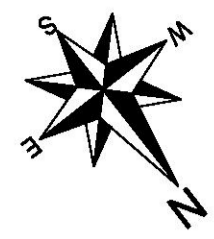


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REFER TO ENGINEERS SITE INSPECTION REPORT FOR FOUNDATION & FOOTING REQUIREMENTS:

SITE CLASS:	A
WIND CLASS:	N1
TERRAIN CAT:	TC3
TOPOGRAPHY:	T0
CORR. CLASS:	R3

EARTHWORKER NOTE:
U1 F.L. MAY VARY +/- 50MM

NOTE:
REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRELAY AND WET AREA SETOUT

NOTE:
REFER TO RETAINING WALL & PAVING PLAN FOR ADDITIONAL INFORMATION

NOTE:
REFER TO SITE SETOUT PLANS

STORMWATER DISPOSAL BY BUILDER TO ENG'S DETAILS & COUNCIL REQUIREMENTS (SOAKWELLS)

GAS AVAILABILITY: M

RETAINING WALL NOTE:
HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS

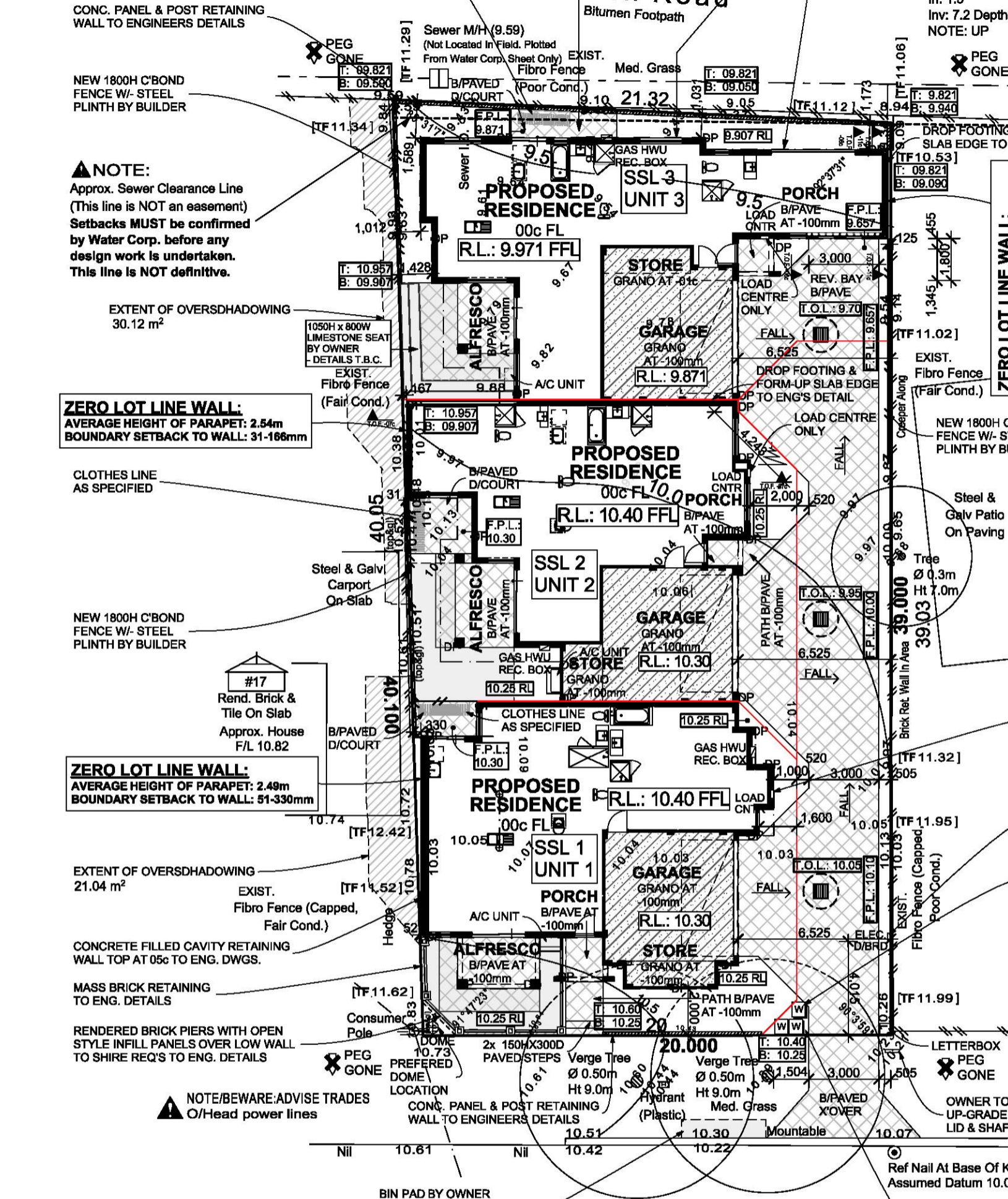
NOTE:
REFER TO SCREENWALL PLAN FOR ADDITIONAL INFORMATION

NOTE:
REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION

UNIT 1 -
REQ'D COURT YARD: 24.00m²
ACTUAL COURTYARD: 21.83 m²
UNCOVERED COURT YARD SHOWN GREY: 14.09 m²

UNIT 2 -
REQ'D COURT YARD: 24.00m²
ACTUAL COURTYARD: 26.27 m²
UNCOVERED COURT YARD SHOWN GREY: 17.20 m²

UNIT 3 -
REQ'D COURT YARD: 24.00m²
ACTUAL COURTYARD: 24.19 m²
UNCOVERED COURT YARD SHOWN GREY: 16.98 m²



SEWER JUNCTION
In: 1.5
Inv: 7.2 Depth: 1.1
NOTE: UP

ZERO LOT LINE WALL:
AVERAGE HEIGHT OF PARAPET: 3.53m
BOUNDARY SETBACK TO WALL: 125mm

RELOCATE EXISTING WATER METER BY OWNER

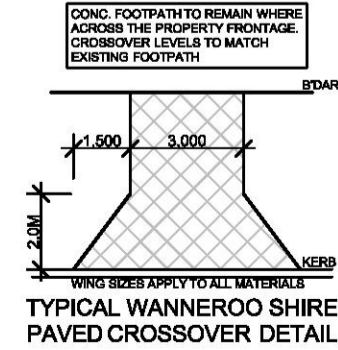
OWNER TO UP-GRADE LID & SHAFT

RELOCATE EXISTING WATER METER BY OWNER

AD PAVING & GRANO AREA		
CP	PAVING - CROSSOVER	16.89
CP	PAVING - DRIVE	109.47
		126.36 m²
U1	GRANO - GARAGE/STORE	34.44
U1	PAVING - ALFRESCO	13.67
U1	PAVING - D/COURT	4.09
U1	PAVING - DRIVE	16.15
U1	PAVING - PATH	3.67
U1	PAVING - PORCH	3.02
		75.04 m²
U2	GRANO - GARAGE/STORE	35.80
U2	PAVING - ALFRESCO	12.70
U2	PAVING - D/COURT	6.63
U2	PAVING - DRIVE	19.28
U2	PAVING - PATH	1.31
U2	PAVING - PORCH	1.66
		77.38 m²
U3	GRANO - GARAGE/STORE	34.16
U3	PAVING - ALFRESCO	16.73
U3	PAVING - D/COURT	5.31
U3	PAVING - DRIVE	26.49
U3	PAVING - PORCH	2.38
		85.07 m²
		363.85 m²

IS PLANNING REQ'D: YES
IS A CODE VARIATION REQ'D: YES
REDUCED SETBACK, BOUNDARY WALL HEIGHT, RETAINING WALL HEIGHTS, BA20 & BA20a

ENERGY EFFICIENCY REQUIREMENTS
CAVITY WALL INSULATION: NIL
LIVING CEILING INSULATION: R4.1
GARAGE CEILING INSULATION: NIL
ROOF INSULATION: NIL
DESIGN CHANGES: NIL
WINDOW GLAZING: SINGLE CLEAR
ENERGY RATING COMPLETE: NO



LEGEND

⊕	SEC Dome
⊖	Power Pole
⊙	Phone Pits
⊗	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

Elec	⊕	O/Head	Water	Yes	Sewer	Yes
Gas	⊙	Call 13 13 58	Phone Comm	Yes	Footpath	Bitumen
Road	⊗	Bitumen	Kerb	Mountable	Drainage	Good

COTTAGE & ENGINEERING SURVEYS
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au
J/No: 441966 Drawn: C. Weightman

Drwg: SITE PLAN

Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**

Map Ref: StreetSmart@ - 282 22/73

CONTRACTS

OWNER..... DATE.....

OWNER..... DATE.....

BUILDER..... DATE.....

CUSTOM

Local Authority: **WANNEROO**

Job No: **G1353**

Date Dm: **17/09/18**

Dm By: **PS/IVY**

Check: **ES**

Sales: **JB**

Scale: **1:200**

Sheet #02 Rev: 01

AVELING DEVELOPMENTS

STRATA, DUPLEX, TRIPLEX, MULTI-UNITS.

