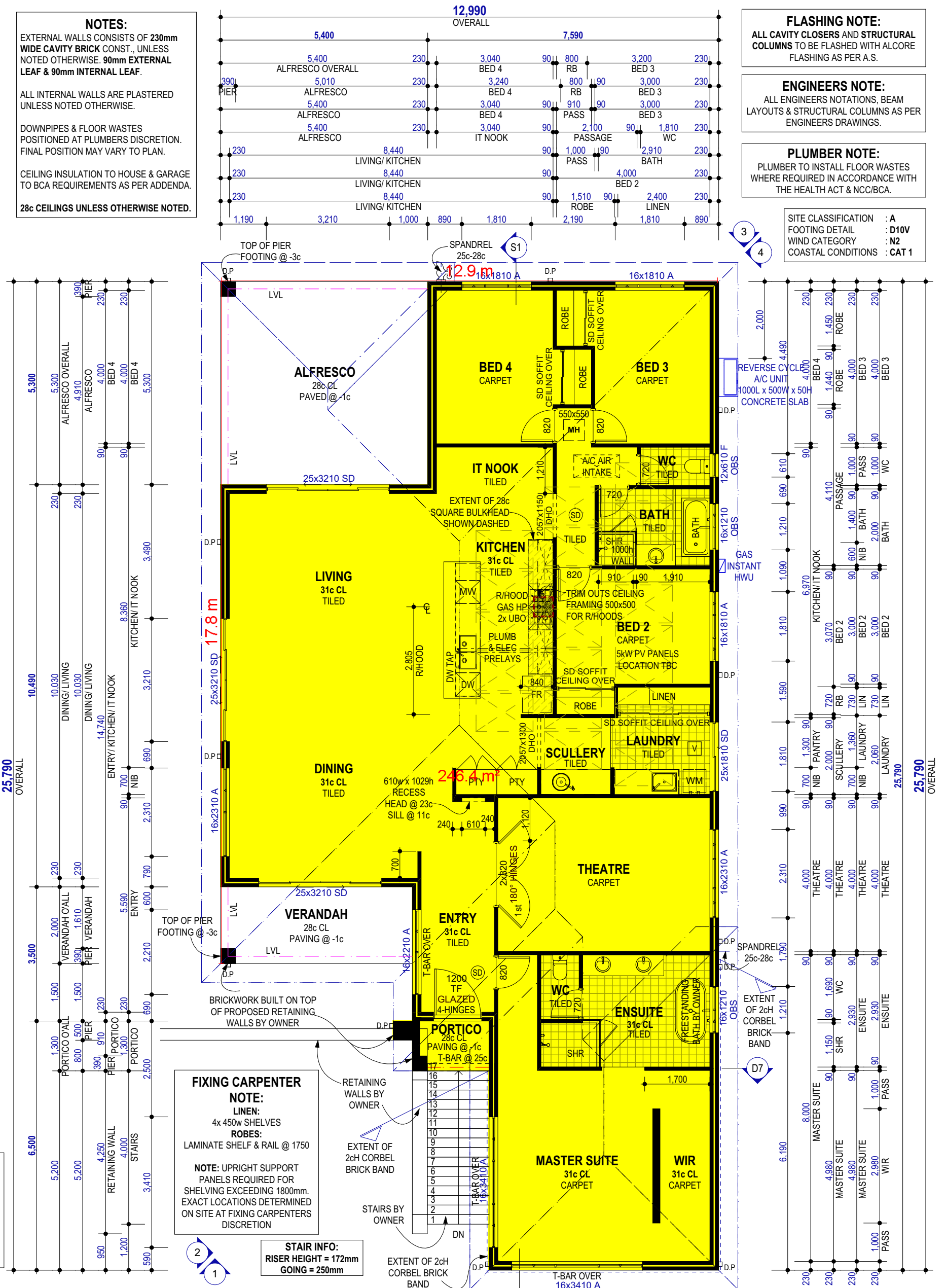
SALES: W. PAULL

DRAWN: AP

THE ANSWER PROMO
GROUND FLOOR PLAN

DATE: 19/11/2018
 SCALE: 1:100
 SHEET N°: 05 of 13
 REVISION N°: 2
 JOB N°: 1808018M

ENERGY EFFICIENCY COMPLIANCE:
 * R 4.0 CEILING INSULATION
 * SELF SEALING EXHAUST FANS
 * THERMAL BREAK TO BE LOCATED VERTICALLY BETWEEN THE GARAGE SLAB AND THE INTERNAL BRICKWORK.



