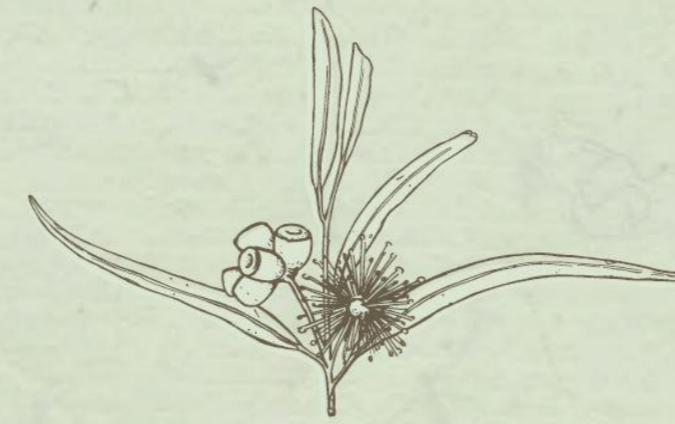


PROPOSED DEVELOPMENT APPLICATION FOR

LAM PROPERTY DEVELOPMENT GROUP PTY LTD

22 GROUPED DWELLINGS

LOT 69 (#91) STRIVE LOOP,
GIRRAWHEEN (BLACKMORE PARK ESTATE)
JOB # 155619
DECEMBER 2018



BLACKMORE PARK
ESTATE



(SOURCE NEARMAP)

DEVELOP | SUBDIVIDE | STRATA



PROUDLY PART OF THE SUMMIT HOMES GROUP
New Home Building | Renovation & Improvements | Developments | Investments | Realty | In-house Finance



PROPOSED DEVELOPMENT APPLICATION FOR

LAM PROPERTY DEVELOPMENT GROUP PTY LTD

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DECEMBER 2018



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(ILLUSTRATIVE PURPOSES ONLY)

DEVELOP | SUBDIVIDE | STRATA



PROUDLY PART OF THE SUMMIT HOMES GROUP
New Home Building | Renovation & Improvements | Developments | Investments | Realty | In-house Finance





Detailed Area Plan Provisions

The provisions of the City of Wanneroo District Planning Scheme No. 2 (DPS 2) and the Residential Design Codes (R-Codes) apply unless otherwise provided below. The following standards are deemed to meet the relevant design principles of the R-Codes and do not require consultation with adjoining land owners. Compliance with this Detailed Area Plan replaces the need to obtain planning approval for the development of a single house.

R Coding	R40/R60
Minimum Open Space <ul style="list-style-type: none"> Lots 36-42 Lot 19 Lot 69 All other lots 	<ul style="list-style-type: none"> 35% Subject to Clause 2 35% Subject to Clause 3 30% Subject to Clause 4 40% Subject to Clause 2
Building Setbacks <ul style="list-style-type: none"> Lots 36-42 	<ul style="list-style-type: none"> Fronting Primary Street: Minimum 2m Secondary Street: Minimum 1m All other side boundaries: May be Nil subject to Clause 6 Laneway: Minimum 1m
<ul style="list-style-type: none"> Lots 43-47 	<ul style="list-style-type: none"> Fronting POS: Minimum 2m Secondary Street: Minimum 1m Side boundary abutting POS: Minimum 1m All other side boundaries: May be Nil subject to Clause 6 Laneway: Minimum 1m
<ul style="list-style-type: none"> Lots 48-51 	<ul style="list-style-type: none"> Fronting Primary Street: Minimum 3m Secondary Street: Minimum 1m Side boundary abutting POS: Minimum 1m Rear boundary abutting POS: Minimum 2m All other side boundaries: May be nil subject to Clause 6
<ul style="list-style-type: none"> Lots 52-57 	<ul style="list-style-type: none"> Fronting POS: Minimum 2m Secondary Street: Minimum 1m All other side boundaries: May be Nil subject to Clause 6 Laneway: Minimum 1m
<ul style="list-style-type: none"> Lots 58-63 	<ul style="list-style-type: none"> Fronting Primary Street: Minimum 2m Secondary Street: Minimum 1m All other side boundaries: May be Nil subject to Clause 6 Laneway: Minimum 1m
<ul style="list-style-type: none"> Lots 64-68 	<ul style="list-style-type: none"> Primary Street: Minimum 3m Garage Street Frontage: Minimum 5.5m Garage Side: May be Nil subject to clause 6 Rear: Minimum 3m Side: 1 side minimum 1m 1 side may be Nil subject to clause 6
<ul style="list-style-type: none"> Lot 69 	<ul style="list-style-type: none"> Where fronting Primary Street: As per R Codes for main façade other than architectural/design features/porticos etc which may be a minimum of 1.5m. Side Boundaries: Minimum 1m at ground level only.

- The minimum open space provision shown under Clause 1 in the above table for all lots other than lots 19 and 69 shall be subject to the provision of an Outdoor Living Area with a minimum dimension of 6m x 4m accessible directly from a habitable room of the dwelling and being provided on the northernmost or easternmost boundary.
- The minimum open space provision shown under Clause 1 in the above table for lot 19 shall be subject to provision of an Outdoor Living Area with a minimum dimension of 6m x 4m accessible directly from a habitable room on the northernmost or easternmost façade of each dwelling within lot 19.
- The minimum open space provision shown under clause 1 in the above table for lot 69 shall be subject to provision of an Outdoor Living Area or balcony with a minimum dimension of 4m x 4m, accessible directly from a habitable room on the northernmost or easternmost façade of each dwelling unit within lot 69.
- For the purpose of calculating open space, any front verandah area open on at least one side shall count as open space.
- Where a side setback may be nil as shown under clause 1 in the above table, the nil setback may be applicable for the full length of the side boundary subject to front and rear boundary setback requirements.
- Where building orientation is shown on the adjacent plan, buildings shall address the direction indicated by way of major openings to habitable rooms, outdoor living areas, adequate building articulation or a combination of the above.
- All garages accessed from a public street (but not a laneway) are to be setback a minimum 5.5m from the street boundary.
- Where a garage is accessed from a public street, the front dwelling façade is to be forward of the garage by a minimum distance of 1m.



DETAILED AREA PLAN: Blackmore Estate, Girrawheen



This Local Development Plan has been approved by Council under clause 52(1)(a) of the deemed provisions of District Planning Scheme No. 2

[Signature] 29/06/14
 Manager Approval Services Date
 City of Wanneroo

- LEGEND:**
- Dashed line: DAP Boundary
 - Yellow line: Uniform Fencing
 - Green line: Uniform Fencing - Visually Permeable
 - Blue square: Mandatory Garage Location
 - Red line: No Vehicle Access
 - Red arrow: Building Orientation
 - Yellow outline: Indicative Building Envelope
 - Hatched area: R60 -(Balance of DAP area: R40)

date 30.06.14 | scale at A3 1:1000 | ref L34A SUB01 | revised 15.08.16

DISCLAIMER: AREA SUBJECT TO APPLICATION, CARRIAGEWAYS DIAGRAMMATIC ONLY. ALL AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FUTHER SURVEY ENGINEERING AND DETAIL DESIGN.

I.0 -DETAILED AREA PLAN

NOT TO SCALE

DEVELOP | SUBDIVIDE | STRATA



PROUDLY PART OF THE SUMMIT HOMES GROUP
 New Home Building | Renovation & Improvements | Developments | Investments | Realty | In-house Finance



DEVELOPMENT APPLICATION DECEMBER 2018

CLIENT : LAM PROPERTY DEVELOPMENT GROUP PTY LTD
BUILDER: TANGENT NOMINEES PL (TRADING AS SUMMIT PROJECTS)

SITE: LOT 69 (#91 STRIVE LOOP GIRRAWHEEN (BLACKMORE PARK ESTATE)

SITE AREA: 4211m²

ZONING: R60 - REFER TO DETAILED AREA PLAN (INCLUDED)

DEVELOPMENT PROPOSAL PARTICULARS - 22 GROUPED DWELLINGS

13 x TWO STOREY - 3 BED, 2 BATH

9 x SINGLE STOREY - 3 BED, 2 BATH

RESIDENT PARKING - 2 BAYS PER DWELLING PROVIDED

(21 x DOUBLE GARAGES, 1 x SINGLE GARAGE WITH TANDEM BAY)

VISITOR PARKING - EXISTING PARALLEL STREET PARKING ON STRIVE LOOP ADJACENT TO SITE. 15 BAYS AVAILABLE

STORMWATER - TO BE CONTAINED ON SITE IN SOAKWELLS TO SUIT 1 in 100 EVENT (REFER ENGINEERS DRAWINGS)

LANDSCAPING - BY CLIENT - TO SUIT ESTATE DESIGN GUIDELINES & WATERCORP GUIDELINES

SEWER ISSUE EXISTS - NO EXISTING SEWER CONNECTION AVAILABLE TO SITE

REAR OF SITE TO BE RAISED, NEW JUNCTION TO BE CUT IN AND INVERT LEVEL CONFIRMED

OPEN SPACE CALC'S

UNIT 1 CALCULATIONS

EXCLUSIVE LOT AREA	143.05 m ²
CPA	39.34 m ²
TOTAL SITE AREA	182.39 m ²
BUILDING AREA	100.13 m ²
OPEN SPACE	45.10 %

UNIT 2 - 7 CALCULATIONS

EXCLUSIVE LOT AREA	121.04 m ²
CPA	39.34 m ²
TOTAL SITE AREA	160.38 m ²
BUILDING AREA	102.72 m ²
OPEN SPACE	35.95 %

UNIT 8 - 12 CALCULATIONS

EXCLUSIVE LOT AREA	120.40 m ²
CPA	39.34 m ²
TOTAL SITE AREA	159.75 m ²
BUILDING AREA	101.62 m ²
OPEN SPACE	36.39 %

UNIT 13 CALCULATIONS

EXCLUSIVE LOT AREA	130.15 m ²
CPA	39.34 m ²
TOTAL SITE AREA	169.49 m ²
BUILDING AREA	87.11 m ²
OPEN SPACE	48.60 %

UNIT 14 CALCULATIONS

EXCLUSIVE LOT AREA	223.47 m ²
CPA	39.34 m ²
TOTAL SITE AREA	262.81 m ²
BUILDING AREA	131.71 m ²
OPEN SPACE	49.88 %

UNIT 15 - 17 CALCULATIONS

EXCLUSIVE LOT AREA	182.99 m ²
CPA	39.34 m ²
TOTAL SITE AREA	222.33 m ²
BUILDING AREA	147.51 m ²
OPEN SPACE	33.65 %

UNIT 18 CALCULATIONS

EXCLUSIVE LOT AREA	195.08 m ²
CPA	39.34 m ²
TOTAL SITE AREA	234.42 m ²
BUILDING AREA	143.60 m ²
OPEN SPACE	38.74 %

UNIT 19 - 20 CALCULATIONS

EXCLUSIVE LOT AREA	185.34 m ²
CPA	39.34 m ²
TOTAL SITE AREA	224.68 m ²
BUILDING AREA	144.25 m ²
OPEN SPACE	35.80 %

UNIT 21 CALCULATIONS

EXCLUSIVE LOT AREA	180.09 m ²
CPA	39.34 m ²
TOTAL SITE AREA	219.43 m ²
BUILDING AREA	147.05 m ²
OPEN SPACE	32.98 %

UNIT 22 CALCULATIONS

EXCLUSIVE LOT AREA	190.92 m ²
CPA	39.34 m ²
TOTAL SITE AREA	230.26 m ²
BUILDING AREA	144.56 m ²
OPEN SPACE	37.22 %

2.0 - DEVELOPMENT PROPOSAL PARTICULARS



DEVELOP | SUBDIVIDE | STRATA



PROUDLY PART OF THE SUMMIT HOMES GROUP
New Home Building | Renovation & Improvements | Developments | Investments | Realty | In-house Finance