BUILDING CONTRACTOR N° 12788
Level 1, 42 Cedric Street, Stirling WA 6021
Phone (08) 6144 1000 Fax (08) 6144 1004
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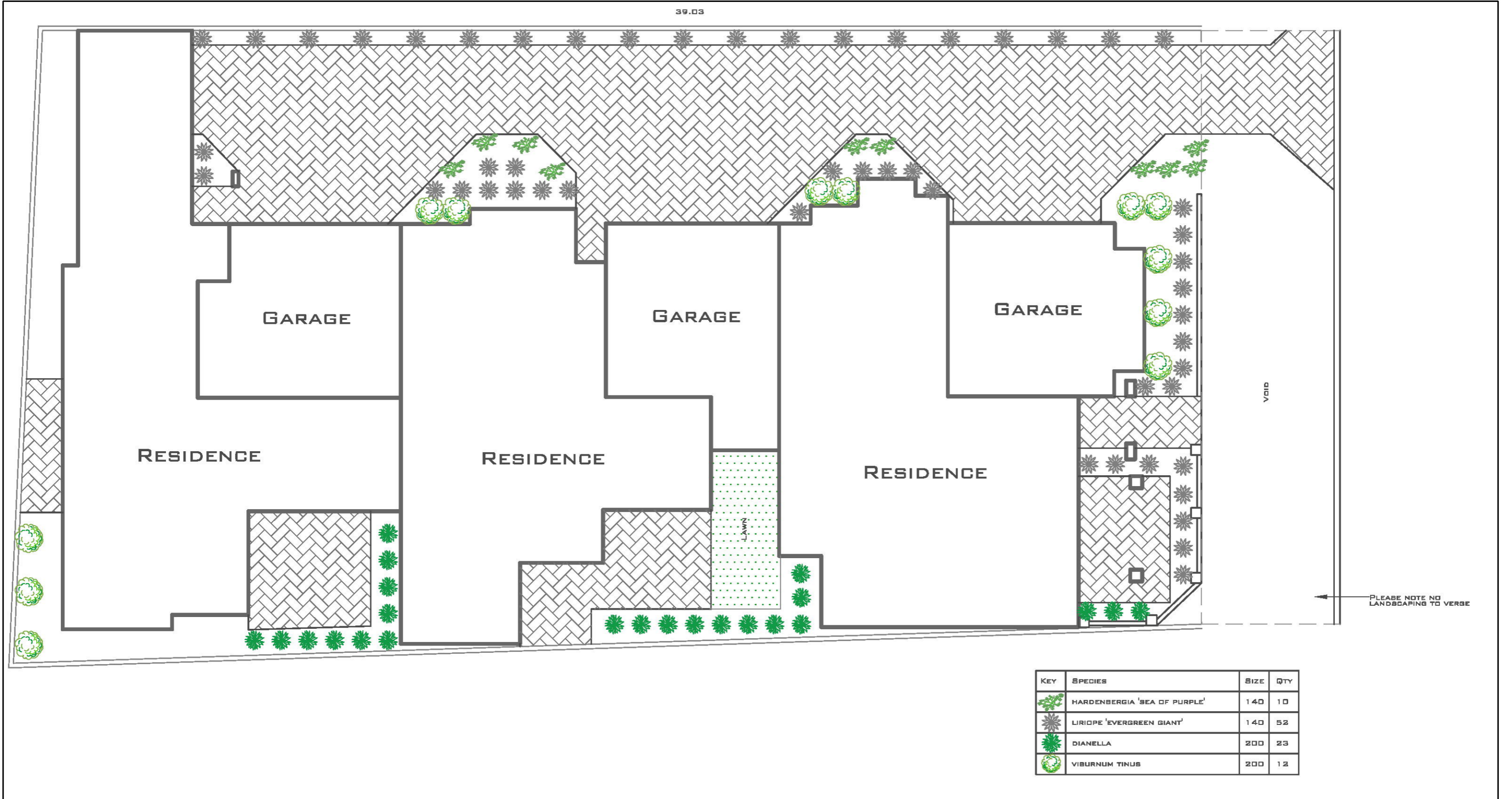
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CLIENT: AVELING HOMES
 LOT NO: 164 DATE: 07.01.2019
 STREET: #19 ALLINSON DRIVE
 SUBURB: GIRRAWHEEN
 SCALE: 1 : 100 DRAWN: MS DRAWING: 1 OF 1

GARDEN LAYOUT AND PLANT SELECTION APPROVAL
 DATE APPROVED: ___/___/___
 NAME:
 SIGNED:
 NORTH JOB NO: AVE3112



PLEASE NOTE NO LANDSCAPING TO VERGE

KEY	SPECIES	SIZE	QTY
	HARDENBERGIA 'SEA OF PURPLE'	140	10
	LIRIOPE 'EVERGREEN GIANT'	140	52
	DIABELLA	200	23
	VIBURNUM TINUS	200	12

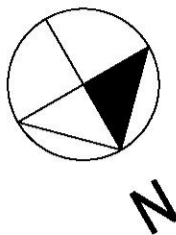
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Drwg: **LANDSCAPING PLAN**
 Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**
 Map Ref: StreetSmart® - 282 22/73

CONTRACTS		CUSTOM		Local Authority: WANNEROO	Job No: G1353
OWNER.....	DATE.....	Rev: 01	Date: 04/04/19	Amendment: PRE-CON VO - PLANNING REQUIREMENTS	Date Dm: 17/09/18
OWNER.....	DATE.....	02			Dm By: PS/IVY
BUILDER.....	DATE.....	03			Check: ES
		04			Sales: JB
		05			Scale:
		06			Sheet #05 Rev: 01
		07			

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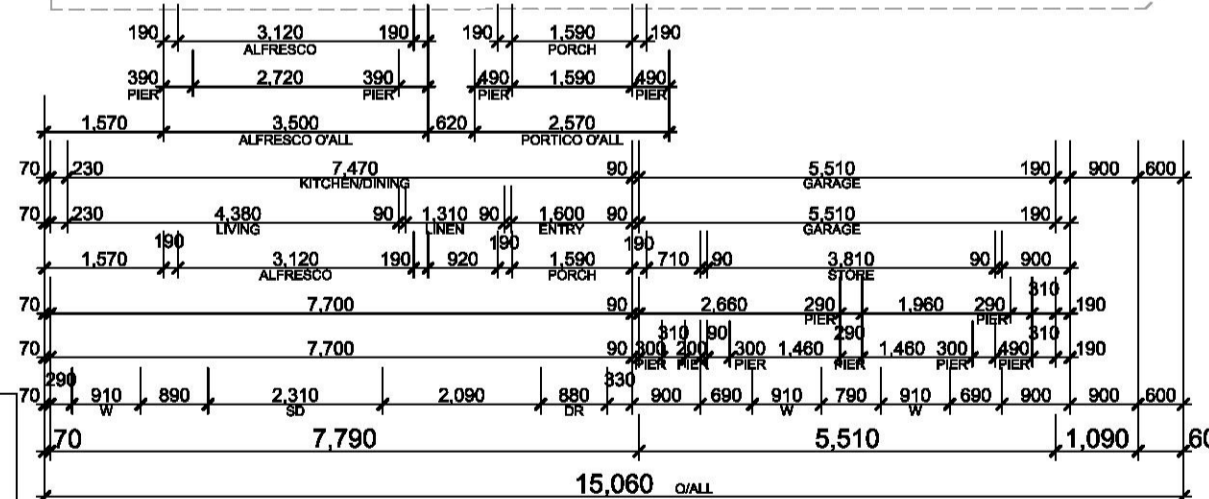
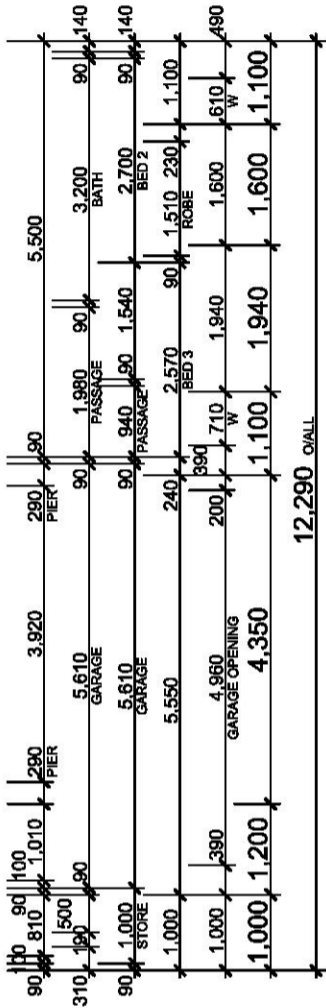
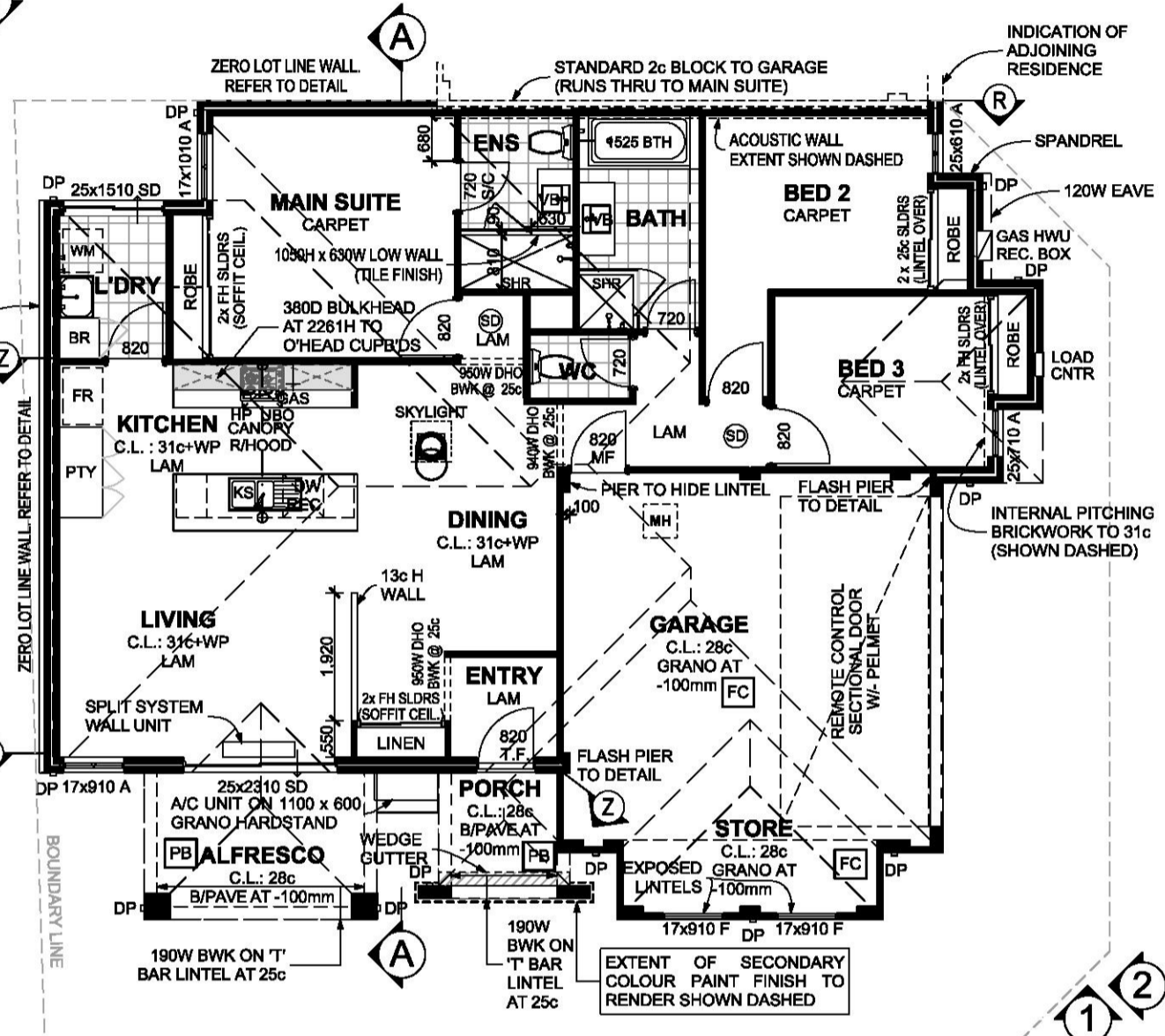
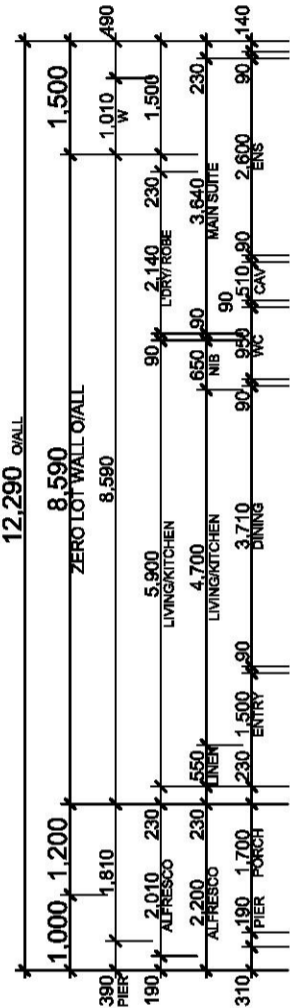
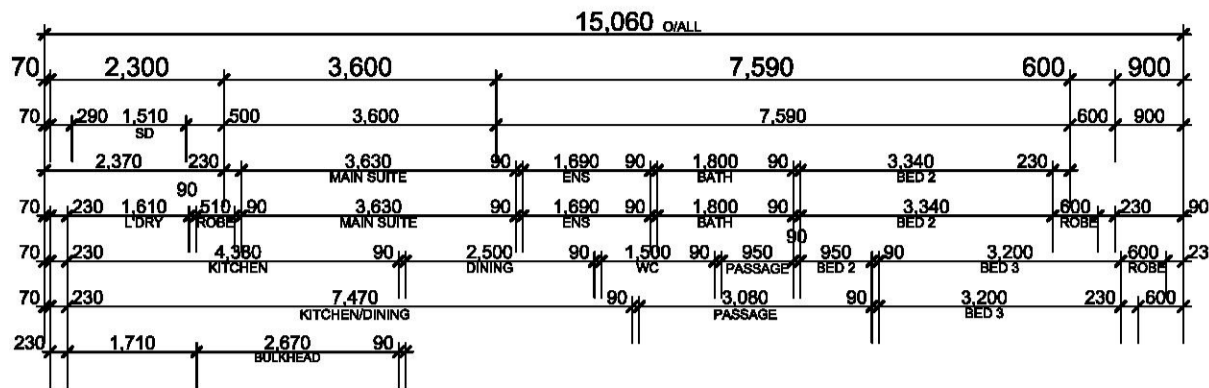
NOTE:
CEILING 28c + WALL PLATE
 UNLESS NOTED OTHERWISE.
METAL DECK ROOF
AT 20°, EAVE 600MM
 02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

