

R-CODES NOTE:

ZONING: R60 + STRUCTURE PLAN
SITE COVERAGE

SITE: 248M²
 ALLOWED COVER: 75% (186M²)
 ACTUAL COVER: 54.97% (136.33M²)
R-CODES VARIATION/PLANNING REQUIRED: YES
 - RIGHT HAND SIDE UPPER STOREY BOUNDARY WALL OVER LENGTH

BAL ASSESSMENT REQUIRED: NO

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING
PLUMBING NOTE:

- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
 - NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
 - PLUMBER TO INSTALL REFLUX VALVE.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER. ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQ.

ELECTRICAL NOTE:

PROVIDE 3-PHASE POWER TO METERBOX

Soak Well Type	No.	Capacity
SW 1200x1200	2	2.7 m ³
Total Capacity		2.7 m ³
Roof Area GF		165.8 m ²
Total Area		165.8 m ²
Capacity Required (Area x 0.0130)		2.2 m ³
Extra Capacity Provided		0.6 m ³

LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

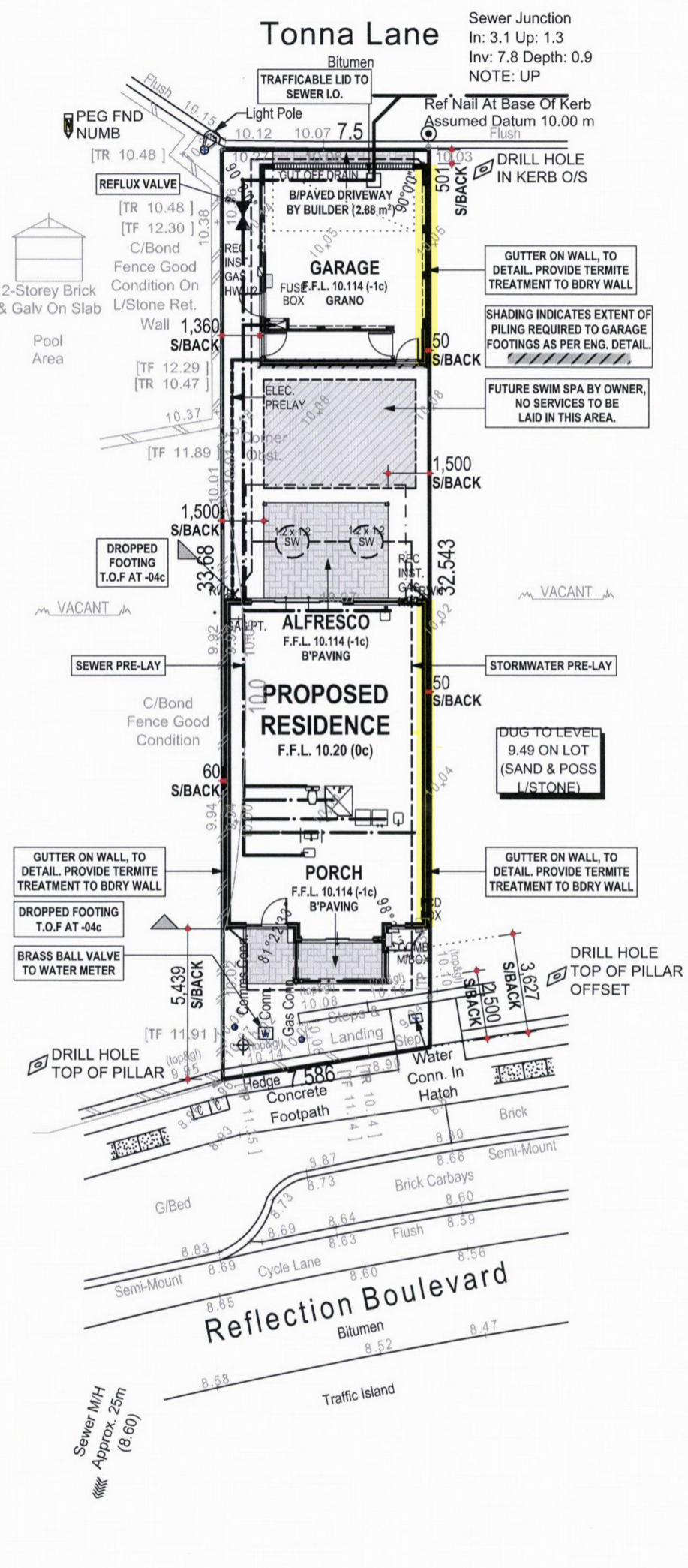
NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

NOTE:
 RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT N670739

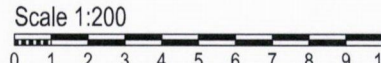
NOTE:
 COVENANT. "NO ACCESS" REFER TO SEC 150 P&D ACT. SEE DOCUMENT

OWNER NOTE:
 * THE OWNER IS AWARE, UNDERSTANDS AND ACCEPTS THEIR RESPONSIBILITIES AS FOLLOWS IN REGARD TO THE INSTALLATION OF THEIR POOL AFTER CONSTRUCTION:
 * THE OWNERS RESPONSIBILITIES IN RELATION TO INSTALLING THEIR POOL AFTER CONSTRUCTION INCLUDE:
 * RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE HOUSE SAND PAD, SLAB AND FOOTINGS WHEN EXCAVATING AND INSTALLING THEIR FUTURE POOL
 * RESPONSIBLE FOR REPAIRS TO SERVICES AND BUILDING SHOULD DAMAGE OCCUR DURING EXCAVATION / INSTALLATION
 * RESPONSIBLE FOR OBTAINING THEIR OWN APPROVALS FROM STATUTORY AUTHORITIES
 * RESPONSIBLE FOR SWIMMING SECURITY POOL FENCING
 * RESPONSIBLE TO ADVISE BUILDER IF ANY WINDOWS ARE TO BE AMENDED TO COMPLY WITH BCA / POOL REGULATIONS
 * THE BUILDER WILL TAKE CARE TO AVOID THE FUTURE POOL AREA WITH SERVICE RUNS AS MUCH AS POSSIBLE, HOWEVER, THIS IS SUBJECT TO ACTUAL LOCATIONS OF SERVICES.
 * RESPONSIBLE FOR ENSURING THE POOL IS CONSTRUCTED NO CLOSER TO THE HOUSE OTHER THAN AS IS SHOWN ON THE SITE PLAN.