FLASHING NOTE:
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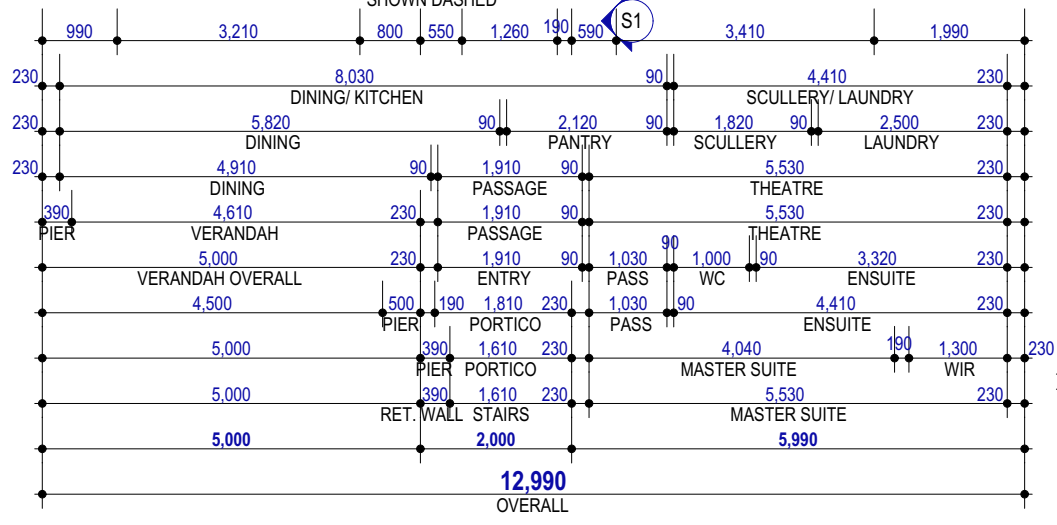
ENGINEERS NOTE:
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

PLUMBER NOTE:
 PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED IN ACCORDANCE WITH THE HEALTH ACT & NCC/BCA.

SITE CLASSIFICATION :
 : A
FOOTING DETAIL :
 : D10V
WIND CATEGORY :
 : N2
COASTAL CONDITIONS :
 : CAT 1

AREAS

Name	Area	Perimeter
ALFRESCO	28.620	21.400
GARAGE	42.682	26.231
HOUSE	243.392	77.560
PORTICO	2.600	6.600
STORE	7.754	14.569
VERANDAH	10.000	14.000
TOTAL	335.048 m²	



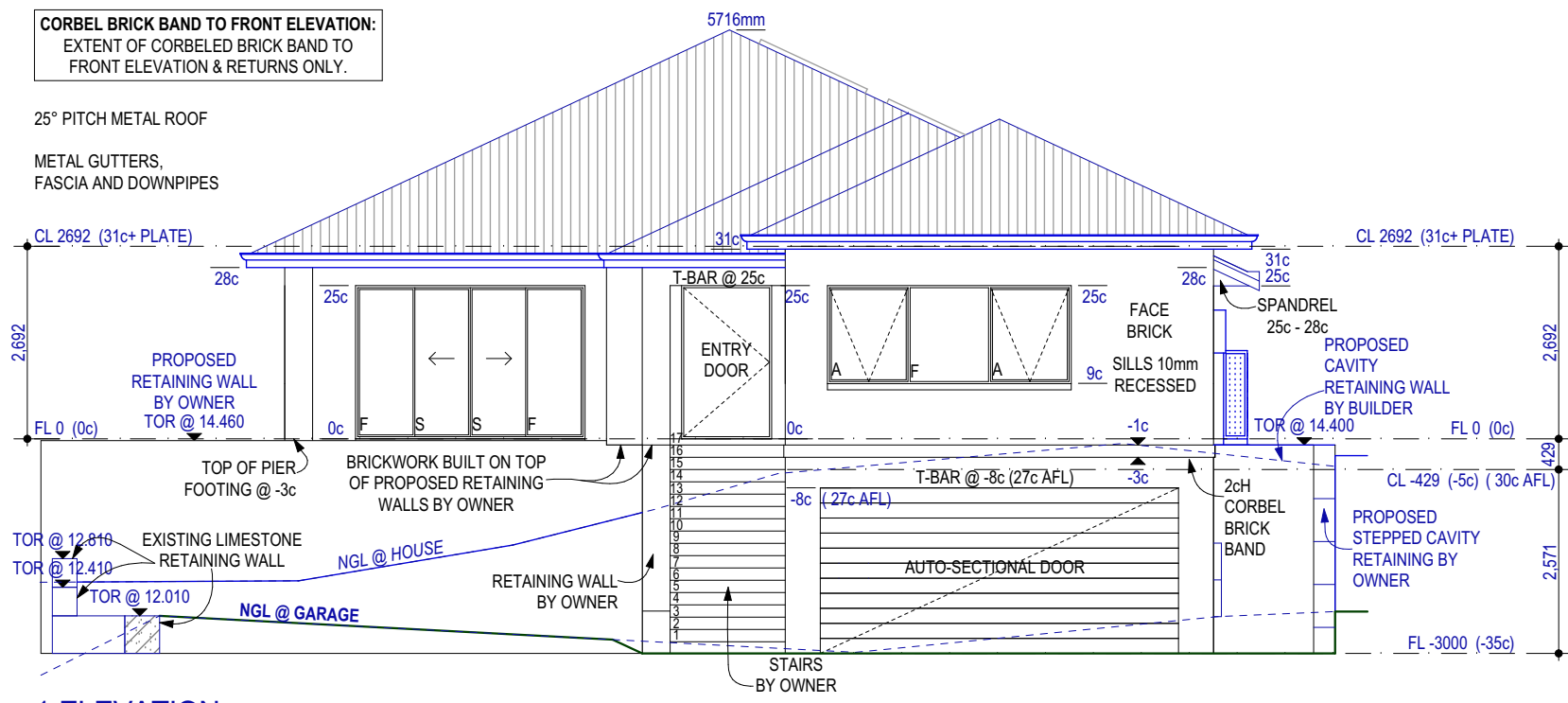
DOUBLE GLAZING:
 DOUBLE GLAZING TO ALL WINDOWS AND SLIDING DOORS EXCLUDING WET AREAS AND TIMBER JOINERY.