NOTE :
 SHADED AREA DENOTES BULKHEAD OR SUSPENDED CEILING BY CEILING FIXER AT HEIGHT NOMINATED

NOTE:
 REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRE-LAY AND WET AREA SETOUT

NOTE:
 PROVIDE SPLIT SYSTEM AIR CONDITIONING UNIT AS SPECIFIED

NOTE:
 PROVIDE 01c LONGREACH SOLID BRICK SILL (NOM. 290 x 76 x 90) TO OPENINGS



(U.N.O.) UNLESS NOTED OTHERWISE ON PLAN THE FOLLOWING SHALL APPLY:

BRICKLAYER NOTE
 6MM RODS & 3c OF LONGREACH BRICK TO TOP OF INTERNAL WALLS BETWEEN Z-Z.

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL SHEET & ENGINEER CERTIFIED DETAILS

REFER TO ENGINEERS TIE DOWN DETAILS

ROOF CARPENTER NOTE

REFER TO ENGINEERS TIE DOWN DETAILS

REFER TO BUILDERS ROOF CARPENTER SPECIFICATION.

FIXING CARPENTER NOTE

PROVIDE GALLOW'S BRACKET SUPPORT TO SHELVES OVER 1800MM LONG (MAX. 1800cts)

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250MM OFF WALL BACK OF SHELF.

WIR/ROBE: SHELF & RAIL AT 1800MM A.F.L.

PANTRY: 4 SHELVES TOP SHELF AT 1800MM A.F.L. BOTTOM SHELF AT 600MM A.F.L. EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES TOP SHELF AT 1800MM A.F.L. EQ. SPACE ALL SHELVES TO F.F.L.

BROOM: 1 x SHELF AT 1800MM A.F.L.

PROVIDE DRAFTPROOF SEAL TO ENTRY, GARAGE/ENTRY & LAUNDRY EXTERNAL DOORS WHERE APPLICABLE

TOWEL RAILS FIXED AT 900MM A.F.L.

CLIENT NOTE
 NOTED DIMENSIONS WILL TAKE PREFERENCE TO SCALE.
 DIMENSIONS SHOWN ON PLANS ARE TO BRICKWORK. INTERNAL SPACES WILL ALTER IN SIZE TO ACCOMMODATE WALL FINISHES.
 HFLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS U.N.O.
 NUMBER AND SPACING OF RAIN WATER PIPES IS APPROXIMATE & GOVERNED BY ROOF STRUCTURE & AT THE PLUMBERS DISCRETION.
 ALL STRUCTURAL BEAMS IN ACCORDANCE WITH THE ENGINEERS SIGNED DETAILS AND SPECIFICATIONS

ENERGY EFFICIENCY REQUIREMENTS
 CAVITY WALL INSULATION: **NIL** (Extent between markers X-X)
 LIVING CEILING INSULATION: **R4.1**
 GARAGE CEILING INSULATION: **NIL**
 ROOF INSULATION: **NIL**
 DESIGN CHANGES: **NIL**
 WINDOW GLAZING: **SINGLE CLEAR**
ENERGY RATING COMPLETE: NO

LEGEND:

GF	GROUND FLOOR
FF	FIRST FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
RL	REDUCED LEVEL
FFL	FINISHED FLOOR LEVEL
AFL	ABOVE FLOOR LEVEL
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
PL	PRIVACY LOCK
OBS	OBSCURE GLASS
DG	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
PB	PLASTERBOARD
FC	FIBRE CEMENT VILLABOARD (FC)
VB	VILLABOARD (VB)
SC	SKIM COAT (PLASTER)
PF	PAINT FINISH
AT	ACRYLIC TEXTURE
DP	DOWNPIPE
SPDR	SPREADER
RWH	RAIN WATER HEAD
NTB	NOT TO BOND FLOOR WASTE
FW	FLOOR WASTE

ID	FLOOR PLAN	M ²	PERIM.
01	ALFRESCO	7.70	11.40
01	GARAGE	31.84	23.36
01	PORCH	3.02	6.98
01	PROPOSED RESIDENCE	111.41	50.60
01	STORE	4.75	10.36
		158.72 m²	102.70 m
ID	ROOF AREA GF	M ²	PERIM.
01	ROOF AREA GF	157.68	59.48



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 STRATA. DUPLEX. TRIPLEX. MULTI-UNITS.
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Dwg: **U1 FLOOR PLAN**
 Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**
 Map Ref: StreetSmart® - 282 22/73

CONTRACTS
 OWNER..... DATE.....
 OWNER..... DATE.....
 BUILDER..... DATE.....

CUSTOM
 Local Authority: **WANNEROO**
 Job No: **G1353**
 Date Dm: **17/09/18**
 Dm By: **PS/IVY**
 Check: **ES**
 Sales: **JB**
 Scale: **1:100**
 Sheet #: **06** Rev: **01**

Rev: Date: Amendment:
 01 04/04/18 PRE-CON VO - PLANNING REQUIREMENTS
 02
 03
 04
 05
 06
 07

PLANNING DRAWINGS

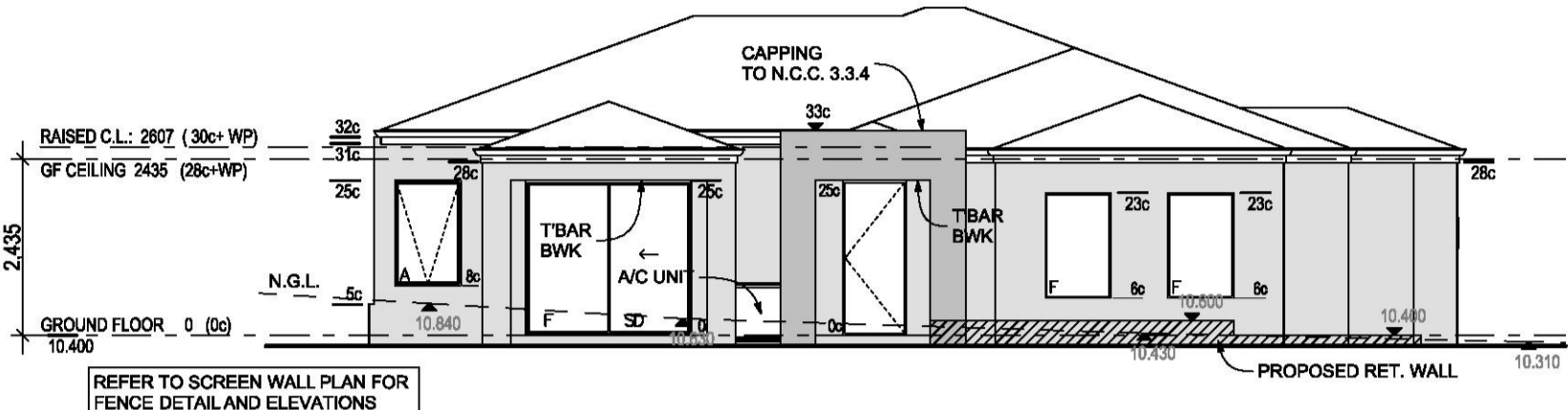
NOTE: LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

NOTE: DARK GREY SHADING TO RENDER INDICATES SECONDARY COLOUR

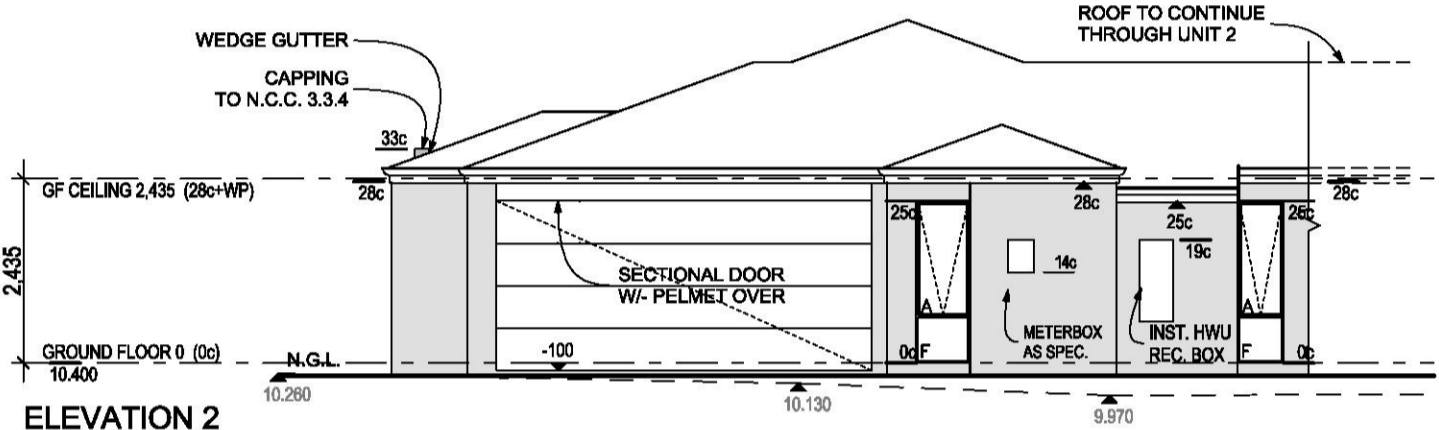
NOTE: 01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.