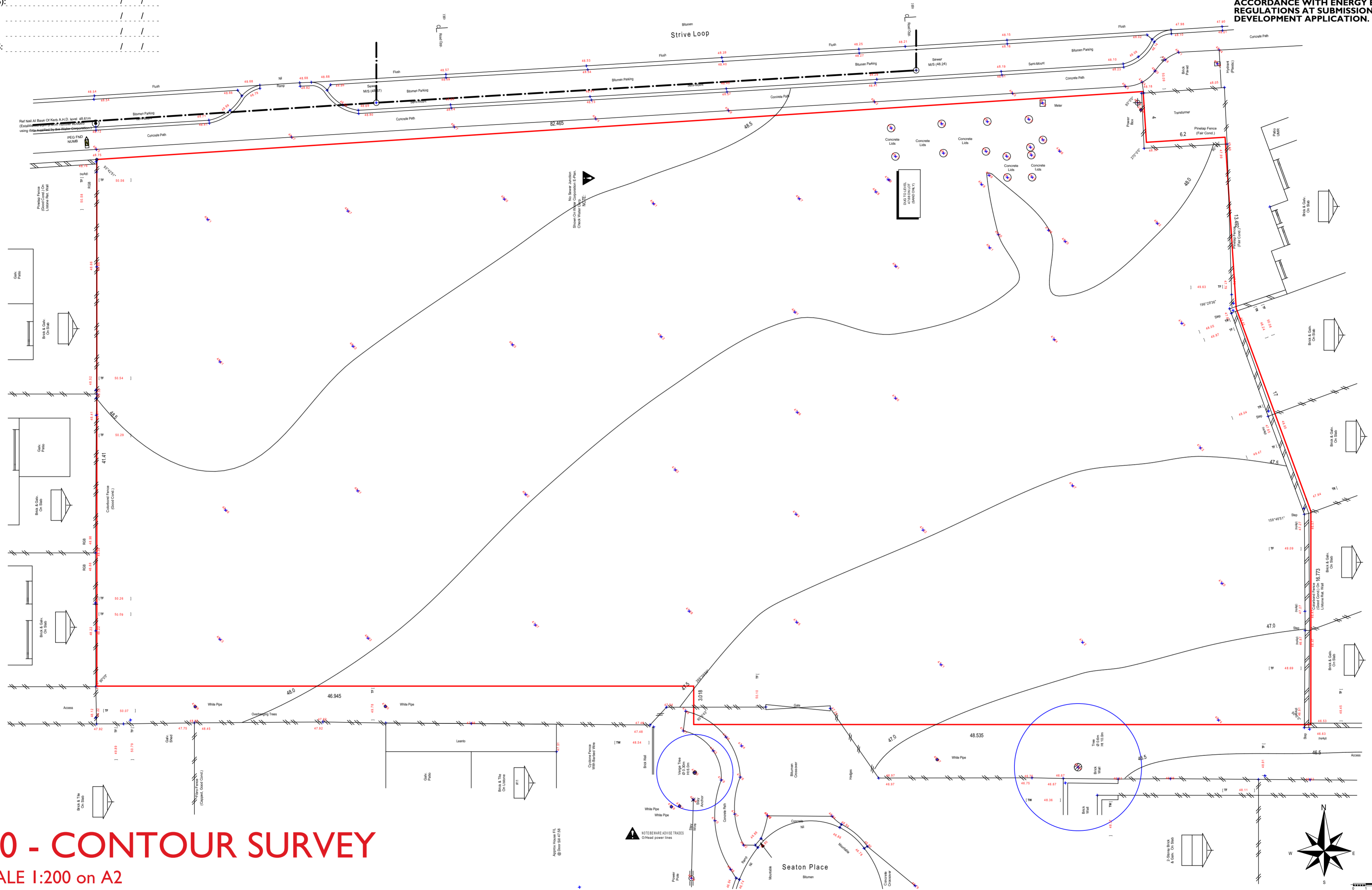


THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



3.0 - CONTOUR SURVEY

SCALE 1:200 on A2



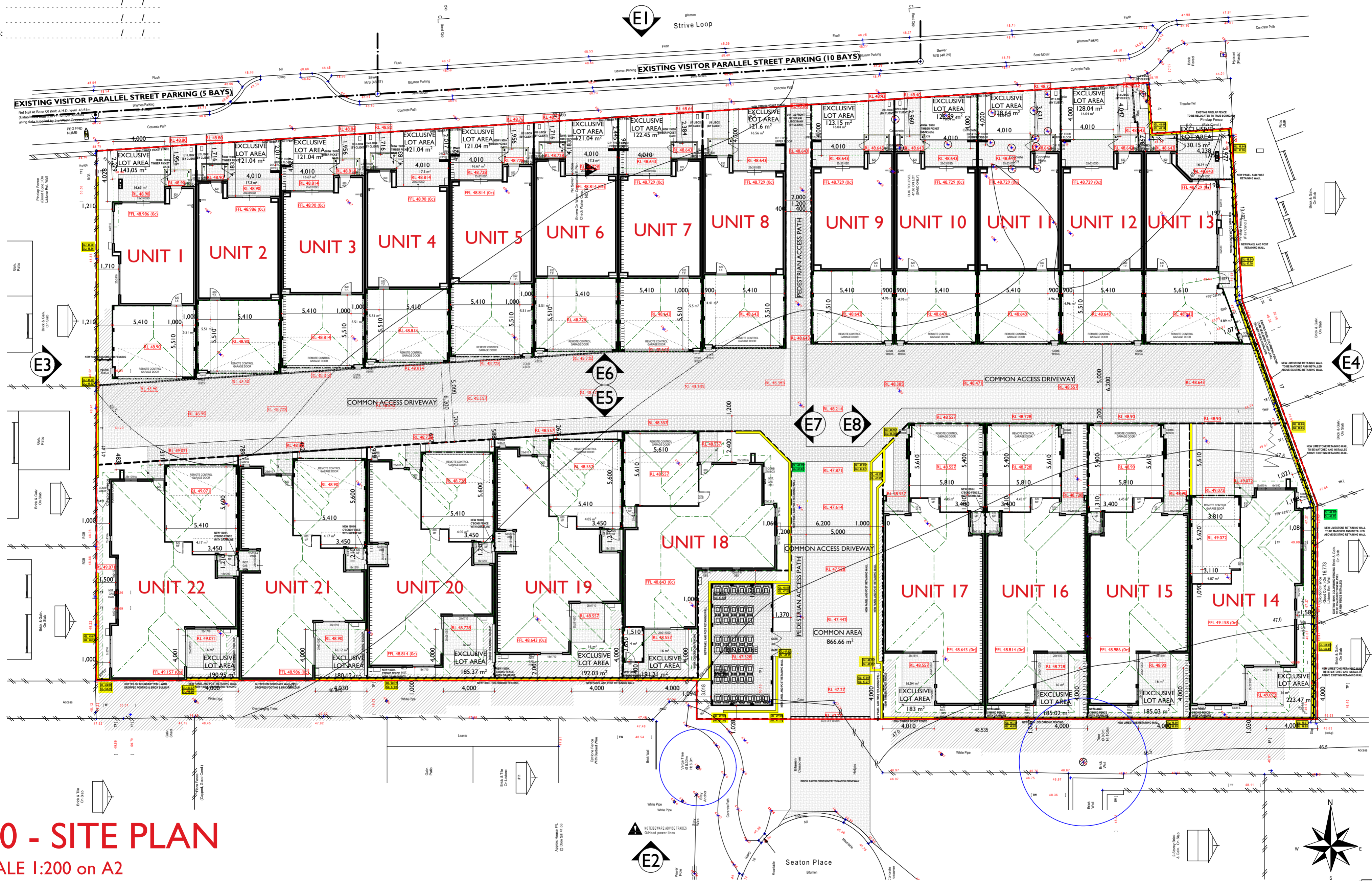
CLIENT: LAM PROPERTY DEVELOPMENT GROUP PTY LTD
 ADDRESS: LOT 69 (#91) STRIVE LOOP
 GIRRAWHEEN (BLACKMORE PARK ESTATE)

DESIGNED	SIZE	SHEET	REV#	ISSUED:	DATE:	REV#	ISSUED:	DATE:
ALI T	A2	5 of 18	P5 - DA	SR	7 DEC 2018	P6 - DA	ALI	16 APR 2019
DATE	© COPYRIGHT 2018							
DEC 2018								
SCALE	JOB NO: 155619							
1:								