BRICK LAYER NOTE:
 CORBEL BRICK BAND TO FRONT ELEVATION: EXTENT OF CORBELED BRICK BAND TO FRONT ELEVATION & RETURNS ONLY.

BRICKLAYER NOTE:
 EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

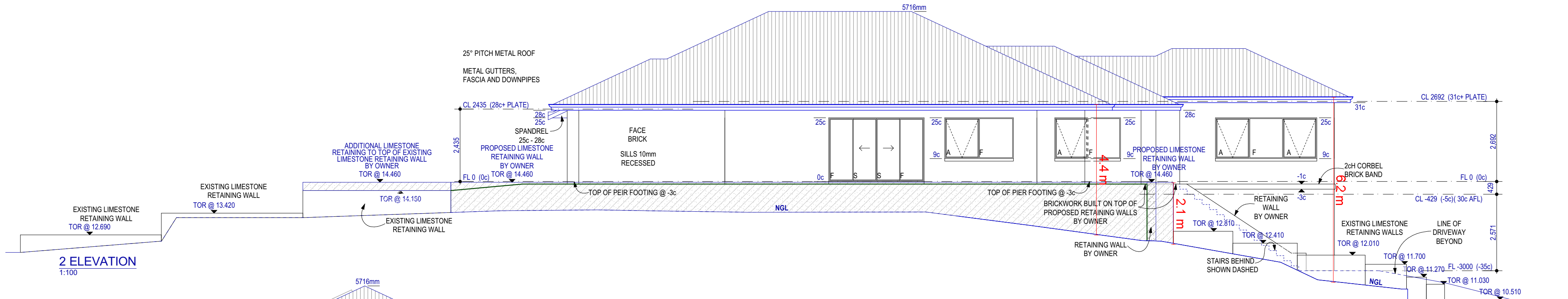
CORBEL BRICK BAND TO FRONT ELEVATION:
EXTENT OF CORBELED BRICK BAND TO FRONT ELEVATION & RETURNS ONLY.