NOTE:
 CEILING 28c + WALL PLATE UNLESS NOTED OTHERWISE.
 METAL DECK ROOF AT 20°, EAVE 600MM
 02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

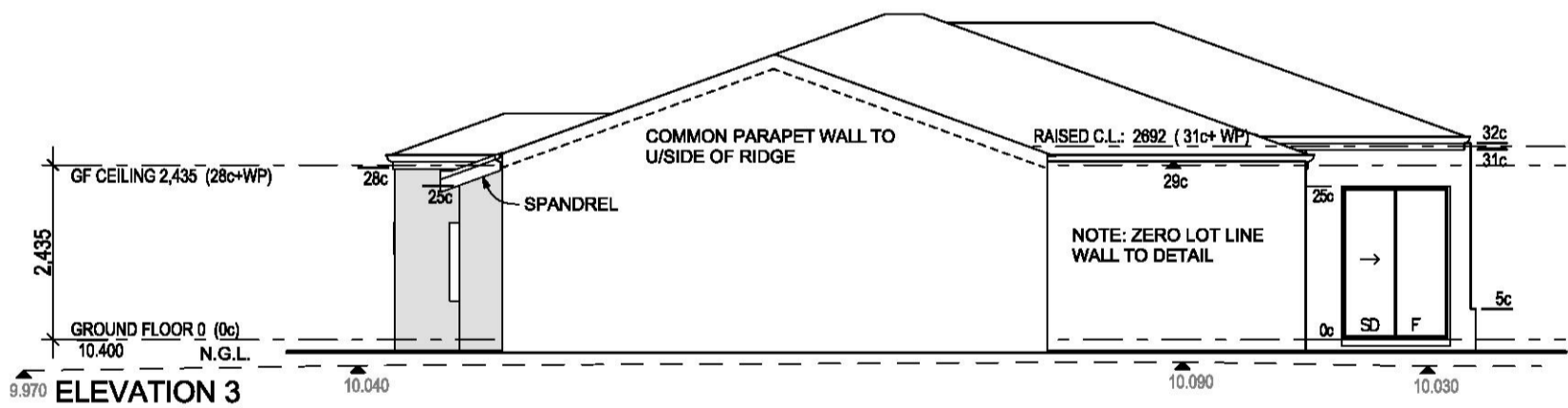
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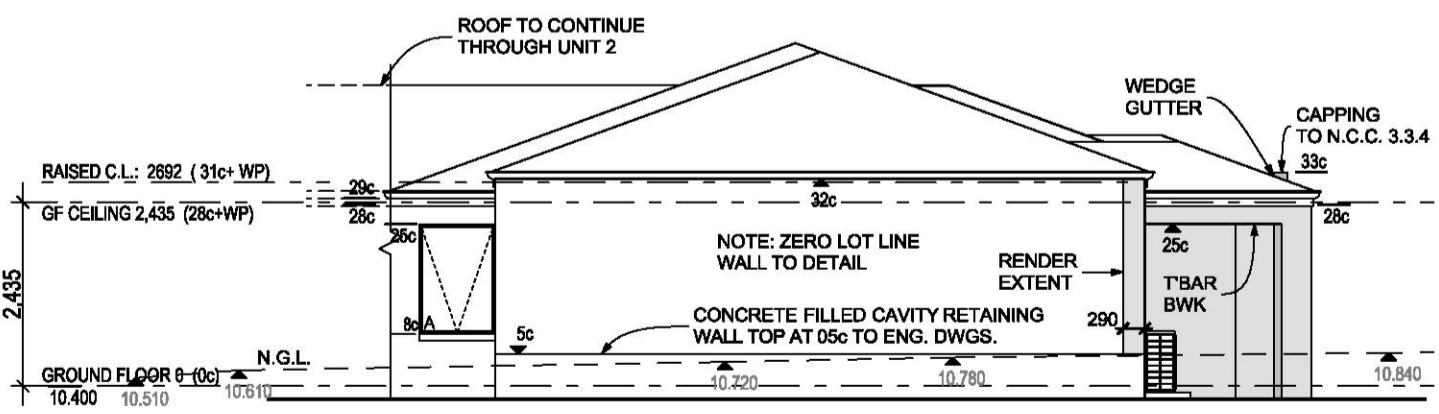
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

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Drwg: **U1 ELEVATIONS**
 Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**
 Map Ref: StreetSmart® - 282 22/73

CONTRACTS
 OWNER..... DATE.....
 OWNER..... DATE.....
 BUILDER..... DATE.....

CUSTOM
 Local Authority: **WANNEROO**
 Rev: 01 Date: 04/04/19 Amendment: PRE-CON VO - PLANNING REQUIREMENTS
 02
 03
 04
 05
 06
 07

Job No: **G1353**
 Date Dm: 17/09/18
 Dm By: PS/IVY
 Check: ES
 Sales: JB
 Scale:
 Sheet #07 Rev: 01

PLANNING DRAWINGS

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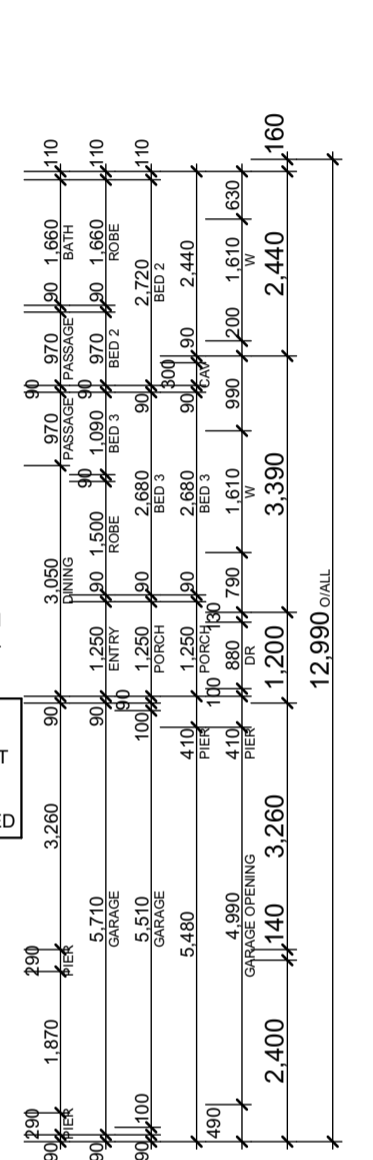
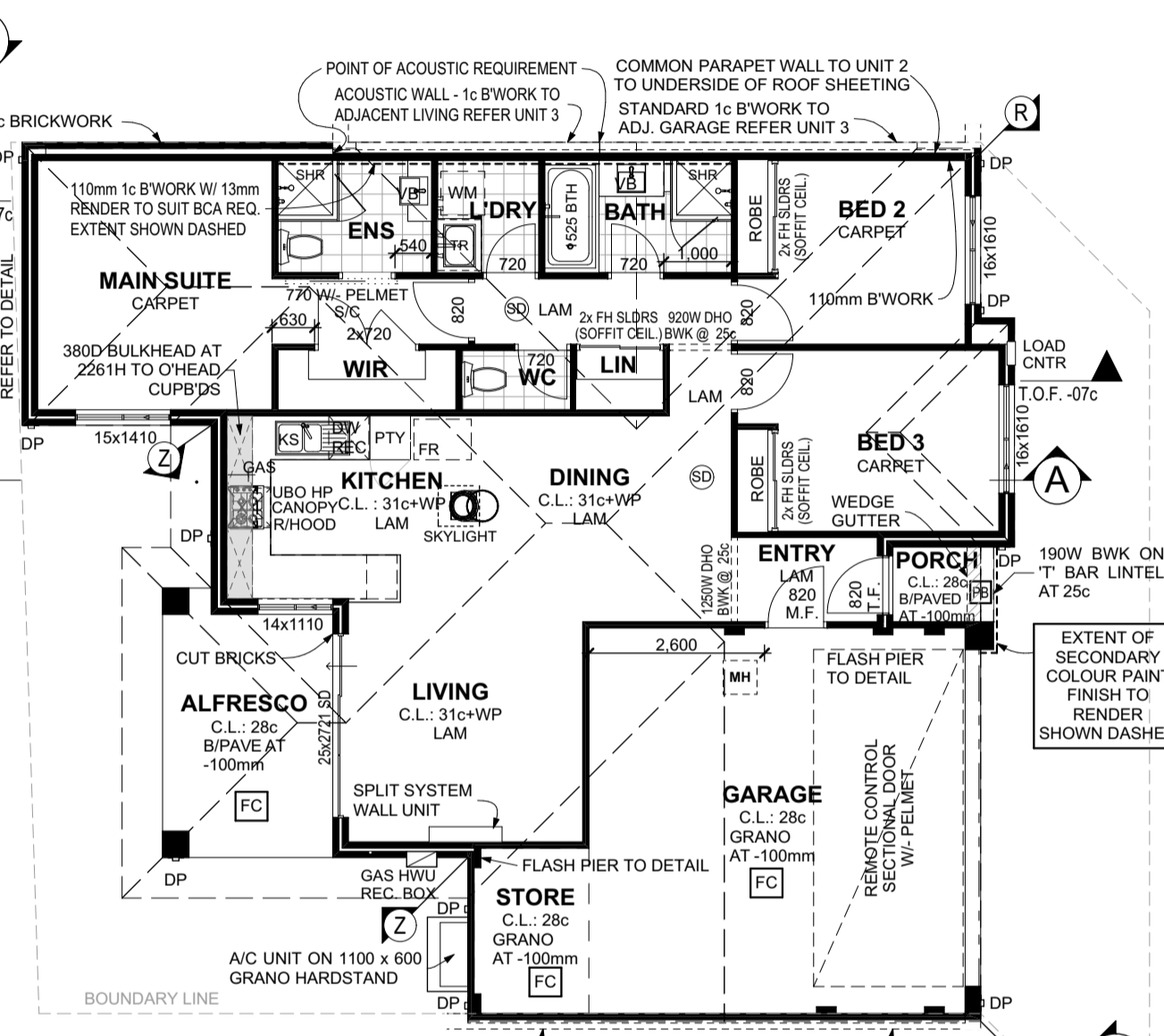
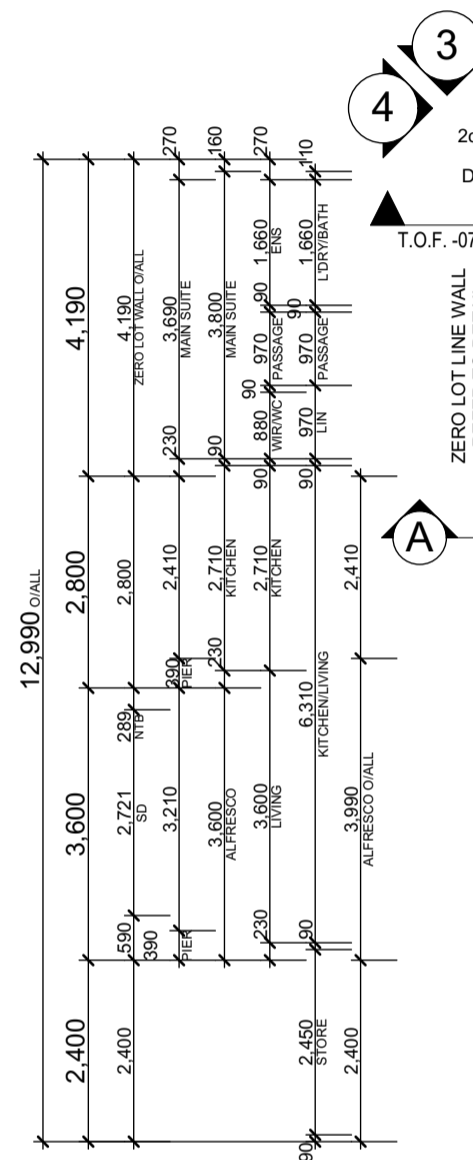
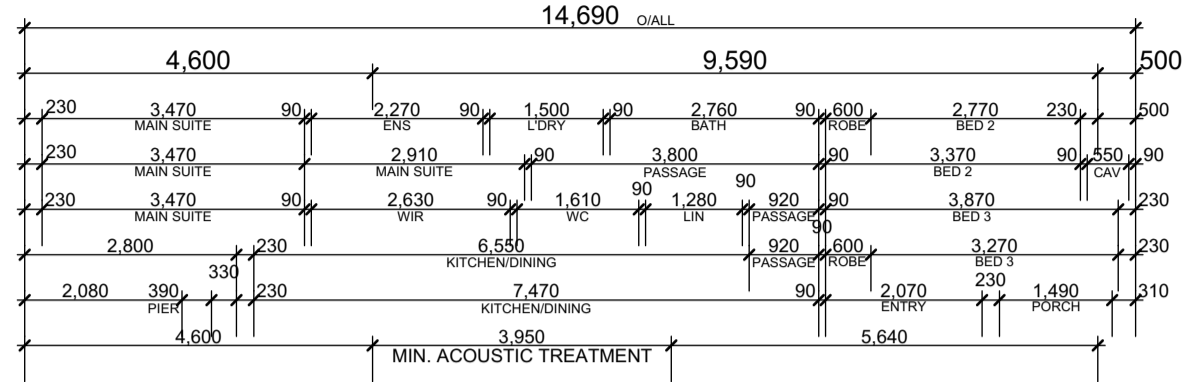
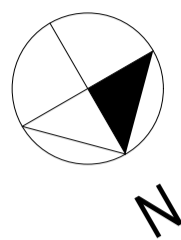
Last accessed: SimonB on 4/04/2019