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

SUN SHADOW AT NOON 21 JUNE

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____



4.0 - SITE PLAN

SCALE 1:200 on A2

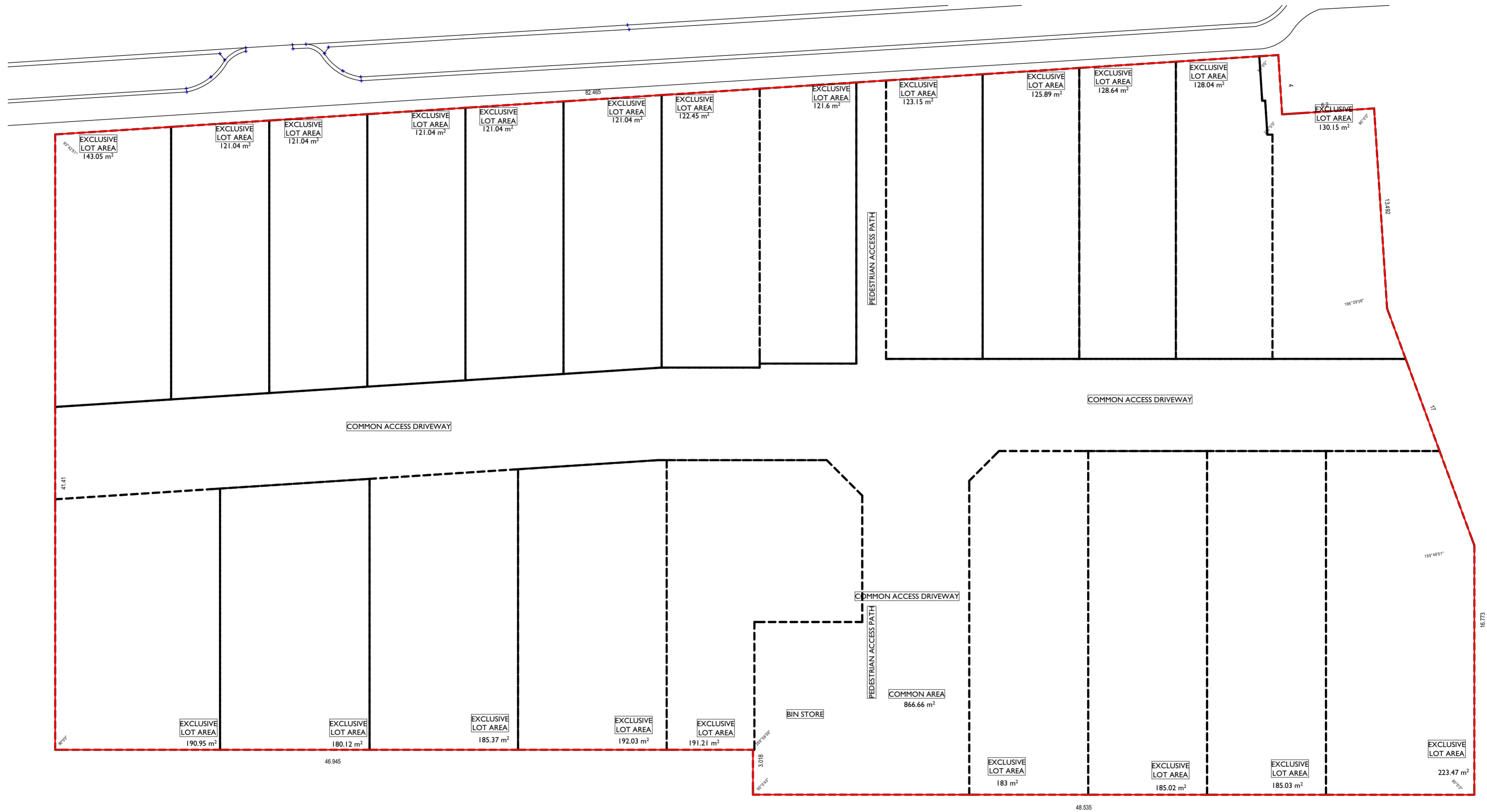
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DATE	© COPYRIGHT 2018							
DEC 2018								
SCALE	JOB NO: 155619							
1:								

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

BUILDER: _____ / /
 CLIENT(S): _____ / /
 _____ / /
 WITNESS: _____ / /

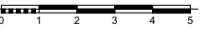
NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



5.0 - PROPOSED STRATA ALLOTMENT PLAN

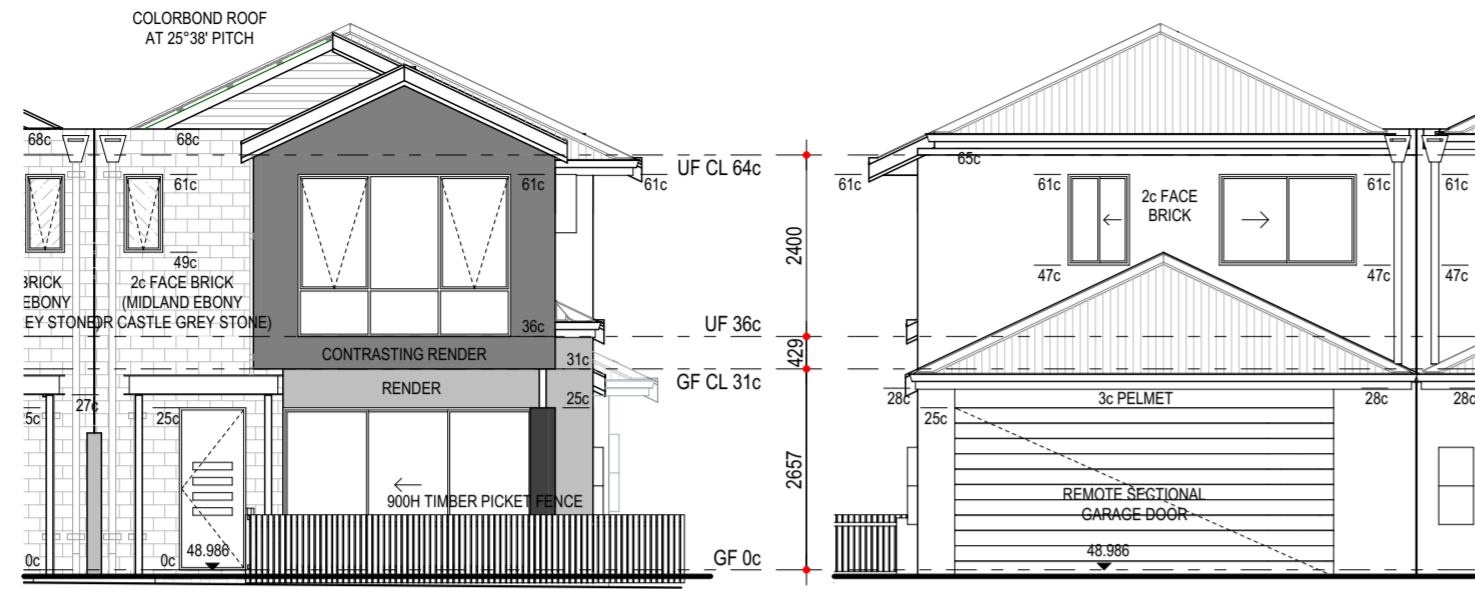
SCALE 1:200 on A2



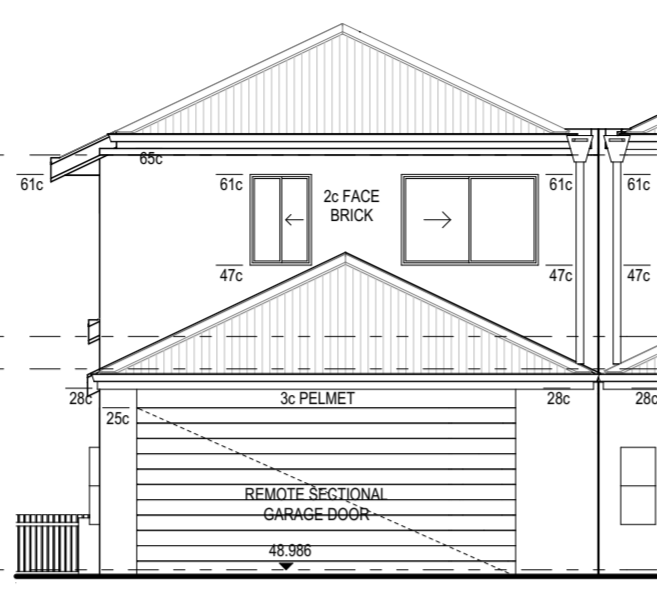
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ALI T	A2	7 of 18	P5 - DA	SR	7 DEC 2018			
DATE	© COPYRIGHT 2018		P6 - DA	ALI	16 APR 2019			
SCALE	JOB NO: 155619							
1:								

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

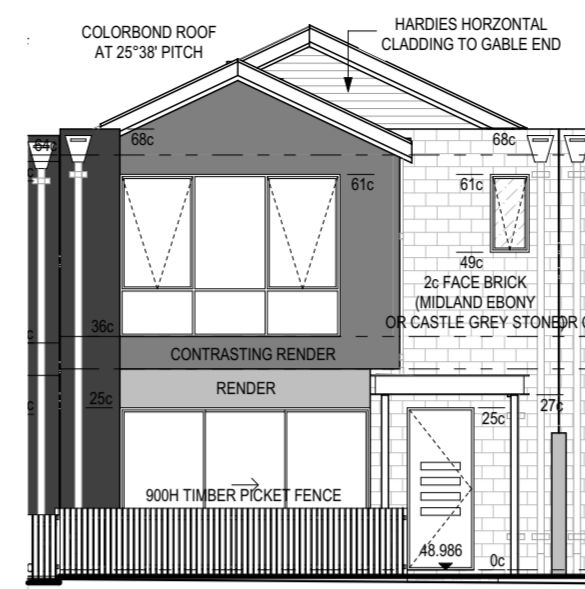
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____