WITNESS:	CLIENT(S):	BUILDER:
_____	_____	_____
_____	_____	_____

Latitude: 31°38'03"2S Longitude 115°41'02"5E



COTTAGE & ENGINEERING SURVEYS Licensed Surveyors 87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au	AREA: - 248M ² SHIRE: - CITY OF WANNEROO D.PLAN: - 65147 C/T VOLUMN: - 2935 FOLIO: - 703 MSD REF: - 158-05/39	ROAD DESCR.: - BITUMEN KERBING: - FLUSH / SEMI-MOUNT FOOTPATH: - CONCRETE SOIL: - SAND / L'STONE DRAINAGE: - GOOD VEGETATION: - LIGHT GRASS COVER	GAS: - YES WATER: - YES ELECTRICITY: - U/GROUND PH/COMMS: - YES SEWER: - YES COASTAL: - CHECK SHIRE	SSA/OLD AREAS: - SSA C/JOB#: - 431648 DATE: - 08/02/18 SCALE: 1:200 DRAWN: - M. BATEMAN	UNLODGED SURVEY STRATA PLAN: - N/A ORIGINAL LOT: - N/A LOT MISCLOSE: - 0.001m SSL 1 MISCLOSE: - N/A SSL 2 MISCLOSE: - N/A	N
	Tangent Nominees Pty Ltd (A.C.N. 008 865 585) Trustee For Summit Homes Group Trust.	PROPOSED RESIDENCE FOR: V. HARRISON ADDRESS LOT 537 #96 REFLECTION BOULEVARD JINDALEE	VARIATIONS: V001 24-04-18 MJE V002 07-08-18 MJE V004 21-09-18 NIR V005&6 18-10-18 NIR V007 07-11-18 NIR V008 03-12-18 NIR	V009 21.12.18 NIR	LAST OPENED: Mon 17 Dec 2018 DATE: 15-02-18 DRN: MJE CHD: NWI SCALE: 1: 200 © COPYRIGHT 2018	
SUMMIT HOMES 242 Leach Highway Myaree, W.A. 6154. Telephone(08) 9317 0100 Fax(08) 9330 4507		SHEET 14 OF 14		SPECIAL		JOB NO: 155006

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR DETAILS) WIND LOAD - 'N1'
CORROSION CLASSIFICATION - 'R4'

BRICK NOTE
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O.

BUSHFIRE ATTACK LEVEL - 12.5

CONSTRUCTION TO COMPLY FULLY W/ NASH STANDARDS

ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME
- CEILING TO U/SIDE OF TRUSS (TRUSS AT 31c)

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF RWP'S TO BE DETERMINED ON SITE
- RWP'S IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

PLUMBER NOTE
- NO HOBBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.

BRICKLAYER NOTE
- FOR 2c GARAGE:
- 25c & 31c GARAGE HAS 4c LINTEL
- 28c GARAGE HAS 3c LINTEL

PROVIDE VINYL FROM BUILDERS STANDARD RANGE TO LIVING, DINING, KITCHEN, PTY, ENTRY, BED 2 (INC. ROBE) & BED PASS
PROVIDE INTERNAL PAINTING THROUGHOUT (2 COATS OF PAINT & 1 COAT OF SEALER)
PROVIDE BLINDS THROUGHOUT (INC. WET AREAS)

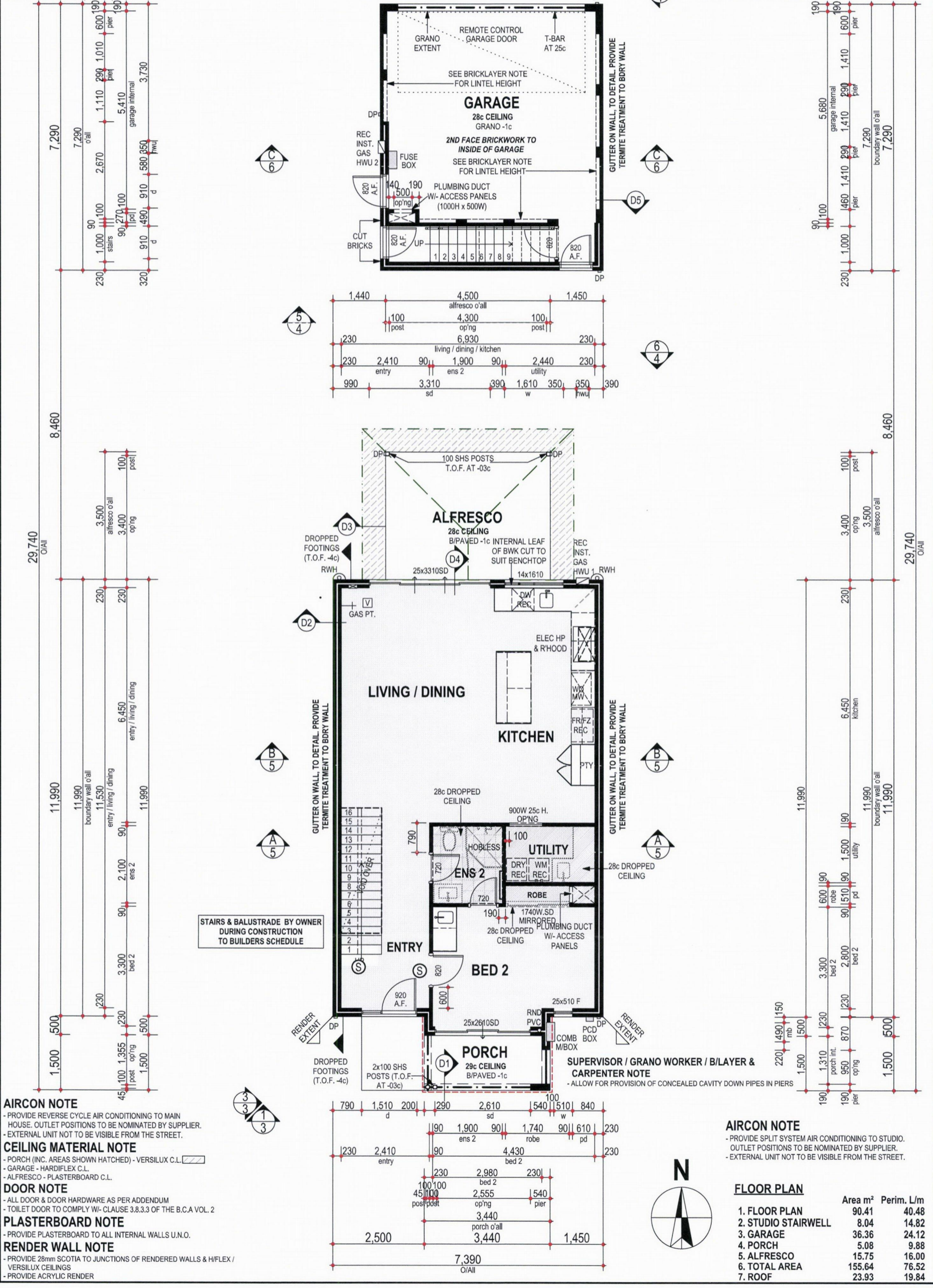
TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON RECEIPT OF ENG'S CERT. PLANS.