NOTE:
CEILING **28c + WALL PLATE** UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 20°, EAVE 600MM
02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

NOTE:
SHADED AREA DENOTES BULKHEAD OR SUSPENDED CEILING BY CEILING FIXER AT HEIGHT NOMINATED

NOTE:
REFER TO SLAB SETOUT PLAN FOR SLAB, PLUMBING PRE-LAY AND WET AREA SETOUT

NOTE:
PROVIDE SPLIT SYSTEM AIR CONDITIONING UNIT AS SPECIFIED



(U.N.O.) UNLESS NOTED OTHERWISE ON PLAN THE FOLLOWING SHALL APPLY:

BRICKLAYER NOTE
6MM RODS & 3c OF LONGREACH BRICK TO TOP OF INTERNAL WALLS BETWEEN Z-Z.

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL SHEET & ENGINEER CERTIFIED DETAILS

REFER TO ENGINEERS TIE DOWN DETAILS

ROOF CARPENTER NOTE

REFER TO ENGINEERS TIE DOWN DETAILS

FIXING CARPENTER NOTE

PROVIDE GALLOWS BRACKET SUPPORT TO SHELVES OVER 1800MM LONG (MAX. 1800cts)

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250MM OFF WALL/BACK OF SHELF.

WIR/ROBE: SHELF & RAIL AT 1800MM A.F.L.

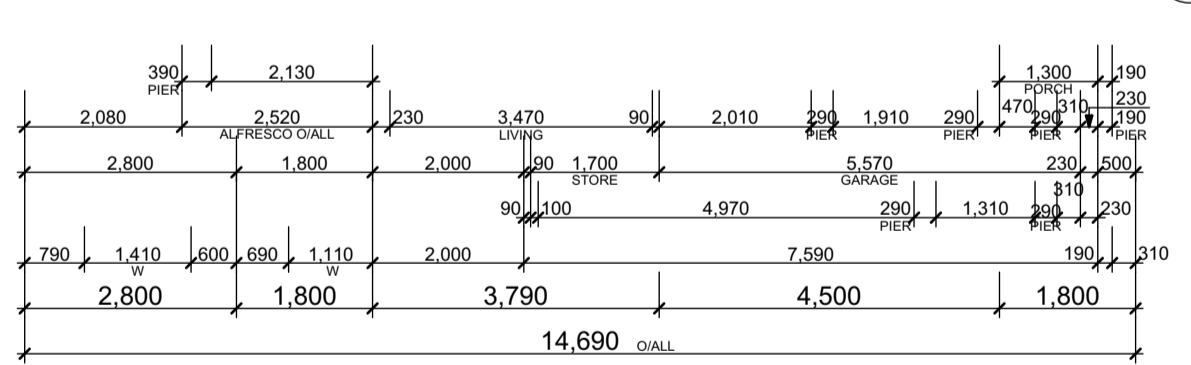
PANTRY: 4 SHELVES TOP SHELF AT 1800MM A.F.L. BOTTOM SHELF AT 600MM A.F.L. EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES TOP SHELF AT 1800MM A.F.L. EQ. SPACE ALL SHELVES TO F.F.L.

BROOM: 1 x SHELF AT 1800MM A.F.L.

PROVIDE DRAFTPROOF SEAL TO ENTRY, GARAGE/ENTRY & LAUNDRY EXTERNAL DOORS WHERE APPLICABLE

TOWEL RAILS FIXED AT 900MM A.F.L.



CLIENT NOTE

NOTED DIMENSIONS WILL TAKE PREFERENCE TO SCALE.

DIMENSIONS SHOWN ON PLANS ARE TO BRICKWORK. INTERNAL SPACES WILL ALTER IN SIZE TO ACCOMMODATE WALL FINISHES

H/FLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS U.N.O.

ENERGY EFFICIENCY REQUIREMENTS

CAVITY WALL INSULATION: **NIL**
(Extent between markers X-X)

LIVING CEILING INSULATION: **R4.1**

GARAGE CEILING INSULATION: **NIL**

ROOF INSULATION: **NIL**

DESIGN CHANGES: **NIL**

WINDOW GLAZING: **SINGLE CLEAR**

ENERGY RATING COMPLETE: **NO**

LEGEND:

GF	GROUND FLOOR
FF	FIRST FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
RL	REDUCED LEVEL
FFL	FINISHED FLOOR LEVEL
AFL	ABOVE FLOOR LEVEL
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
PL	PRIVACY LOCK
OBS	OBSCURE GLASS
DG	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
PB	PLASTERBOARD
FC	FIBRE CEMENT VILLABOARD (FC)
VB	VILLABOARD (FC)
SC	SKIM COAT (PLASTER)
PF	PAINT FINISH
AT	ACRYLIC TEXTURE
DP	DOWNPIPE
SPRDR	SPREADER
RWH	RAIN WATER HEAD
NTB	NOT TO BOND
FW	FLOOR WASTE

ID	AREA	M ²	PERIM.
02	ALFRESCO	9.35	13.02
02	GARAGE	33.76	23.38
02	PORCH	1.67	5.22
02	PROPOSED RESIDENCE	104.53	50.56
02	STORE	4.53	8.67
		153.84 m²	100.85 m
ID	ROOF	M ²	PERIM.
02	ROOF AREA GF	160.42	56.35

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Drwg: **U2 FLOOR PLAN**

Client: **KINYUA**

Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**

Map Ref: StreetSmart® - 282 22/73

CONTRACTS

OWNER..... DATE.....

OWNER..... DATE.....

BUILDER..... DATE.....