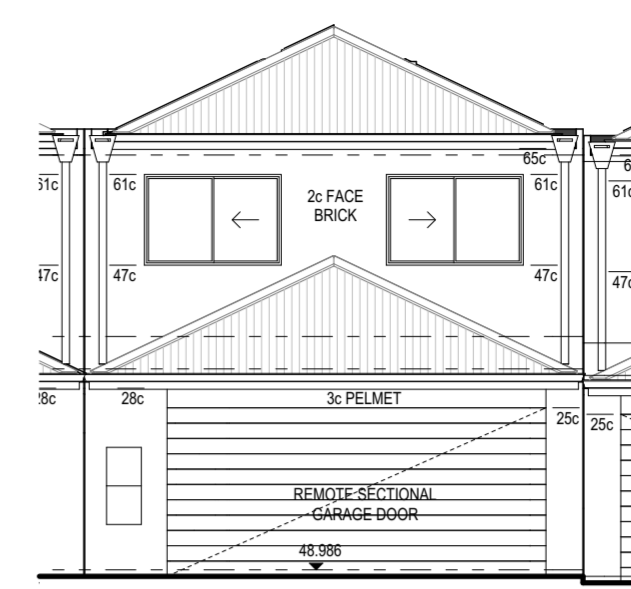
UI - FRONT ELEV



UI - REAR ELEV

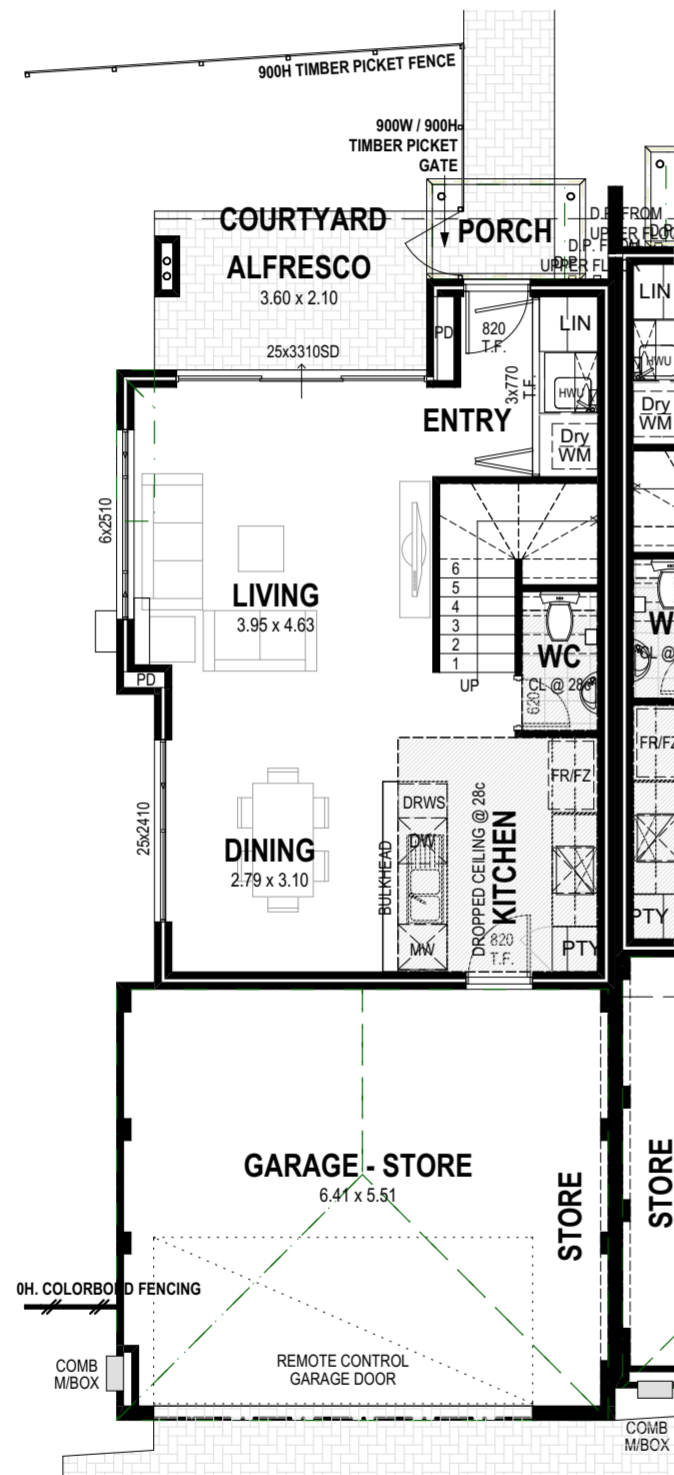
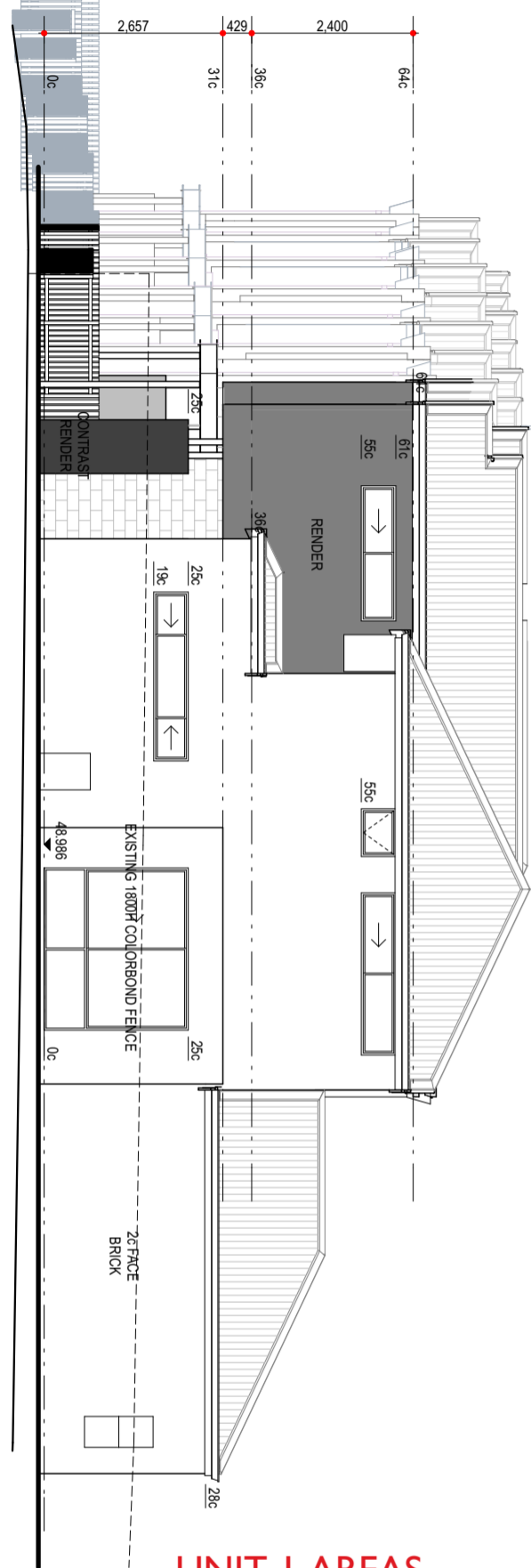