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN
- PROVIDE 3-PHASE POWER

FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFF. TO BROOM CUPBOARD, IF ANY

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG



AIRCON NOTE
- PROVIDE REVERSE CYCLE AIR CONDITIONING TO MAIN HOUSE. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CEILING MATERIAL NOTE
- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS
- PROVIDE ACRYLIC RENDER

FLOOR PLAN

	Area m ²	Perim. L/m
1. FLOOR PLAN	90.41	40.48
2. STUDIO STAIRWELL	8.04	14.82
3. GARAGE	36.36	24.12
4. PORCH	5.08	9.88
5. ALFRESCO	15.75	16.00
6. TOTAL AREA	155.64	76.52
7. ROOF	23.93	19.84

PROPOSED RESIDENCE FOR:
V. HARRISON
ADDRESS
**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:
V001 24-04-18 MALE
V002 07-08-18 MALE
V004 21-09-18 NIR
V005&6 18-10-18 NIR
V007 07-11-18 NIR
V008 03-12-18 NIR

SHEET **2** OF **14**

LAST OPENED:
Mon 17 Dec 2018

DATE: 15-02-18
DRN: MJE
CHD: NWI
SCALE: 1:100
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DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____
CLIENT(S): _____
WITNESS: _____

SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR DETAILS) WIND LOAD - 'N1'
CORROSION CLASSIFICATION - 'R4'

BRICK NOTE
- 2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O.

BUSHFIRE ATTACK LEVEL - 12.5

CONSTRUCTION TO COMPLY FULLY W/ NASH STANDARDS

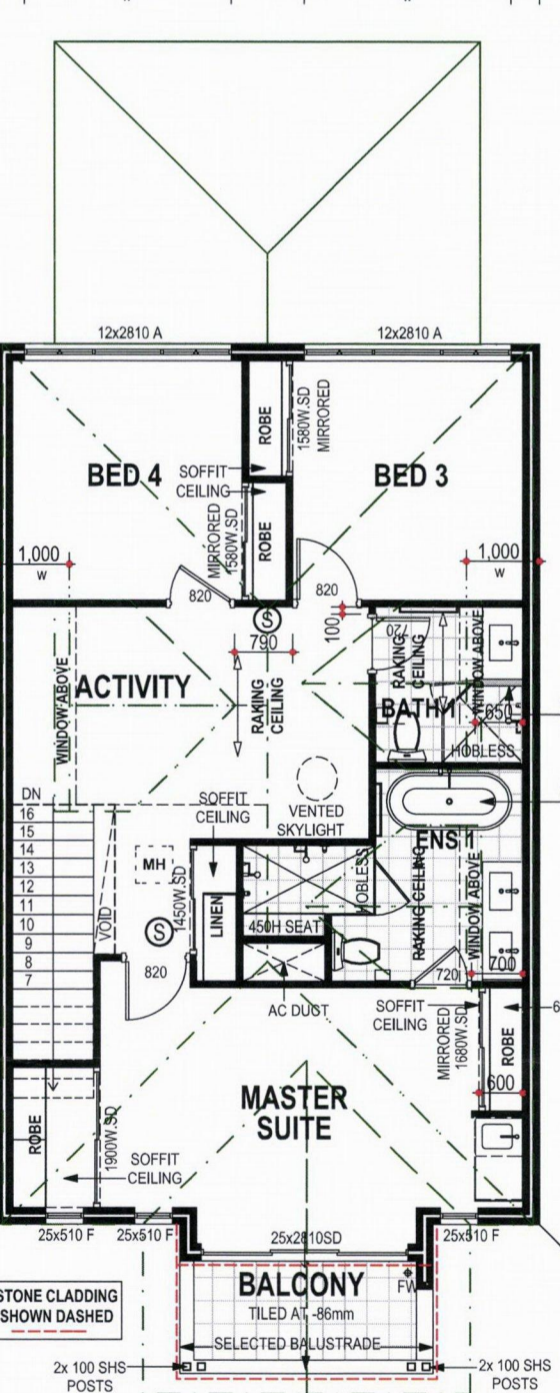
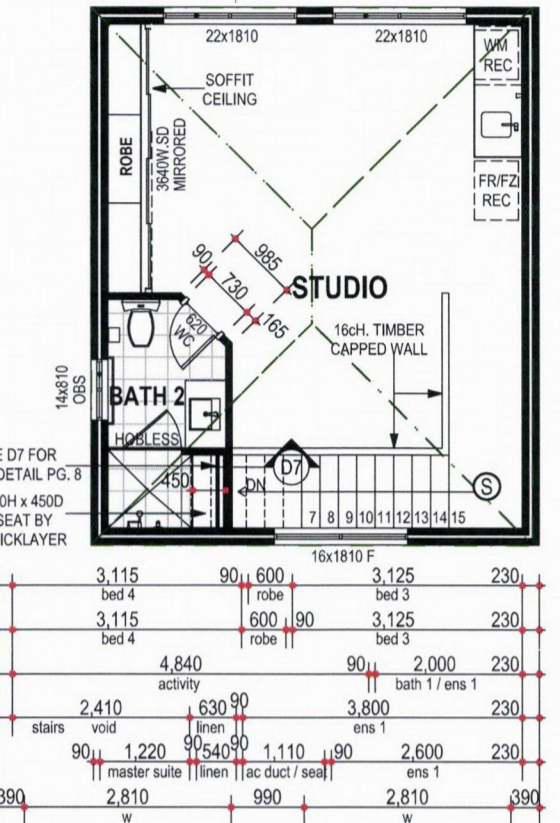
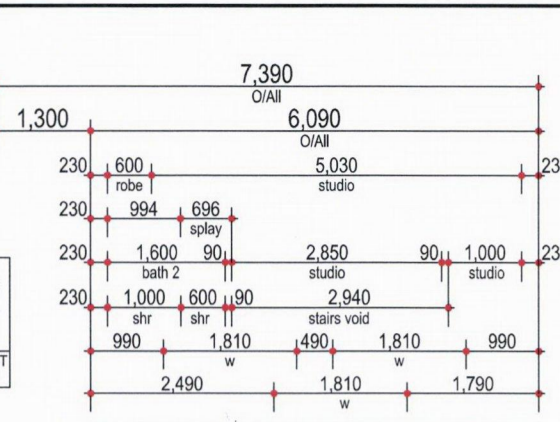
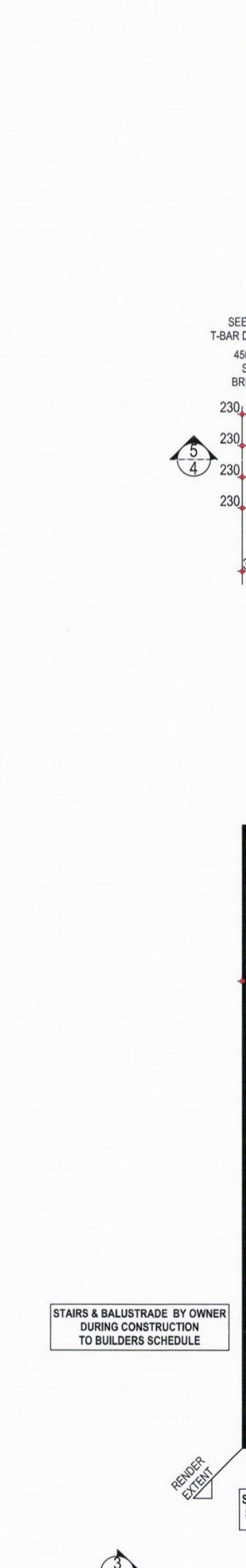
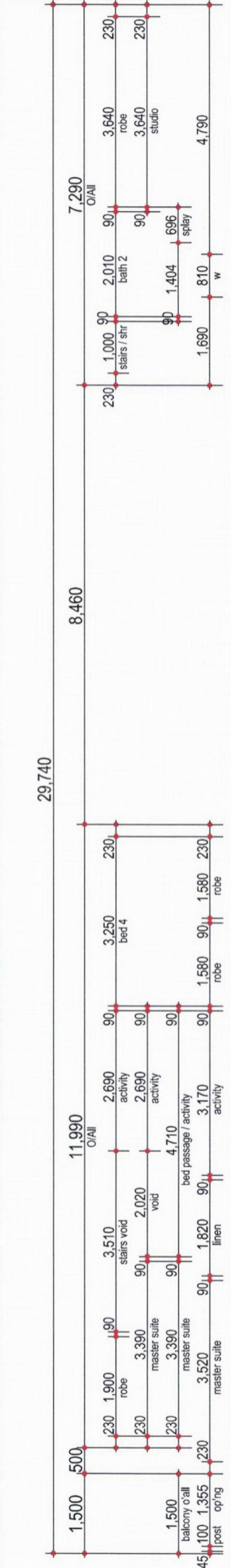
ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME
- CEILINGS AT 28c + PLATE UNLESS NOTED OTHERWISE