CUSTOM

Local Authority: **WANNEROO**

Job No: **G1353**

Date Dm: **17/09/18**

Dm By: **PS/IVY**

Check: **ES**

Sales: **JB**

Scale: **1:100**

Sheet #**06** Rev: **01**

PLANNING DRAWINGS

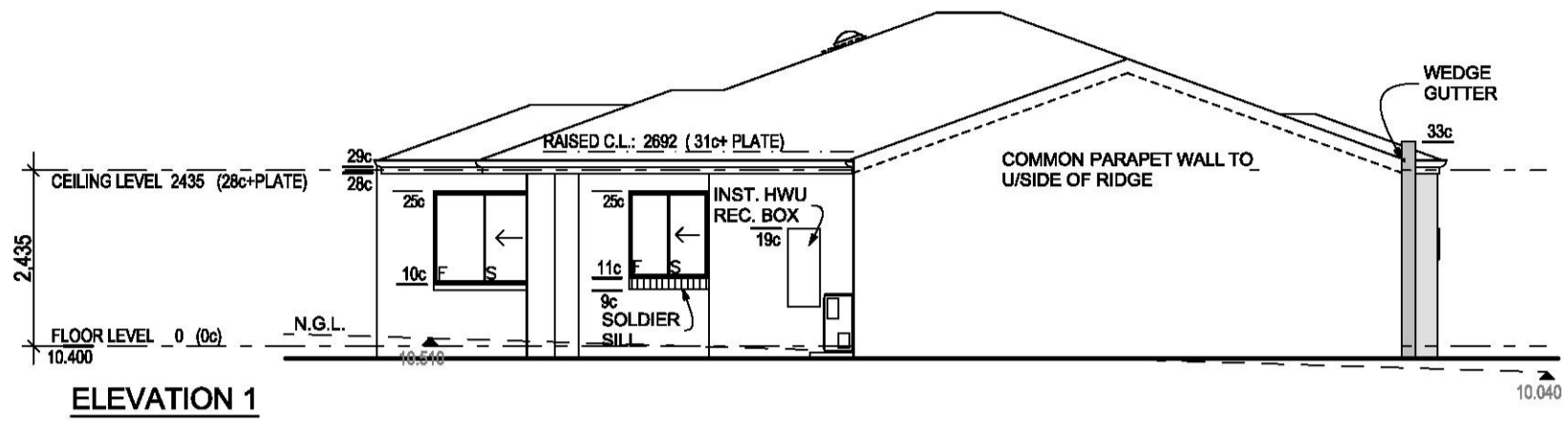
NOTE: LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

NOTE: DARK GREY SHADING TO RENDER INDICATES SECONDARY COLOUR

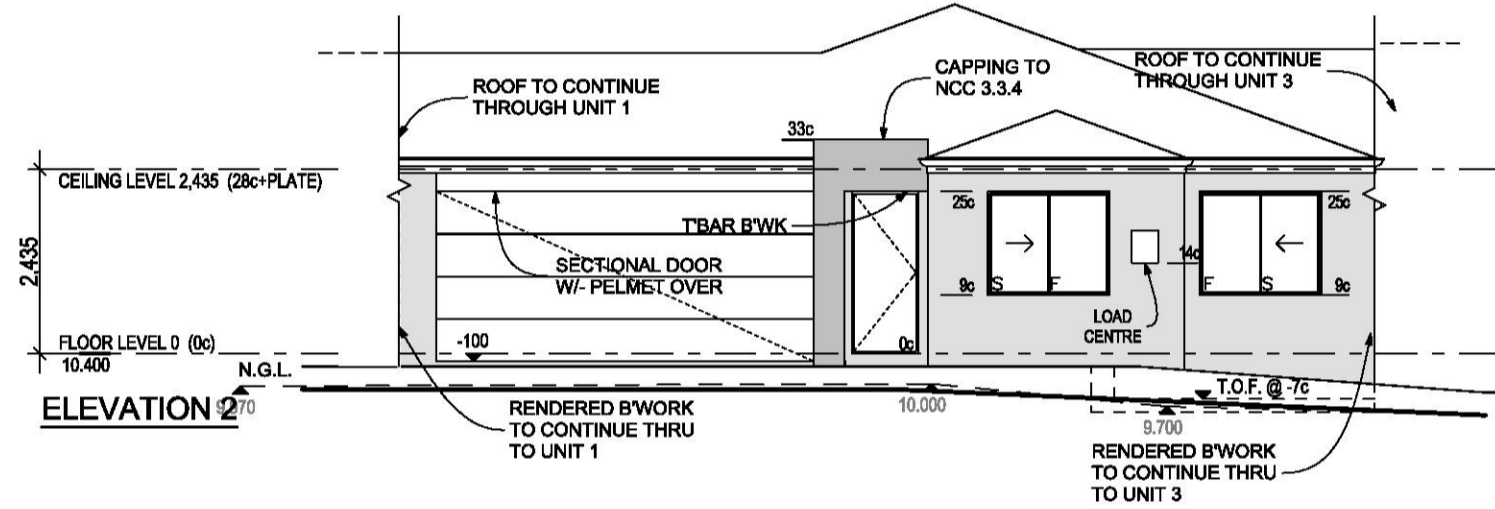
NOTE: 01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.

NOTE:
 CEILING 28c + WALL PLATE UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 20°, EAVE 600MM
 02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL B'WK UNLESS NOTED OTHERWISE.

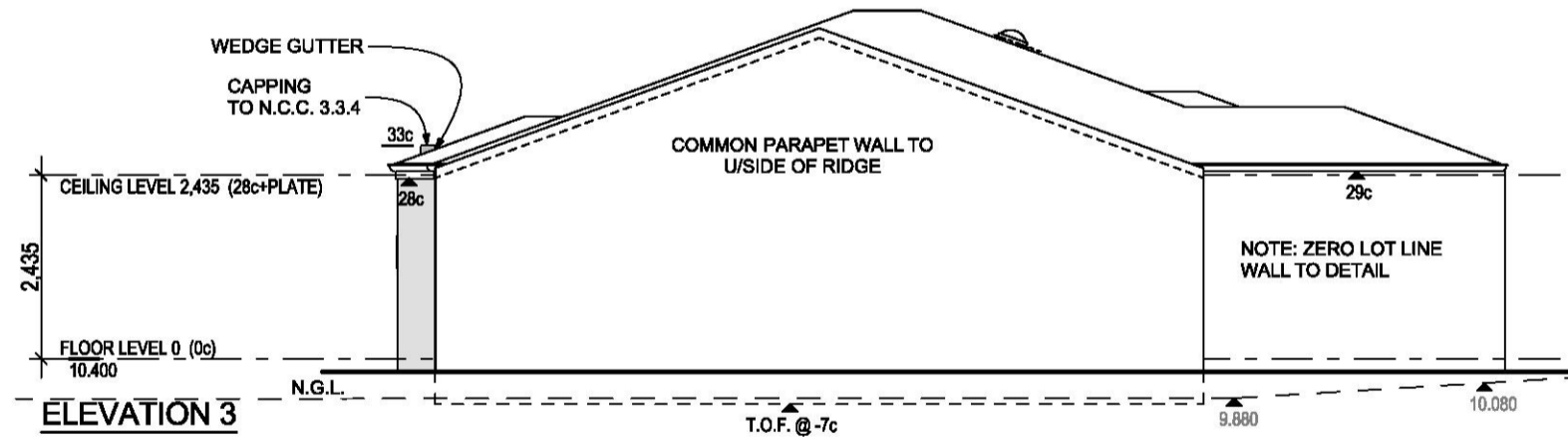
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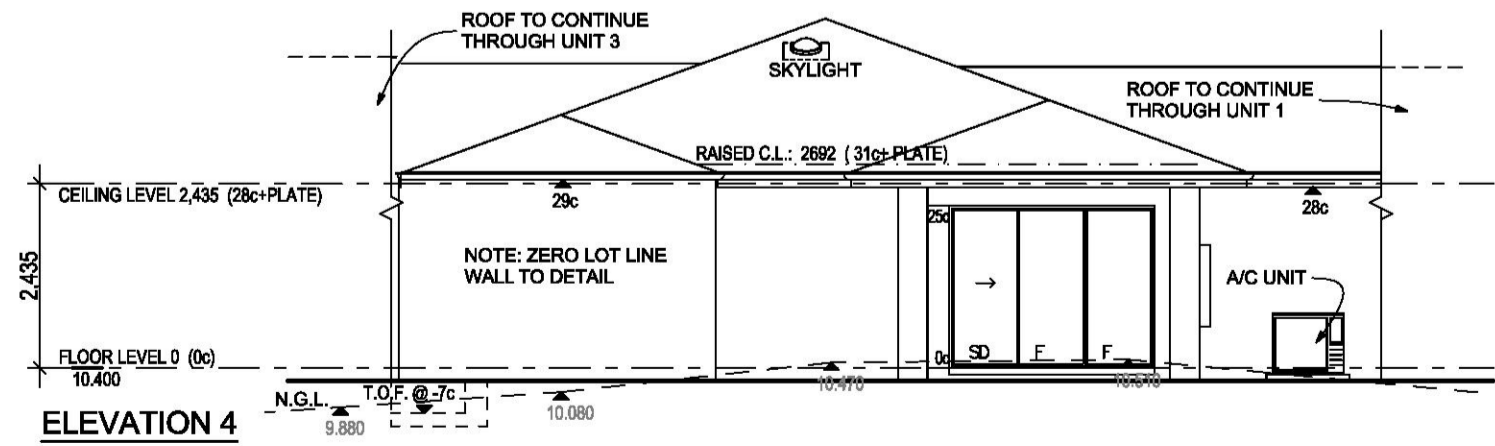
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

AVELING DEVELOPMENTS
 STRATA, DUPLEX, TRIPLEX, MULTI-UNITS.
 BUILDING CONTRACTOR N° 12788
 Level 1, 42 Cedric Street, Stirling WA 6021
 Phone (08) 6144 1000 Fax (08) 6144 1004
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Drwg: **U2 ELEVATIONS**
 Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**
 Map Ref: StreetSmart® - 282 22/73

CONTRACTS
 OWNER..... DATE.....
 OWNER..... DATE.....
 BUILDER..... DATE.....

CUSTOM
 Rev: 01 Date: 04/04/19 Amendment: PRE-CON VO - PLANNING REQUIREMENTS
 Rev: 02
 Rev: 03
 Rev: 04
 Rev: 05
 Rev: 06
 Rev: 07

Local Authority: **WANNEROO**
 Job No: **G1353**
 Date Dm: 17/09/18
 Dm By: PS/IVY
 Check: ES
 Sales: JB
 Scale:
 Sheet #07 Rev: 01

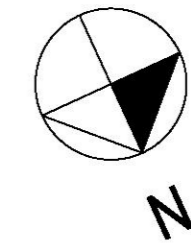
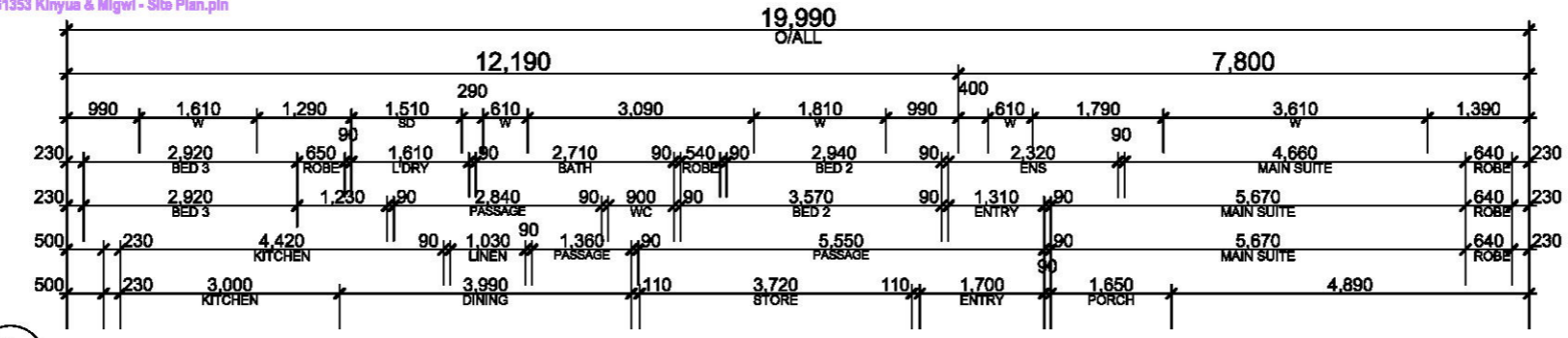
PLANNING DRAWINGS

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NOTE:
 CEILING 28c + WALL PLATE UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 20°, EAVE 600MM
 02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.