U2 - 7 - FRONT ELEV

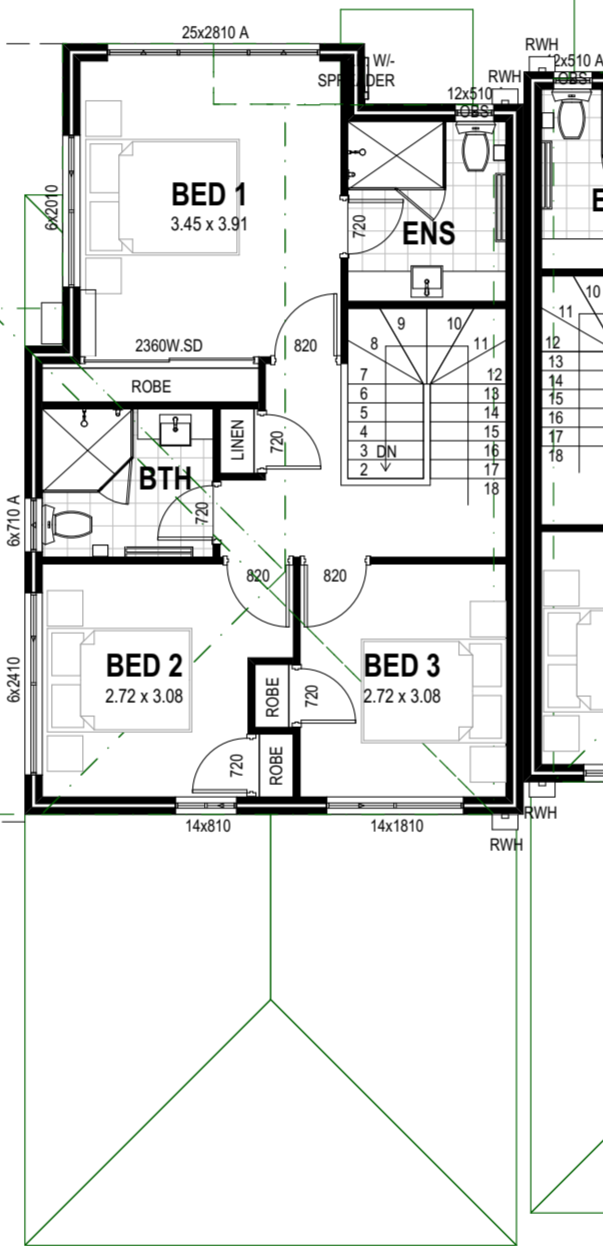


U2 - 7 - REAR ELEV

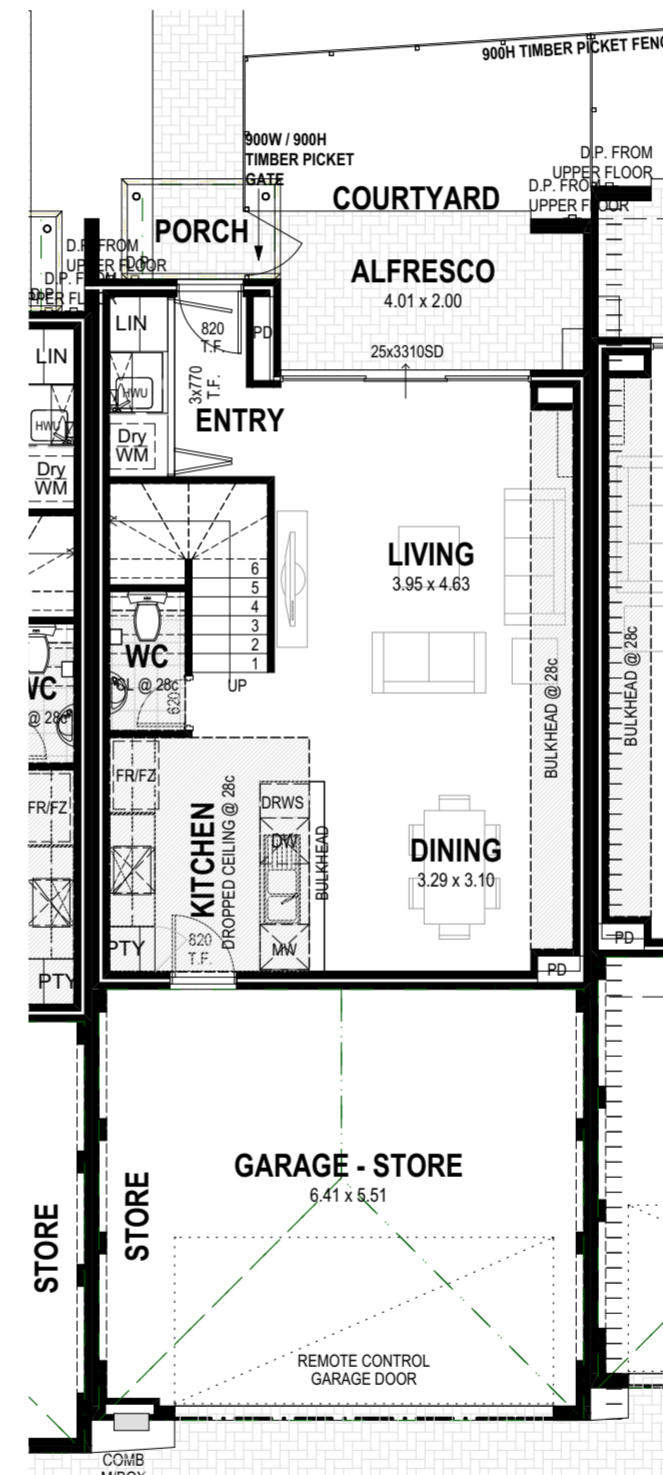
UI - SIDE ELEV



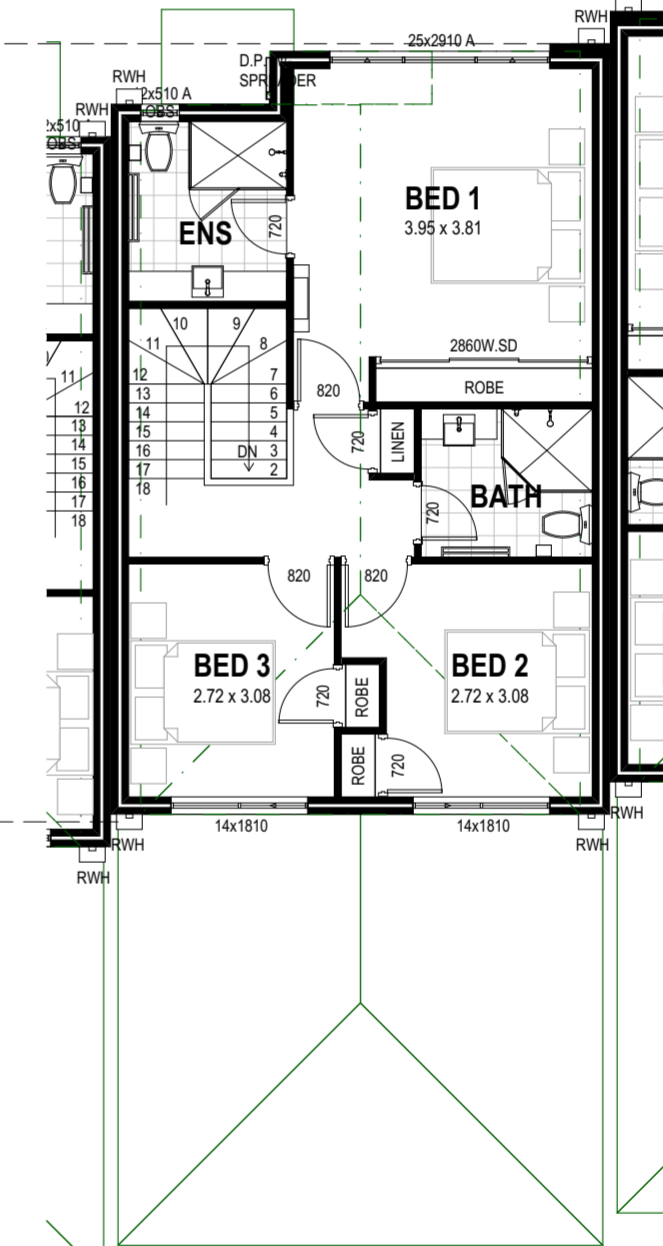
UI - GRD FLR PLAN



UI - UPPER FLR PLAN



U2 - 7 - GRD FLR PLAN



U2 - 7 - UPPER FLR PLAN

UNIT 1 AREAS
GF LIVING A: 55.01 m²
FF LIVING A: 63.47 m²
 P: 31.96 m P: 33.56 m
PORCH
 A: 2.79 m²
GARAGE
 A: 37.61 m²
ALFRESCO
 A: 7.56 m²
TOTAL GF AREA
 A: 102.97 m²

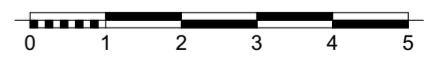
UNIT 2 - 7 AREAS
GF LIVING A: 56.96 m²
FF LIVING A: 65.02 m²
 P: 31.96 m P: 33.36 m
PORCH
 A: 2.79 m²
GARAGE
 A: 37.56 m²
ALFRESCO
 A: 8.2 m²
TOTAL GF AREA
 A: 105.51 m²

NOTE: FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

NOTE: WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.

6.0 - FLOOR PLANS & ELEVATIONS - UNITS 1, 2 - 7

SCALE 1:100 on A2



DESIGNED ALI T	SIZE A2	SHEET 8 of 18	REV# P5 - DA	ISSUED: SR	DATE: 7 DEC 2018	REV#	ISSUED:	DATE:
DATE DEC 2018	© COPYRIGHT 2018		P6 - DA	ALI	16 APR 2019			
SCALE 1:	JOB NO: 155619							

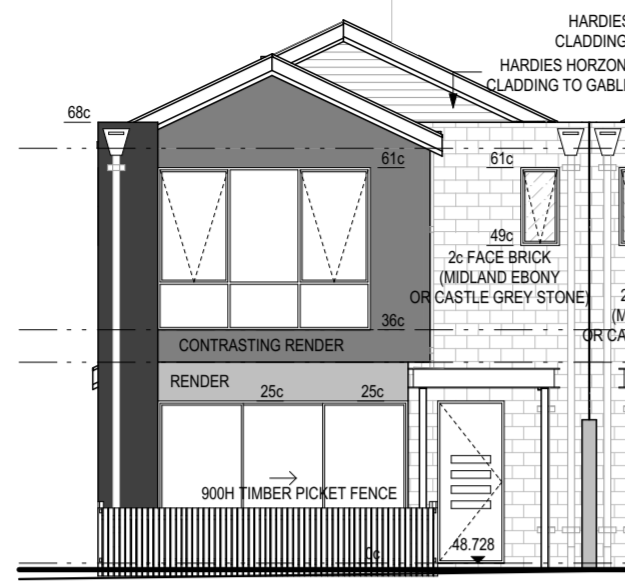
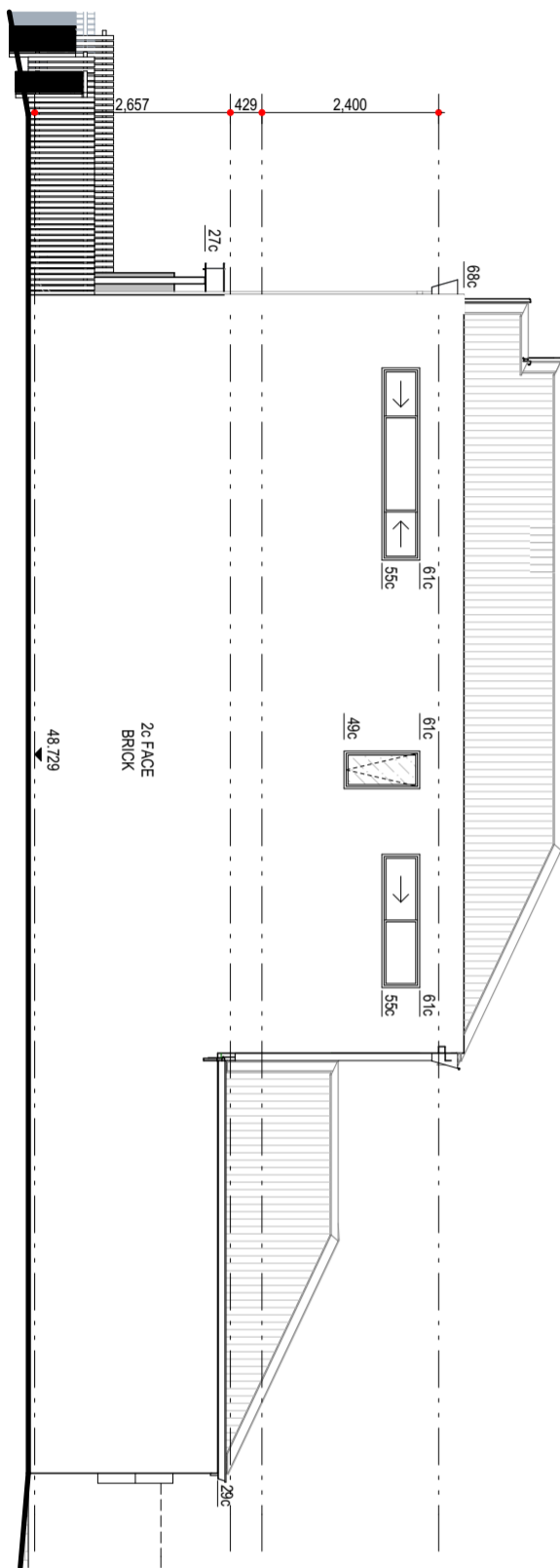
THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

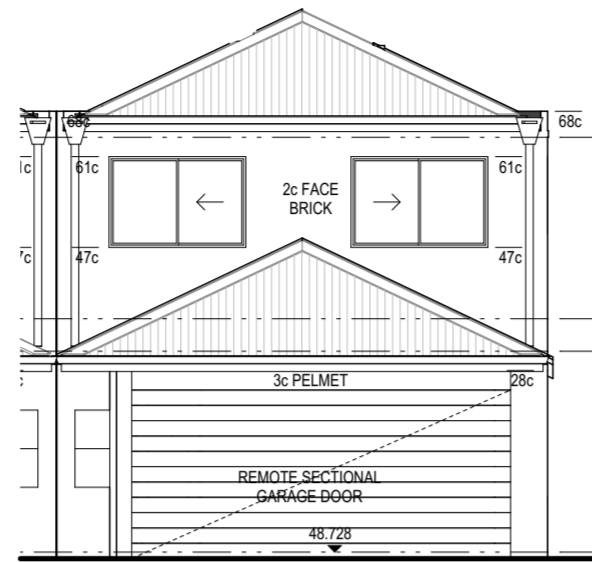
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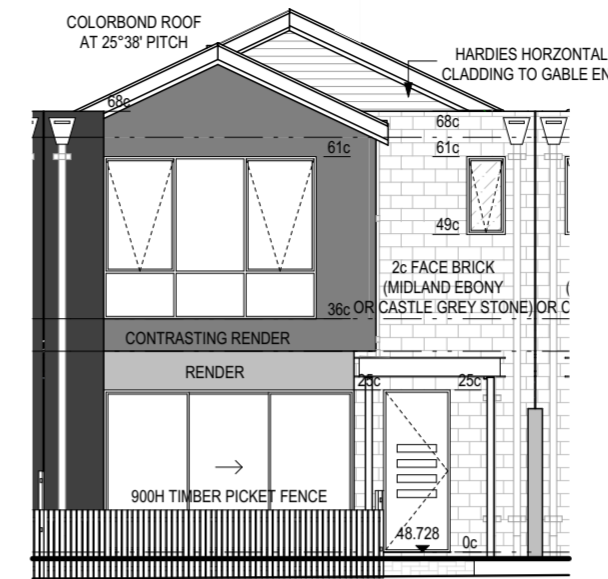
U8 - 12 - SIDE ELEV