BRICK LAYER NOTE
- BUILD IN SLEEVE FOR LOUVRED GRILLE/S FOR FLUMING OF EXHAUST FAN/VENT/RANGEHOOD, SEE ELEVATION.
- BUILD EXTRA BRICK LEAF IN ENS CORNER FOR SPA.
- 3c OF LONGREACH & 2x6mm RODS FROM A-B.

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION.
- FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON RECEIPT OF ENG'S CERT. PLANS.

ENGINEER NOTE
- NOTE BLOCKOUTS TO DUCTS.
- CONFIRM ROOF BEAMS AND SIZES.

PROVIDE VINYL FROM BUILDERS STANDARD RANGE TO STUDIO & STUDIO STAIRS, BEDROOMS (INC. ROBES) & ACTIVITY
PROVIDE BLINDS THROUGHOUT (INC. WET AREAS)



PLUMBER/GENERAL NOTE
- 2 STOREY FLOOR CONSTRUCTION TO BE FLOOR TECH TRUSS. REFER TO ENGINEERS DETAILS & SECTIONS.

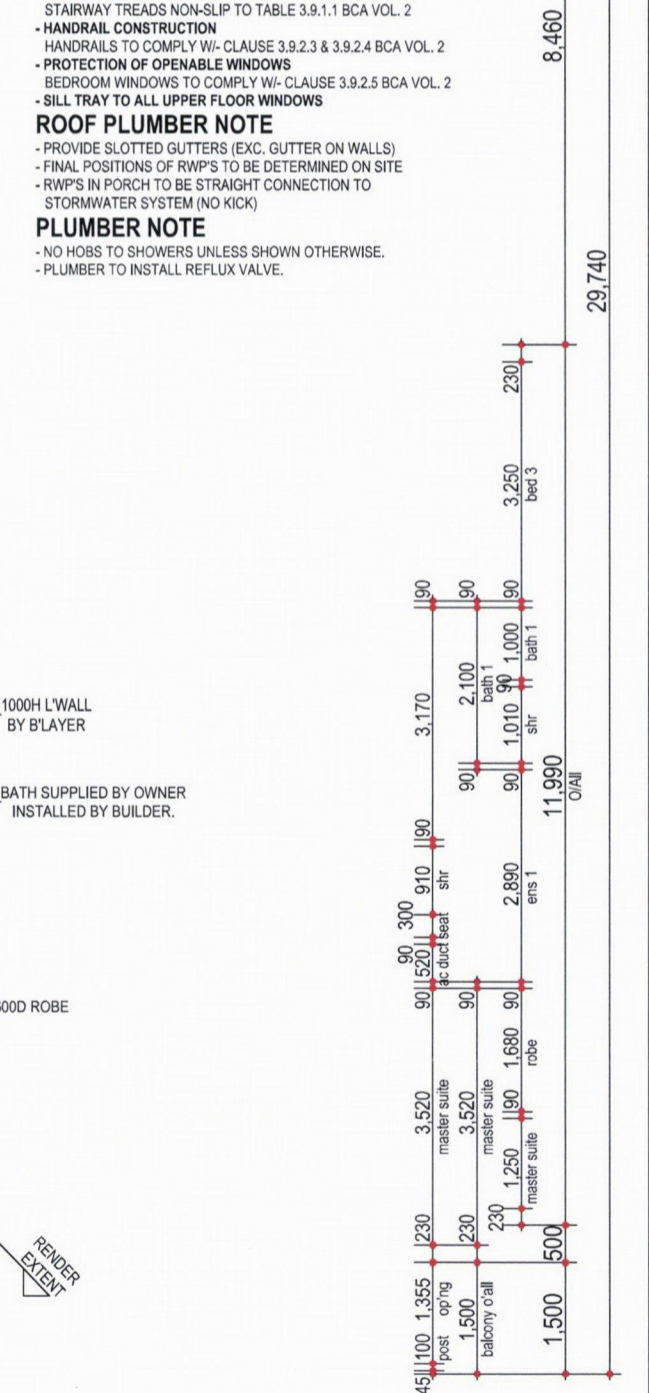
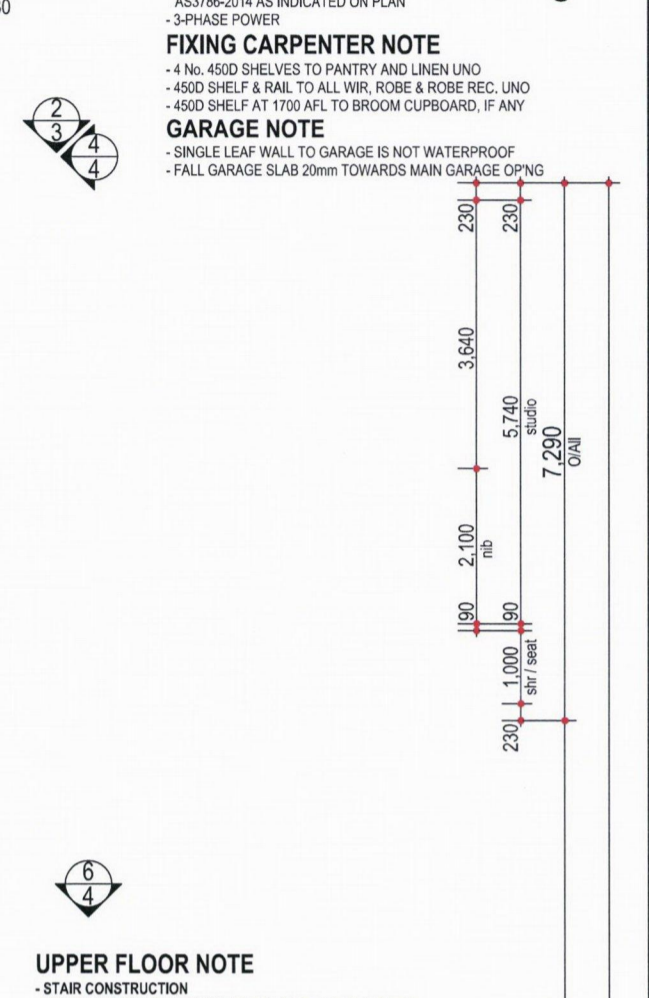
ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE, STUDIO & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