NOTE:
 SHADED AREA DENOTES BULKHEAD OR SUSPENDED CEILING BY CEILING FIXER AT HEIGHT NOMINATED

NOTE:
 PROVIDE SPLIT SYSTEM AIR CONDITIONING UNIT AS SPECIFIED



(U.N.O.) UNLESS NOTED OTHERWISE ON PLAN THE FOLLOWING SHALL APPLY:

BRICKLAYER NOTE
 6MM RODS & 3c OF LONG REACH BRICK TO TOP OF INTERNAL WALLS BETWEEN Z-Z

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL SHEET & ENGINEER CERTIFIED DETAILS

REFER TO ENGINEERS TIE DOWN DETAILS

ROOF CARPENTER NOTE

REFER TO ENGINEERS TIE DOWN DETAILS

REFER TO BUILDERS ROOF CARPENTER SPECIFICATION

FIXING CARPENTER NOTE

PROVIDE GALLONS BRACKET SUPPORT TO SHELVES OVER 1800MM LONG (MAX. 1800c)

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250MM OFF WALL/BACK OF SHELF.

W/IRROBE SHELF & RAIL AT 1800MM A.F.L.

PANTRY: 4 SHELVES
 TOP SHELF AT 1800MM A.F.L.
 BOTTOM SHELF AT 800MM A.F.L.
 EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES
 TOP SHELF AT 1800MM A.F.L.
 EQ. SPACE SHELVES TO F.F.L.

BROOM: 1 x SHELF AT 1800MM A.F.L.

PROVIDE DRAFTPROOF SEAL TO ENTRY, GARAGE/ENTRY & LAUNDRY EXTERNAL DOORS WHERE APPLICABLE

TOWEL RAILS FIXED AT 900MM A.F.L.

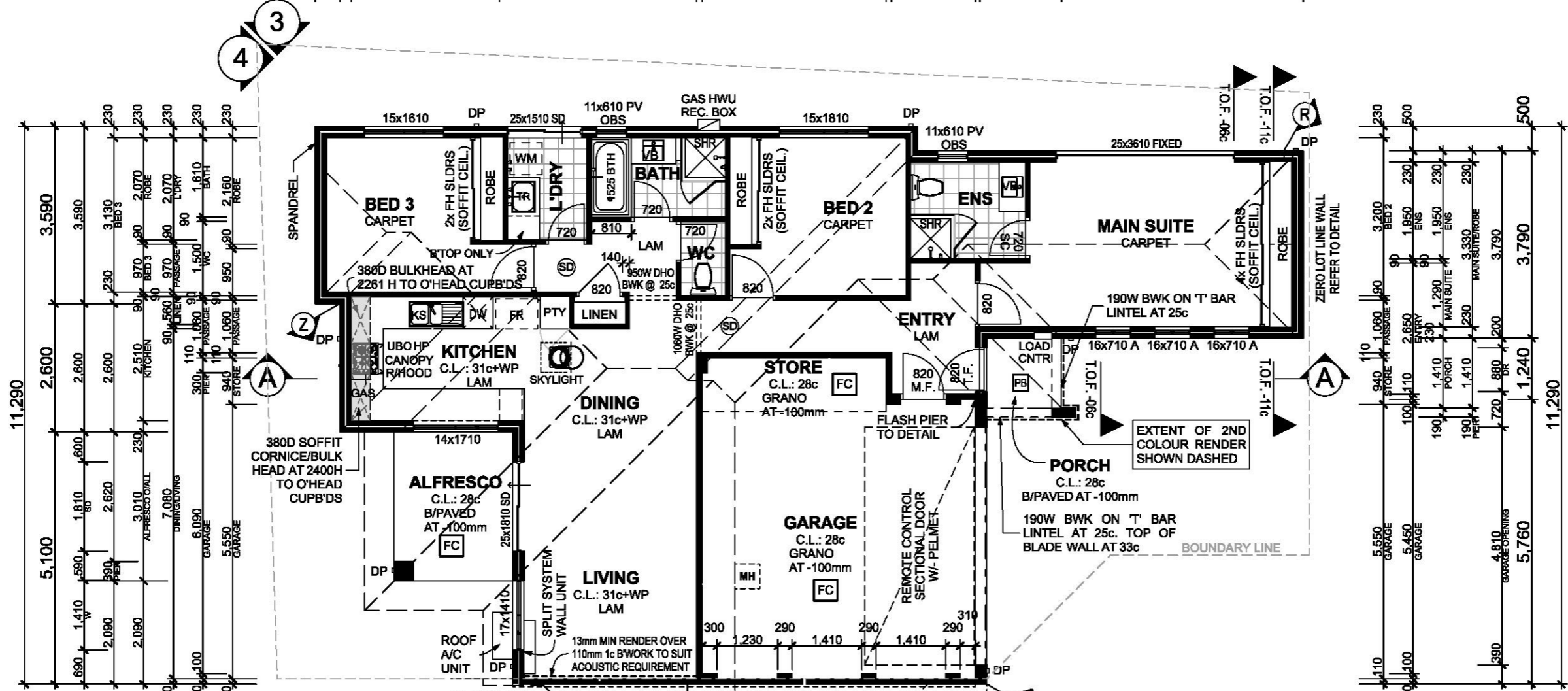
CLIENT NOTE
 NOTED DIMENSIONS WILL TAKE PREFERENCE TO SCALE.

DIMENSIONS SHOWN ON PLANS ARE TO BRICKWORK. INTERNAL SPACES WILL ALTER IN SIZE TO ACCOMMODATE WALL FINISHES

W/FLEX TO ALL EXTERNAL CEILINGS & EAVE LININGS U.N.O.

NUMBER AND SPACING OF RAIN WATER PIPES IS APPROXIMATE & GOVERNED BY ROOF STRUCTURE & AT THE PLUMBERS DISCRETION.

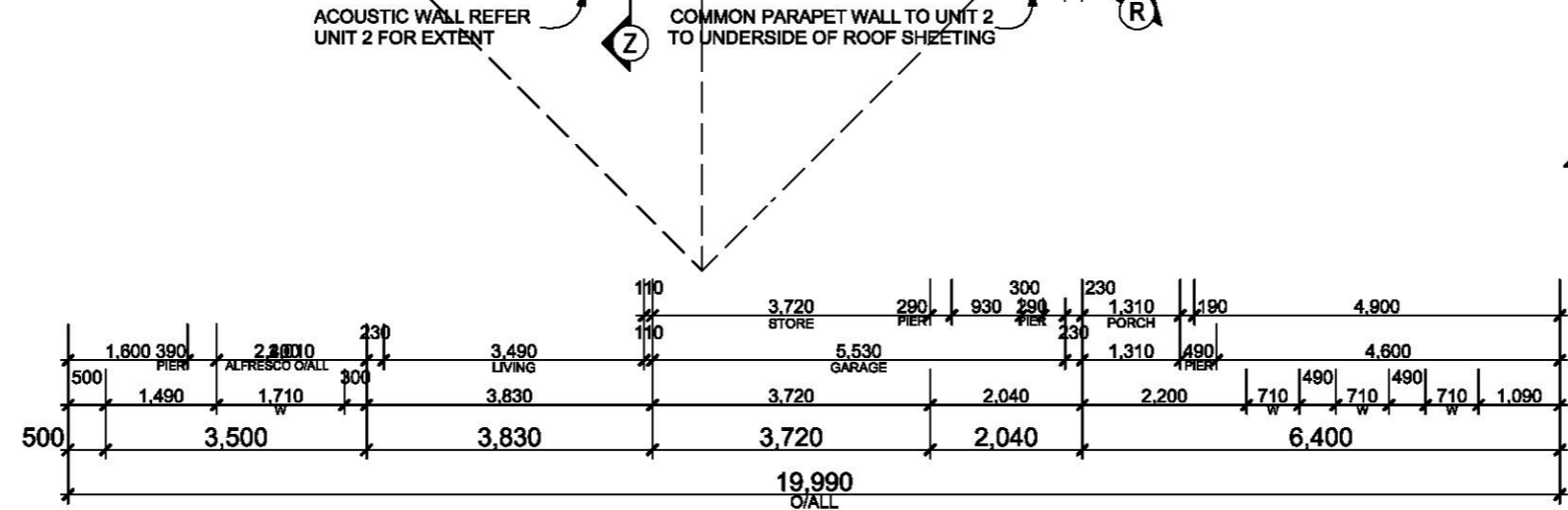
ALL STRUCTURAL BEAMS IN ACCORDANCE WITH THE ENGINEERS SIGNED DETAILS AND SPECIFICATIONS



ENERGY EFFICIENCY REQUIREMENTS
 CAVITY WALL INSULATION: **NIL**
 (Extent between markers X-X)
 LIVING CEILING INSULATION: **R4.1**
 GARAGE CEILING INSULATION: **NIL**
 ROOF INSULATION: **NIL**
 DESIGN CHANGES: **NIL**
 WINDOW GLAZING: **SINGLE CLEAR**
 ENERGY RATING COMPLETE: **NO**

LEGEND:

GF	GROUND FLOOR
FF	FIRST FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
RL	REDUCED LEVEL
FFL	FINISHED FLOOR LEVEL
AFL	ABOVE FLOOR LEVEL
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
PL	PRIVACY LOCK
OBS	OBSCURE GLASS
DG	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
PB	PLASTERBOARD
FC	FIBRE CEMENT
VB	VILLABOARD (FC)
SC	SKIM COAT(PLASTER)
PF	PAINT FINISH
AT	ACRYLIC TEXTURE
DP	DOWNPIPE
SPDR	SPREADER
RWH	RAIN WATER HEAD
NTB	NOT TO BOND
FW	FLOOR WASTE



ID	AREA	M²	PERIM.
01	PROPOSED RESIDENCE	118.98	64.24
02	GARAGE	32.28	23.04
03	STORE	4.02	9.60
04	PORCH	2.42	6.22
05	ALFRESCO	7.22	10.82
		164.92 m²	113.92 m
05	ROOF AREA GF	168.75	62.36

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Drwg: **U3 FLOOR PLAN**

Site: **LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN**

Map Ref: StreetSmart® - 282 227/3

CONTRACTS

OWNER..... DATE.....
 OWNER..... DATE.....
 BUILDER..... DATE.....