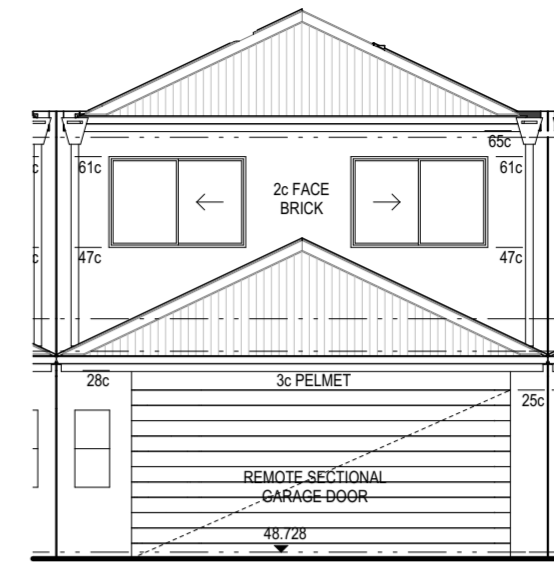
U8 - 9 - FRONT ELEV



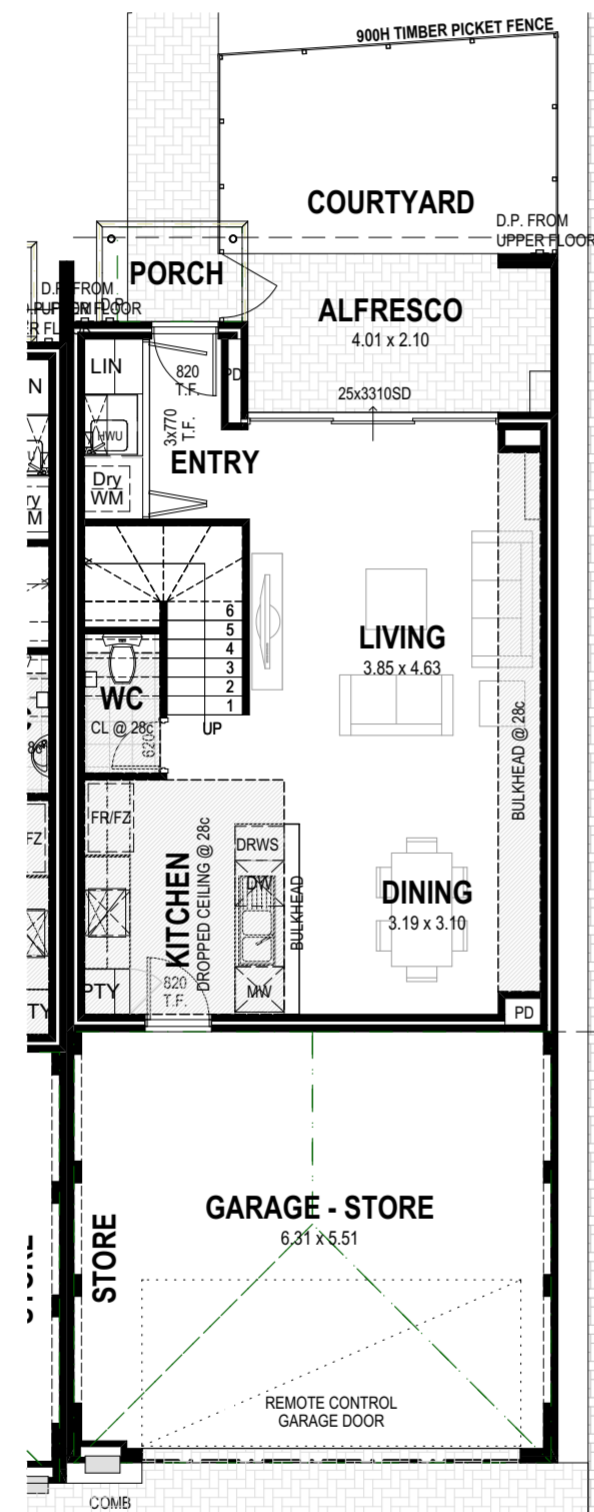
U8 - 9 - REAR ELEV



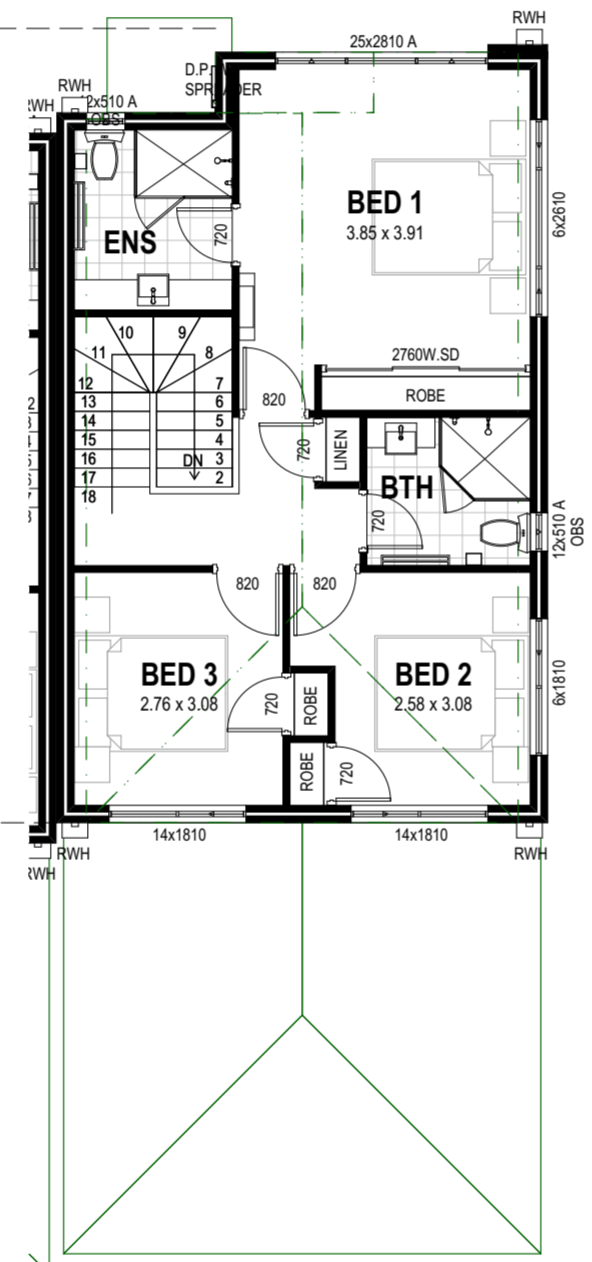
U10 - 12 - FRONT ELEV



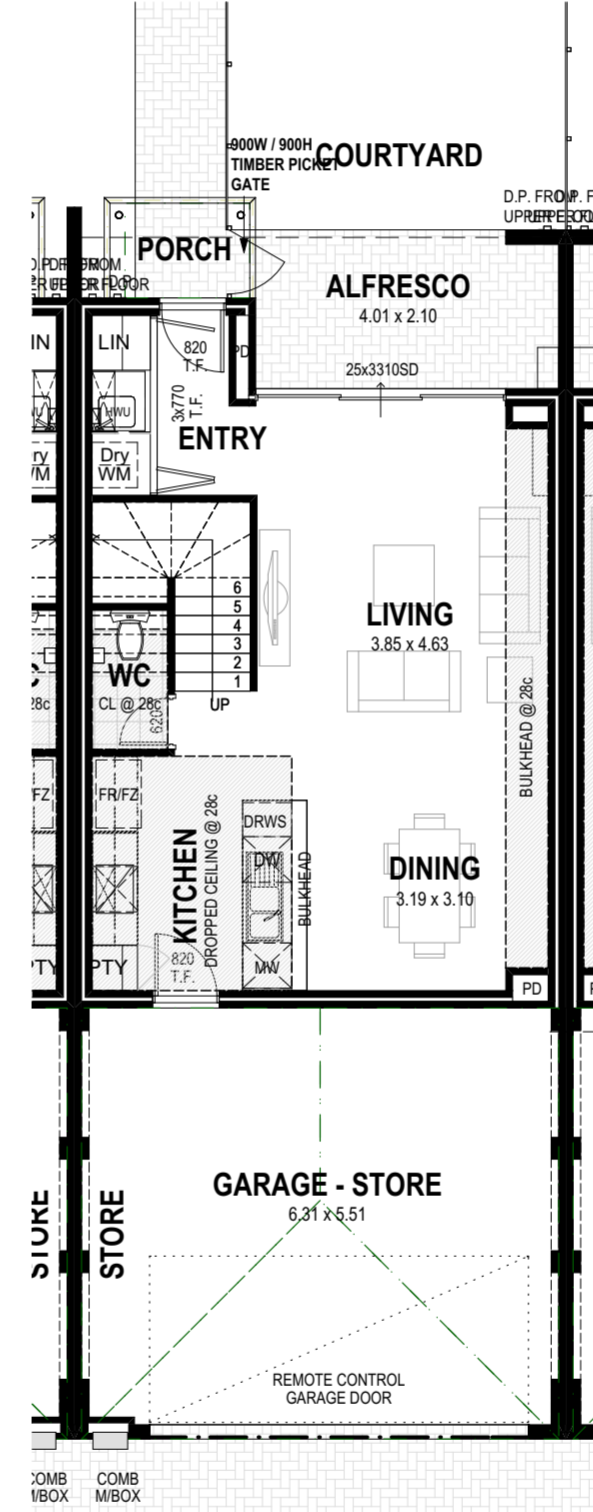
U10 - 12 - REAR ELEV



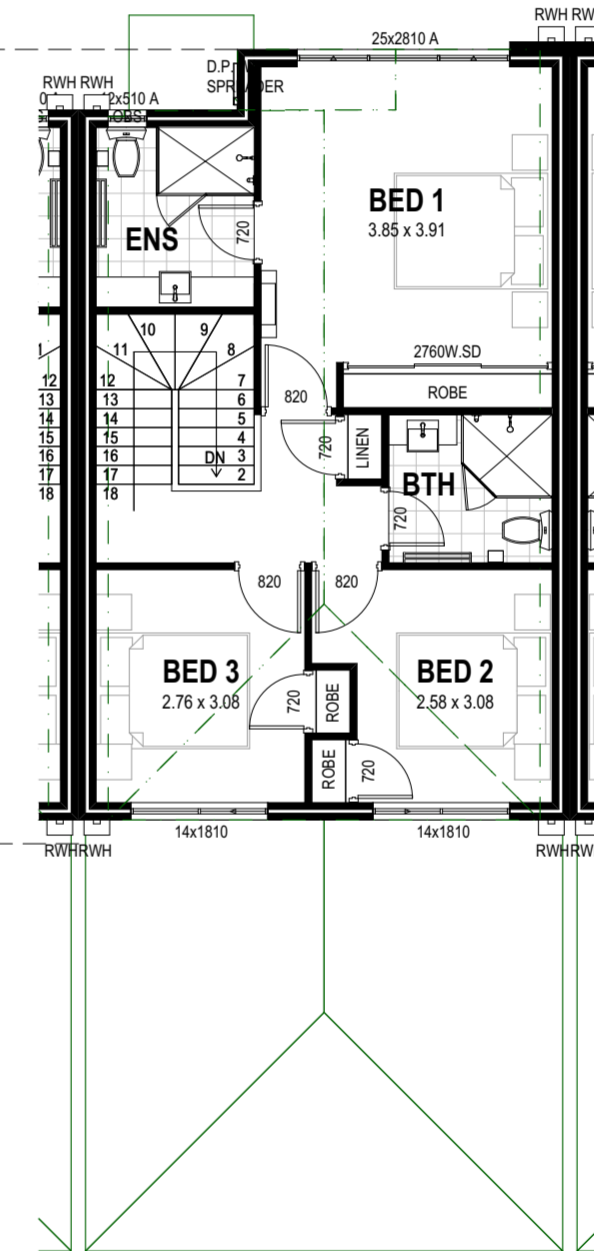
U8 - 9 - GRD FLR PLAN



U8 - 9 - UPPER FLR PLAN



U10 - 12 - GRD FLR PLAN

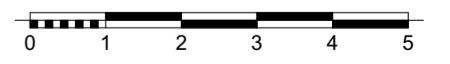


U10 - 12 - UPPER FLR PLAN

UNIT 8 - 12 AREAS
GF LIVING A: 56.02 m²
PORCH P: 31.76 m
GARAGE A: 36.99 m²
ALFRESCO A: 8.61 m²
TOTAL GF AREA A: 104.28 m²
FF PLAN A: 64.45 m²
P: 33.36 m

7.0 - FLOOR PLANS & ELEVATIONS - UNITS 8 - 9, 12 - 13