GRANO NOTE
- REFER TO ENGINEER'S CERTIFIED PLANS FOR SLAB THICKENING SPEC.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN
- 3-PHASE POWER

FIXING CARPENTER NOTE
- 4 No. 450D SHELVES TO PANTRY AND LINEN UNO
- 450D SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
- 450D SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG



AIRCON NOTE
- PROVIDE REVERSE CYCLE AIR CONDITIONING TO HOUSE. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

CEILING MATERIAL NOTE
- PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
- GARAGE - HARDIFLEX C.L.
- ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.

RENDER WALL NOTE
- PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & H/FLEX / VERSILUX CEILINGS

AIRCON NOTE
- PROVIDE SPLIT SYSTEM AIR CONDITIONING TO STUDIO.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

UPPER PLAN

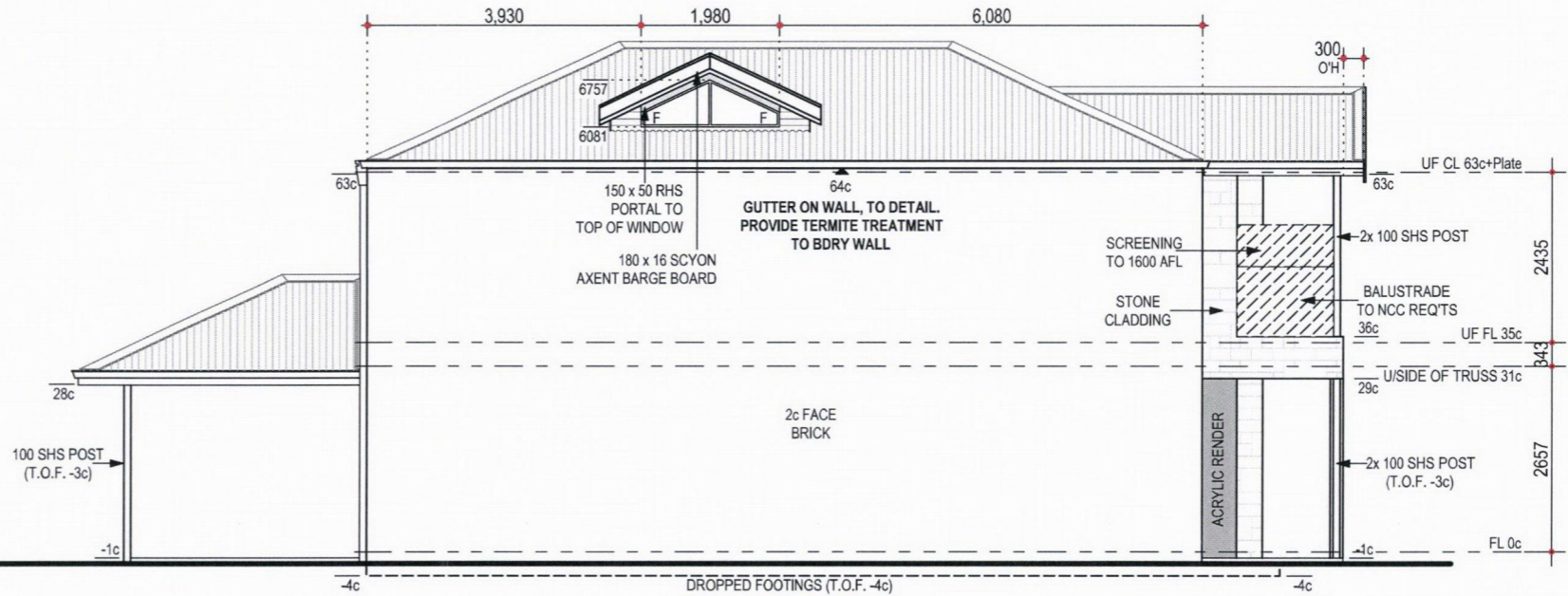
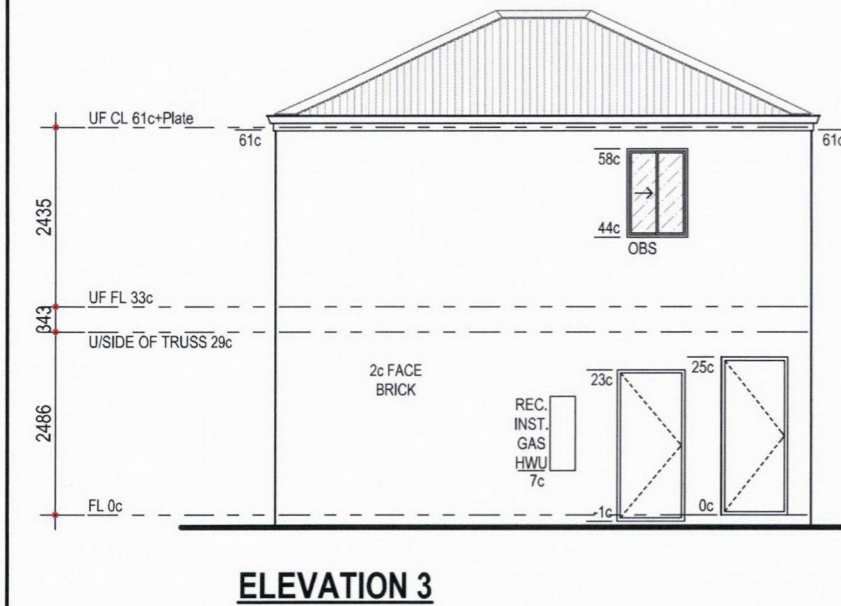
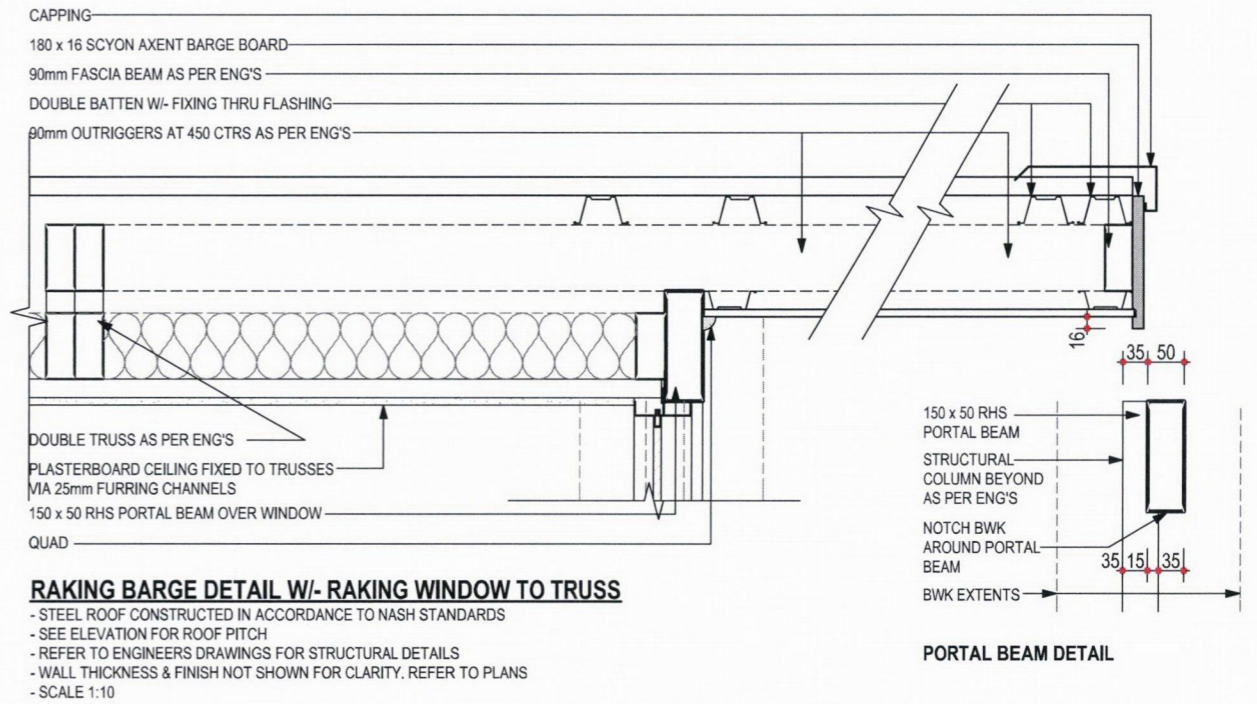
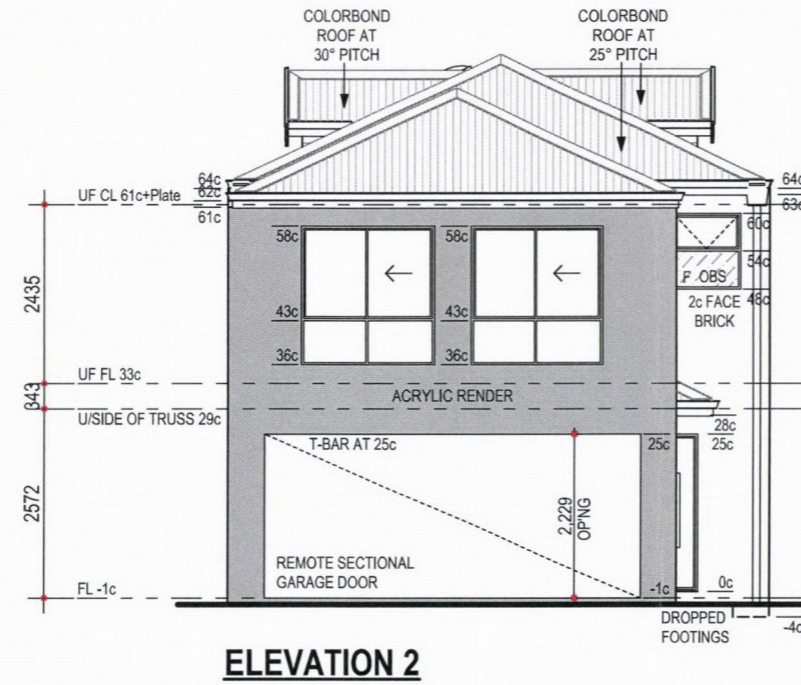
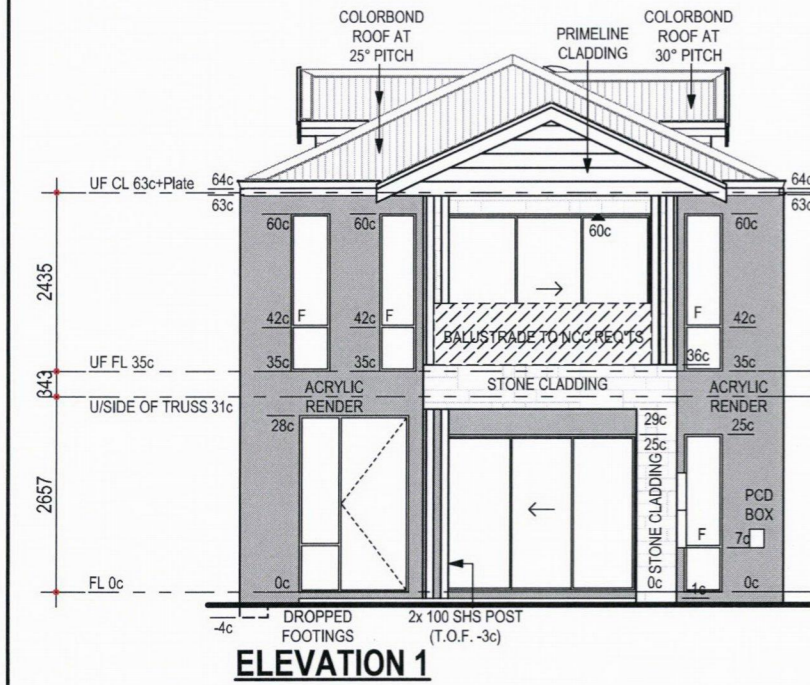
	Area m ²	Perim. L/m
1. UPPER FLOOR PLAN	90.41	40.48
2. BALCONY	5.08	9.88
3. STUDIO FLOOR PLAN	44.40	26.76
4. TOTAL AREA	139.89	69.52
5. ROOF	140.59	69.62