CUSTOM

Local Authority: **WANNEROO**

Job No: **G1353**

Date Dm: **17/09/18**

Drn By: **PS/IVY**

Check: **ES**

Sales: **JB**

Scale: **1:100**

Sheet #06 Rev: 01

PLANNING DRAWINGS

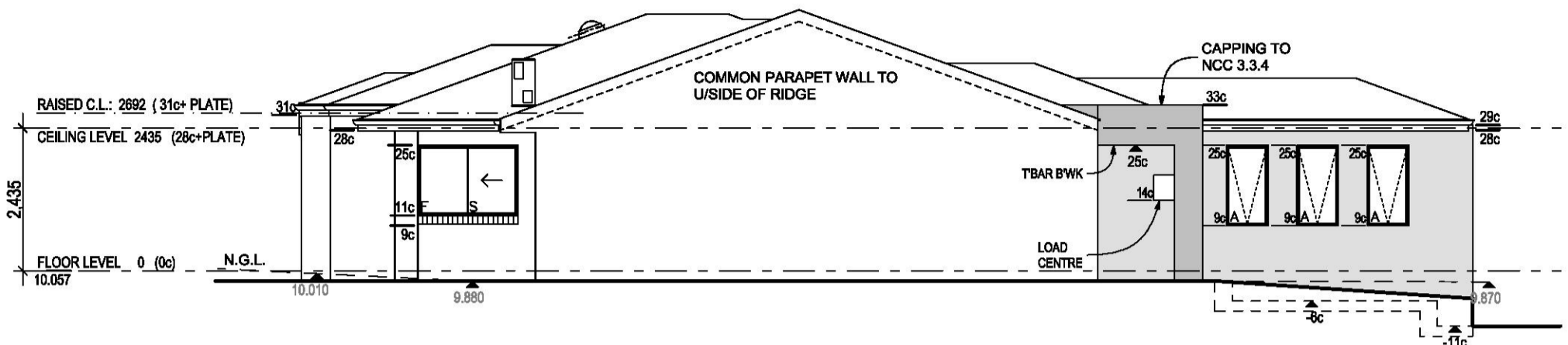
NOTE: LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

NOTE: DARK GREY SHADING TO RENDER INDICATES SECONDARY COLOUR

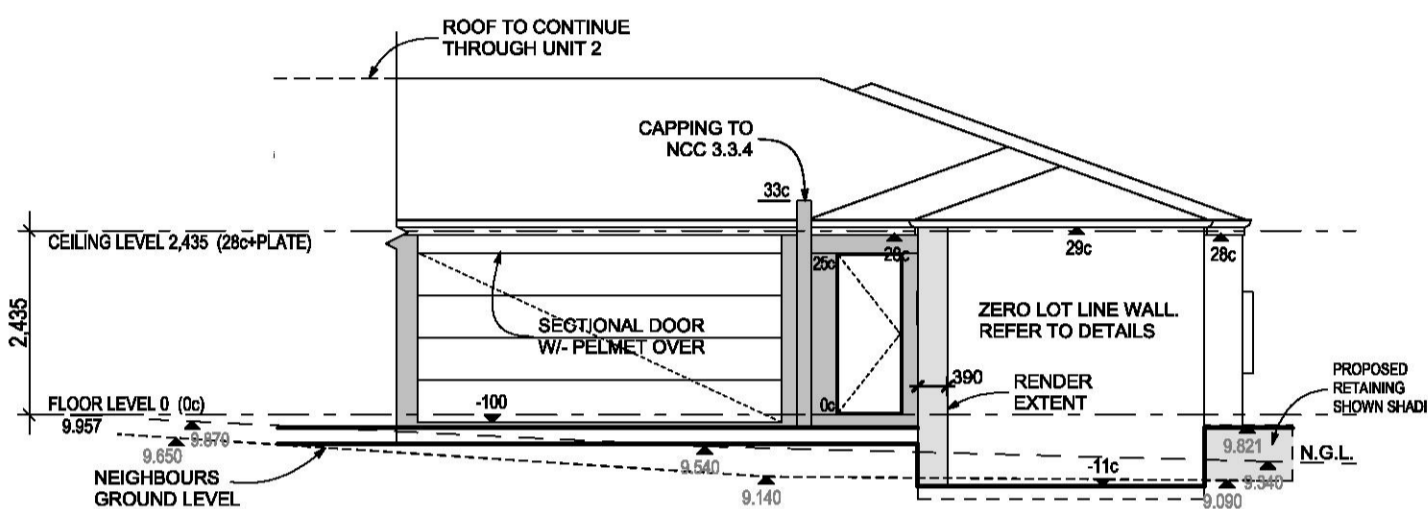
NOTE: 01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.

NOTE:
 CEILING 28c + WALL PLATE UNLESS NOTED OTHERWISE.
METAL DECK ROOF AT 20°, EAVE 600MM
 02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL B/WK UNLESS NOTED OTHERWISE.

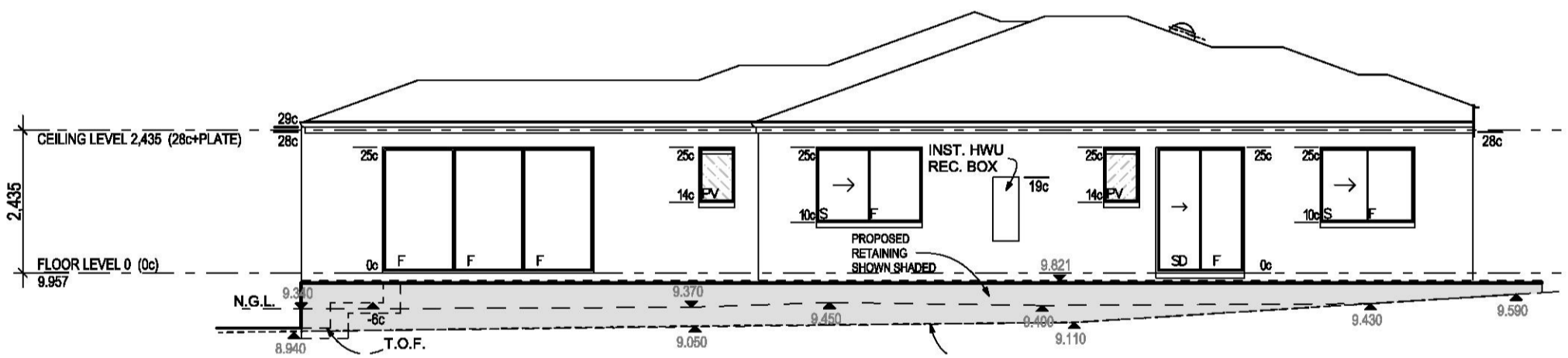
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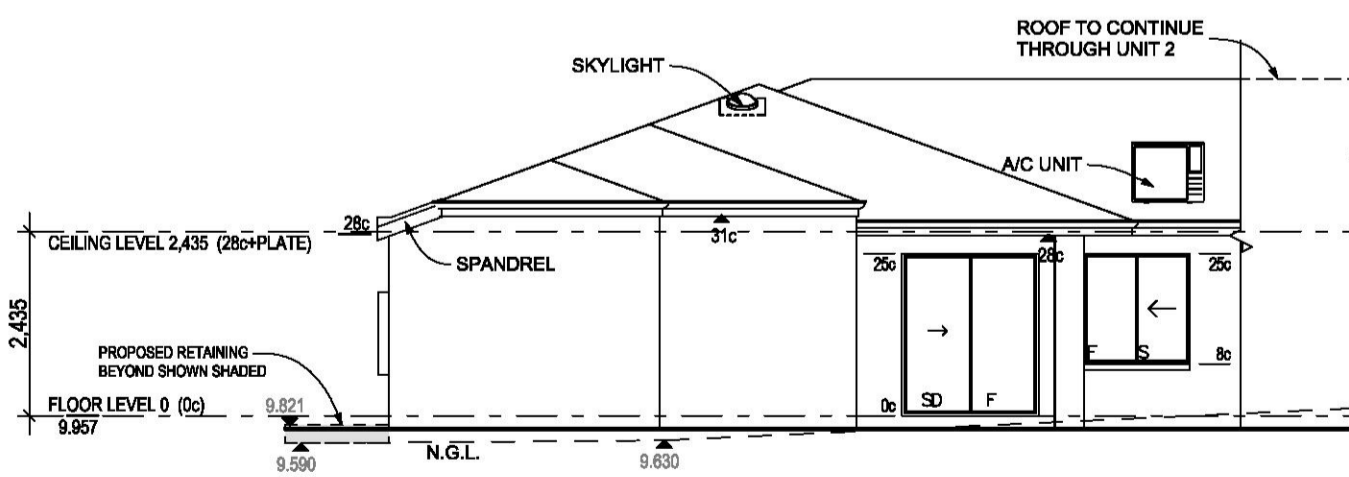
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

<p>AVELING DEVELOPMENTS STRATA. DUPLEX. TRIPLEX. MULTI-UNITS. BUILDING CONTRACTOR N° 12788 Level 1, 42 Cedric Street, Stirling WA 6021 Phone (08) 6144 1000 Fax (08) 6144 1004 © Copyright 2017 AVELING DEVELOPMENTS</p>	Drwg: U3 ELEVATIONS	CONTRACTS	CUSTOM	Local Authority: WANNEROO	Job No: G1353	
	Site: LOT 164 #19 ALLINSON DRIVE GIRRAWHEEN	OWNER..... DATE..... OWNER..... DATE..... BUILDER..... DATE.....	Rev: 01 Date: 04/04/19 02 03 04 05 06 07	Amendment: PRE-CON VO - PLANNING REQUIREMENTS	Date Dm: 17/09/18 Dm By: PS/IVY Check: ES Sales: JB Scale: Sheet #07 Rev: 01	Map Ref: StreetSmart® - 282 22/73