SCALE 1:100 on A2



CLIENT: LAM PROPERTY DEVELOPMENT GROUP PTY LTD

ADDRESS: LOT 69 (#91) STRIVE LOOP
 GIRRAWHEEN (BLACKMORE PARK ESTATE)

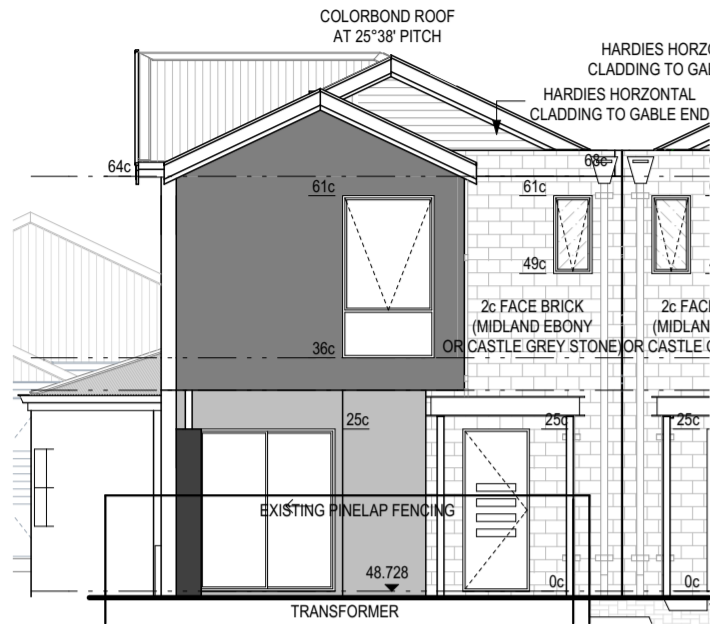
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DATE DEC 2018	© COPYRIGHT 2018		P6 - DA	ALI	16 APR 2019			
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

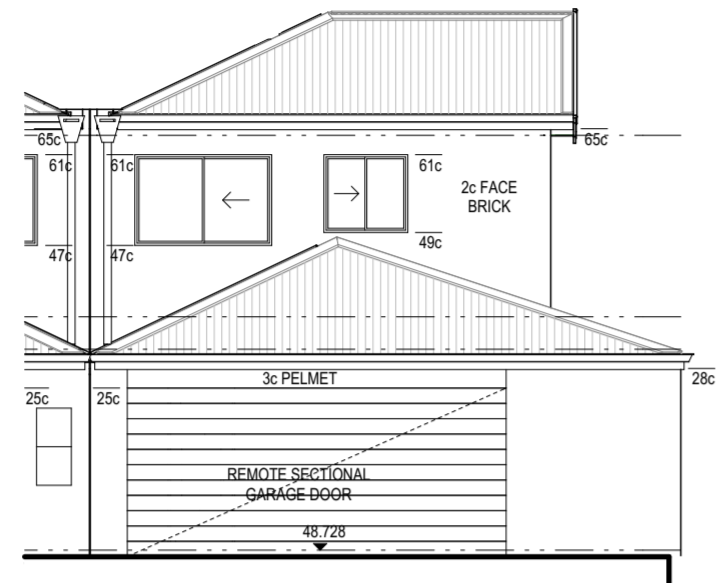
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
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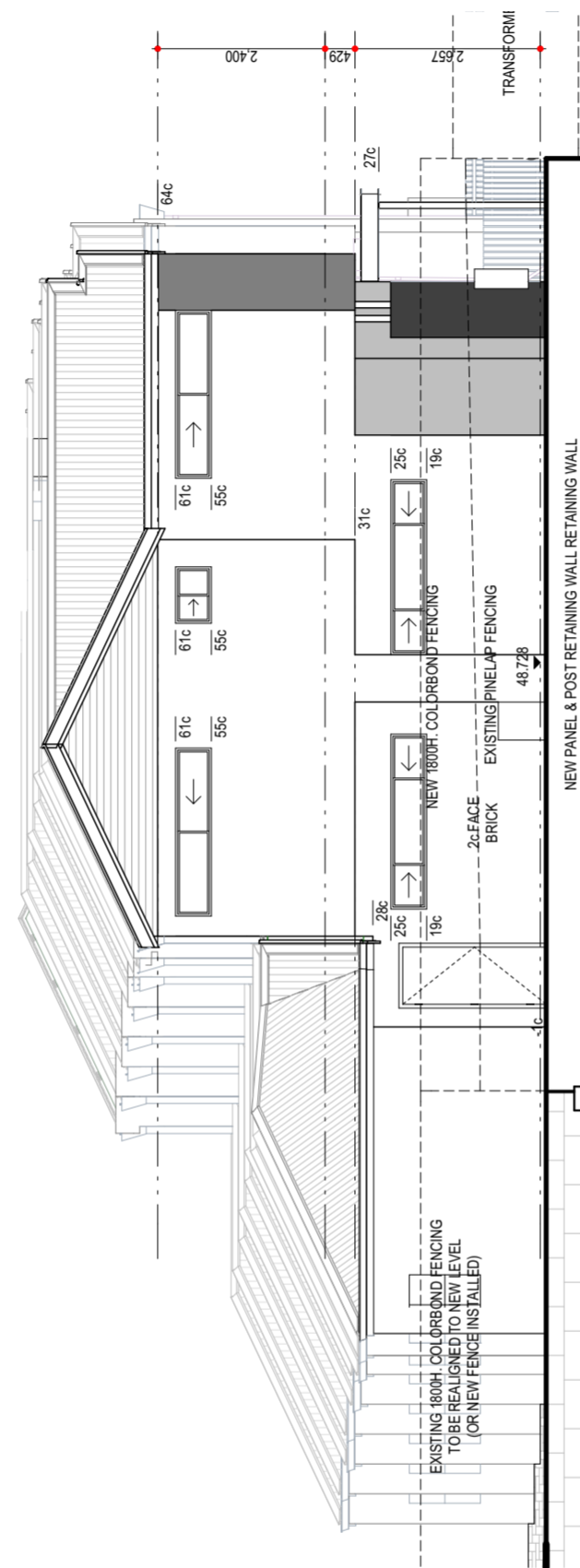
NOTE:
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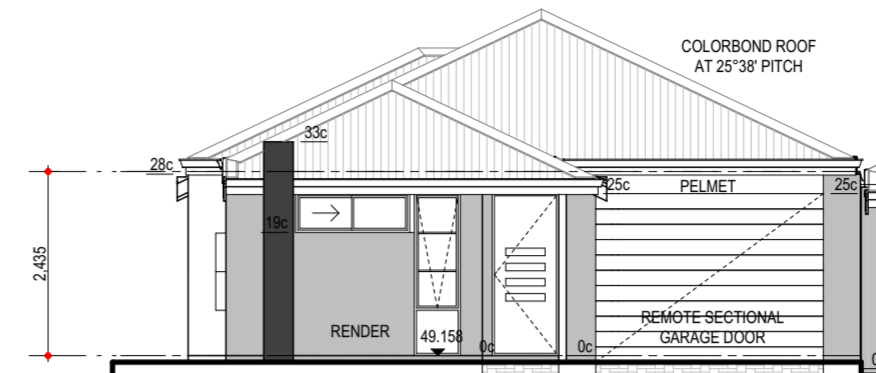
UI3 - FRONT ELEV