ROOF NOTE

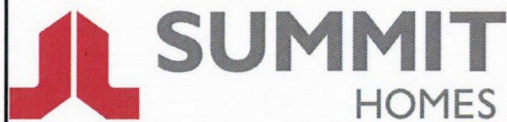
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD

WINDOW SUPPLIER NOTE

- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- **FOR WINDOWS TO STEEL FRAME WALLS ONLY:**
- WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.



Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

PROPOSED RESIDENCE FOR:

V. HARRISON

ADDRESS

**LOT 537 #96 REFLECTION BOULEVARD
JINDALEE**

VARIATIONS:

- V001 24-04-18 MJE
- V002 07-08-18 MJE
- V004 21-09-18 NIR
- V005&6 18-10-18 NIR
- V007 07-11-18 NIR
- V008 03-12-18 NIR

SHEET **3** OF **14**

V009 21.12.18 NIR

SPECIAL

LAST OPENED:
Mon 17 Dec 2018

TIME:
09:14:17

DATE: 15-02-18
DRN: MJE
CHD: NWI
SCALE: 1: 100
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JOB NO: **155006**

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ALL DIMENSIONS TO BRICKWORK.

BUILDER: _____

CLIENT(S): _____

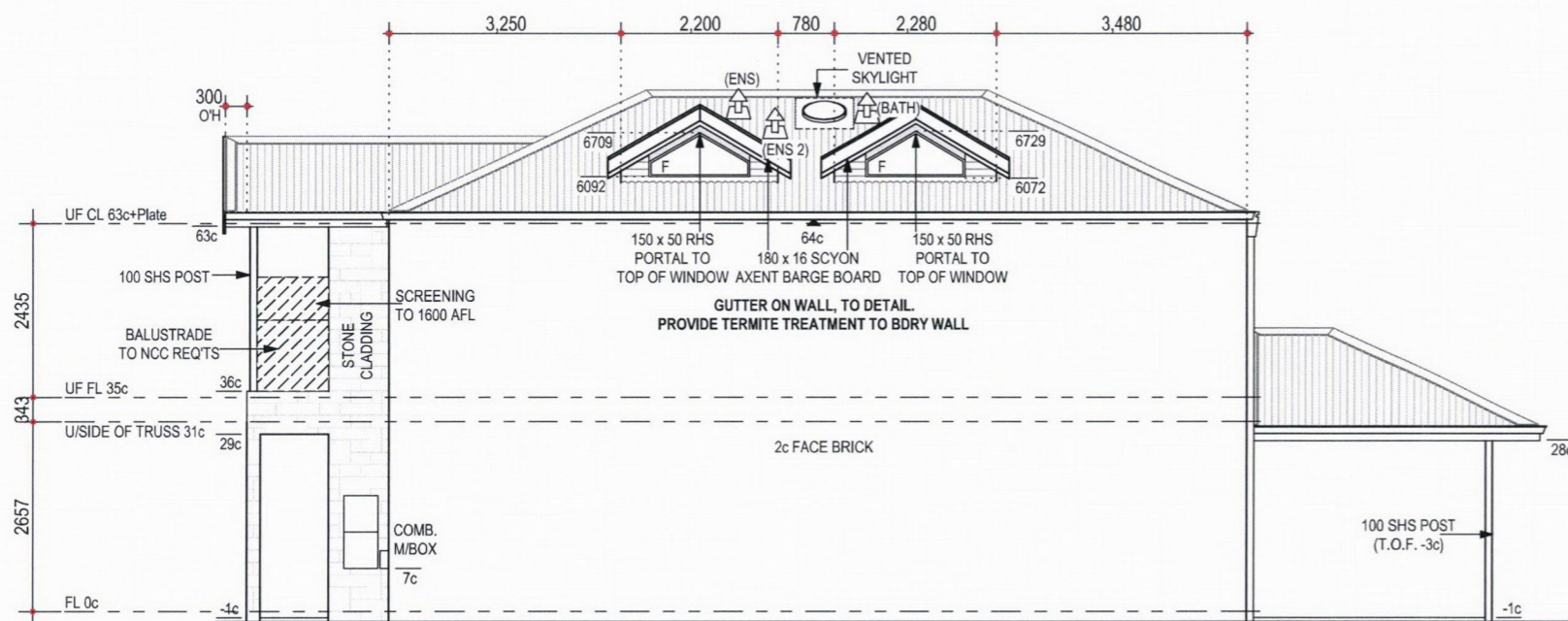
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ROOF NOTE

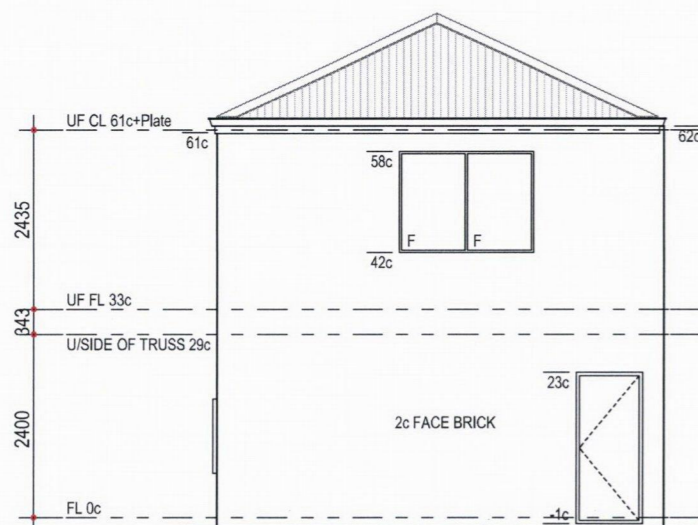
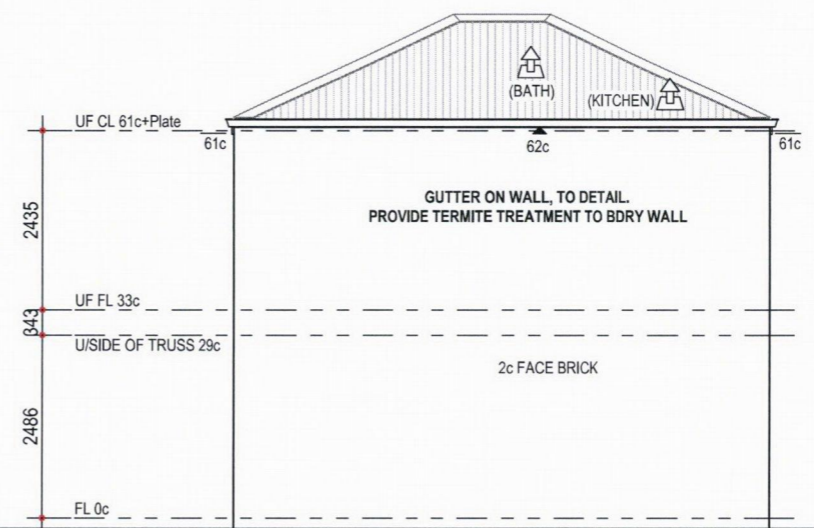
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WINDOW SUPPLIER NOTE