25° PITCH METAL ROOF
METAL GUTTERS,
FASCIA AND DOWNPIPES



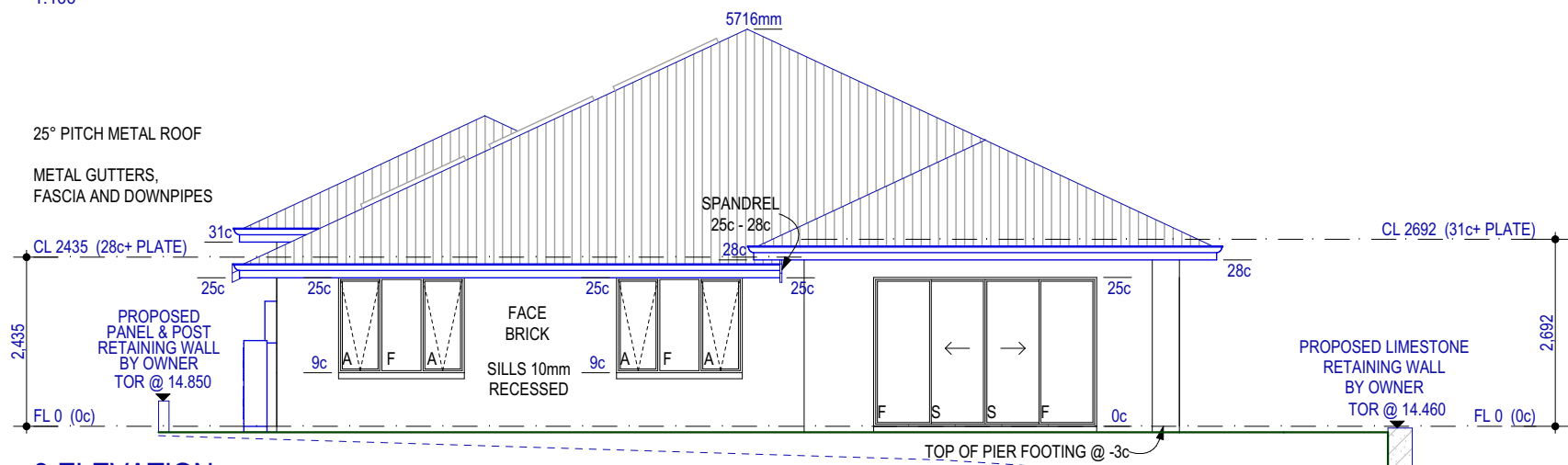
1 ELEVATION
1:100

25° PITCH METAL ROOF
METAL GUTTERS,
FASCIA AND DOWNPIPES



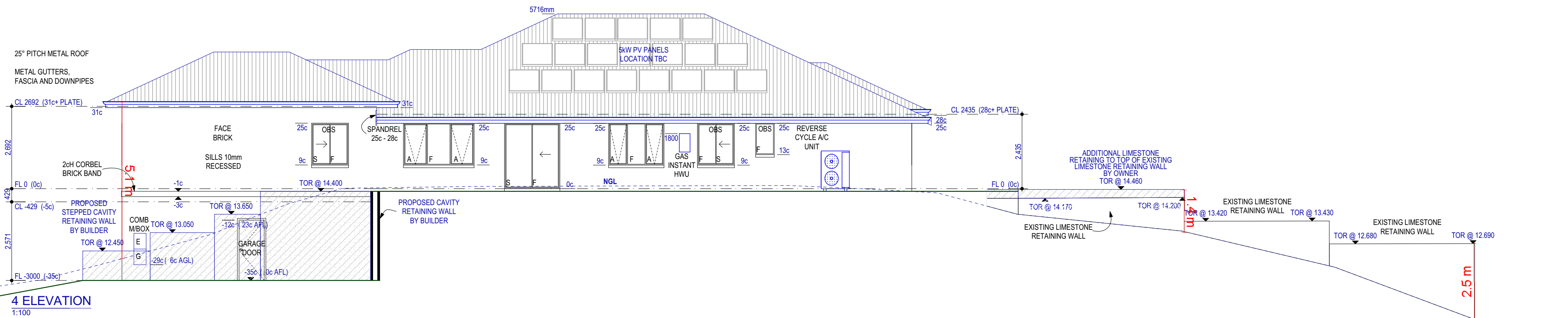
2 ELEVATION
1:100

25° PITCH METAL ROOF
METAL GUTTERS,
FASCIA AND DOWNPIPES



3 ELEVATION
1:100

25° PITCH METAL ROOF
METAL GUTTERS,
FASCIA AND DOWNPIPES



4 ELEVATION
1:100

THE ANSWER PROMO		ELEVATIONS (A2)	
CLIENT:	AXEISEN	DATE:	19/12/18
SITE ADDRESS:	LOT 238 #11 ILBERRY STREET QUINNS ROCKS WA 6030	SHEET N°:	07 of 13
SALES:	W. PAULL	SCALE:	1:100
DRAWN:	AP	REVISION N°:	2
JOB N°:	1808018M		

DATE:	13.11.18
CHK:	AP
INT:	SP
DESCRIPTION:	CONTRACT DRAFTING/MEG (T/BROAD)

OWNER	DATE
OWNER	DATE
BUILDER	DATE

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

redink
H O M E
BUILDERS REGISTRATION N° 2049
16 FROBISHER STREET,
OSBORNE PARK WA 6017
Phone (08) 9208 1111 Fax (08) 9208 1122
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