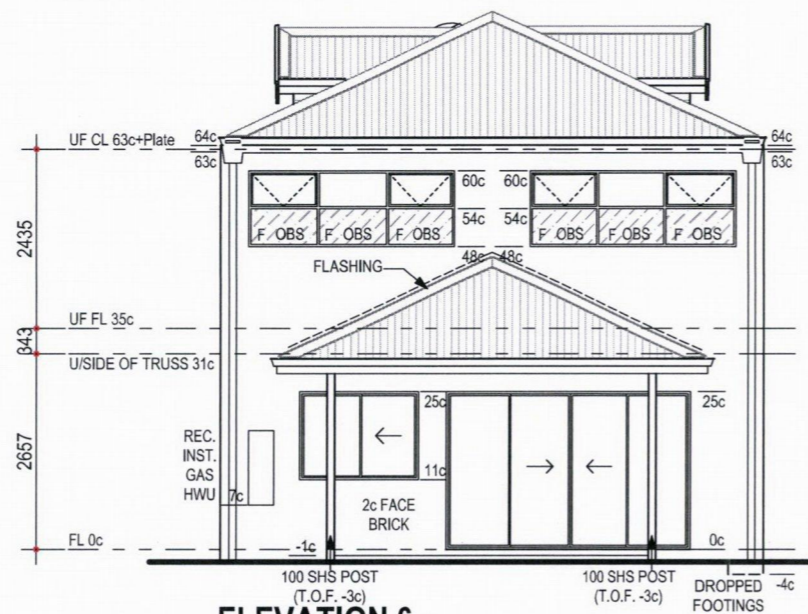
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288
- FOR WINDOWS TO STEEL FRAME WALLS ONLY:
- WINDOW SUPPLIER TO CONTACT BACK BONE STEEL FOR FINAL MEASUREMENTS IF DESIGN HAS A RAKING OR CLERESTORY WINDOWS PRIOR TO MANUFACTURE.



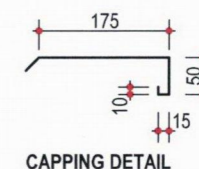
ELEVATION 4



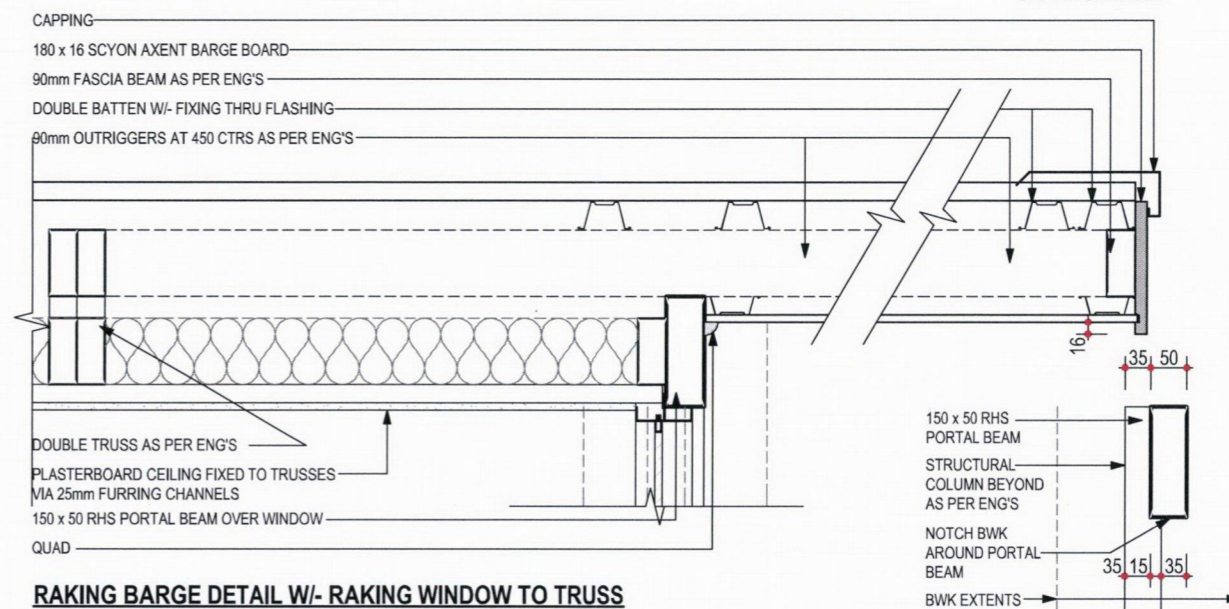
ELEVATION 5



ELEVATION 6



CAPPING DETAIL

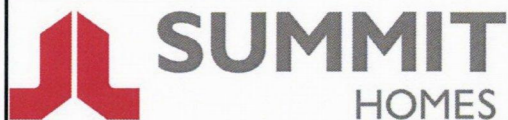


RAKING BARGE DETAIL W/- RAKING WINDOW TO TRUSS

- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO NASH STANDARDS
- SEE ELEVATION FOR ROOF PITCH
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- SCALE 1:10

PORTAL BEAM DETAIL

Tangent Nominees Pty Ltd (A.C.N. 008 865 585)
Trustee For Summit Homes Group Trust.



242 Leach Highway Myaree, W.A. 6154.
Telephone(08) 9317 0100 Fax(08) 9330 4507

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BUILDER: _____

CLIENT(S): _____

WITNESS: _____

SHEET **4** OF **14**

SPECIAL

JOB NO: **155006**