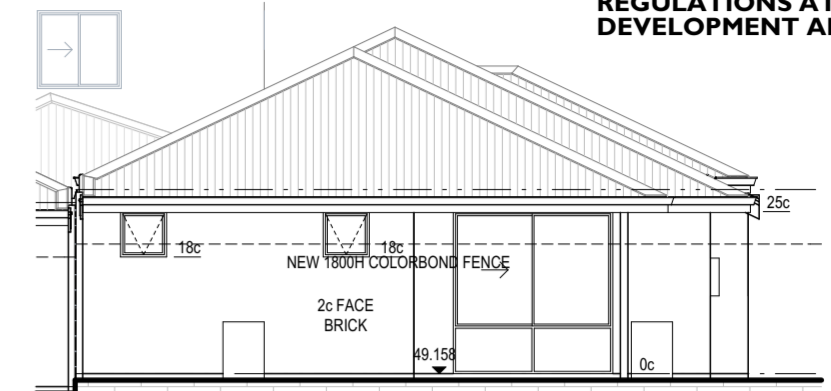
UI3 - REAR ELEV



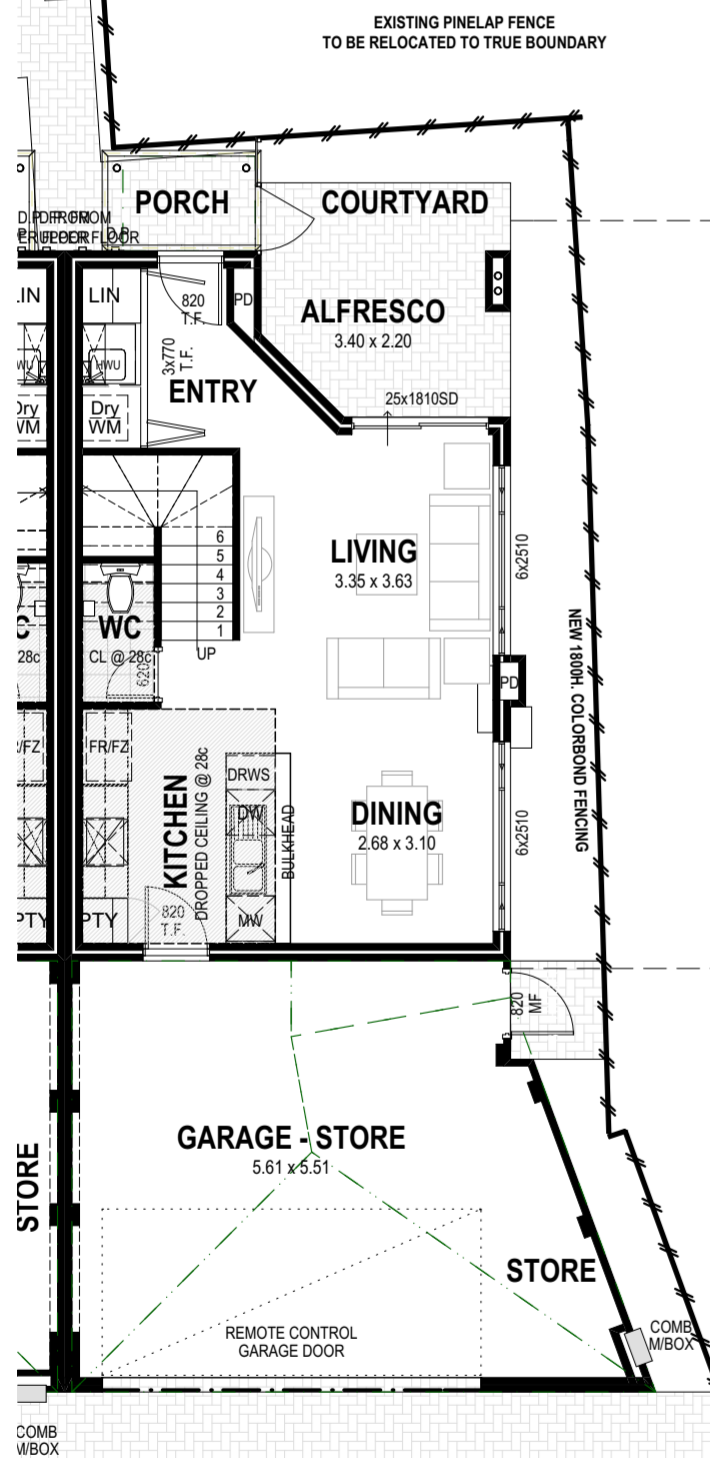
UI3 - SIDE ELEV



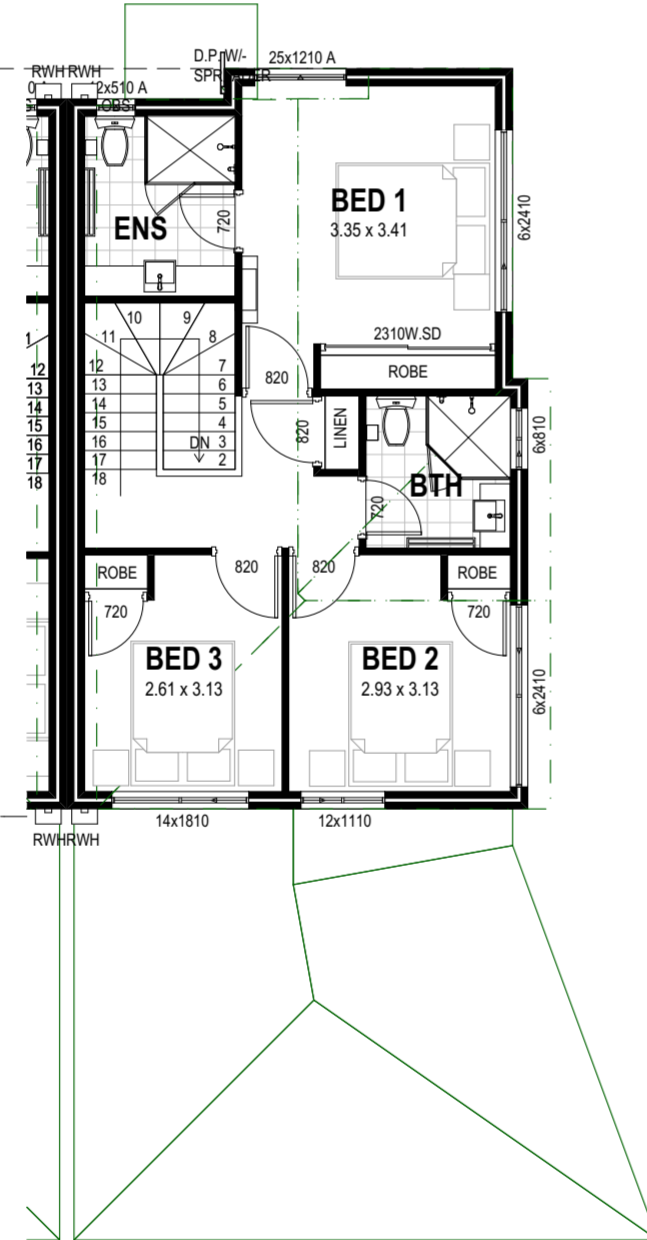
UI4 - FRONT ELEV



UI4 - REAR ELEV



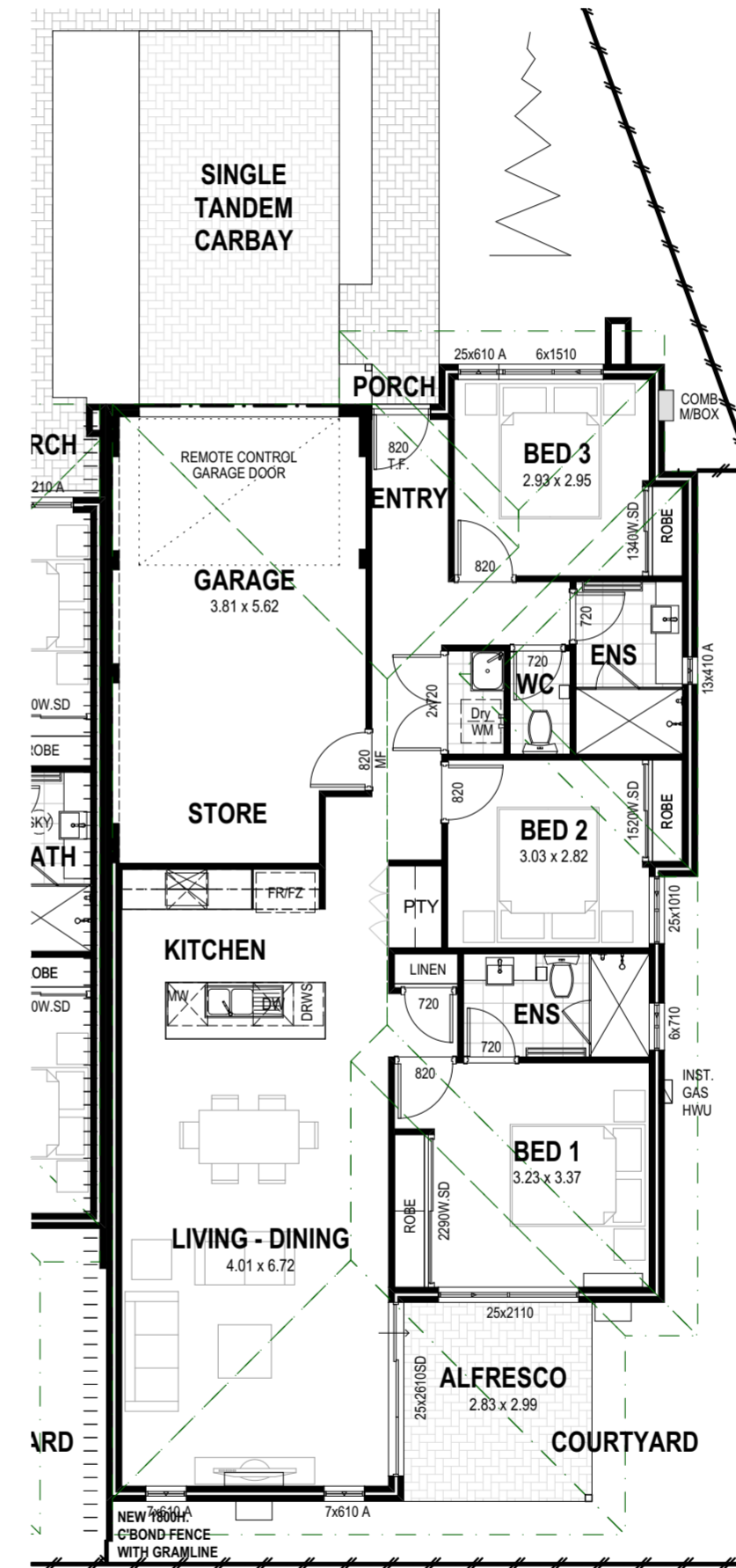
UI3 - GRD FLR PLAN



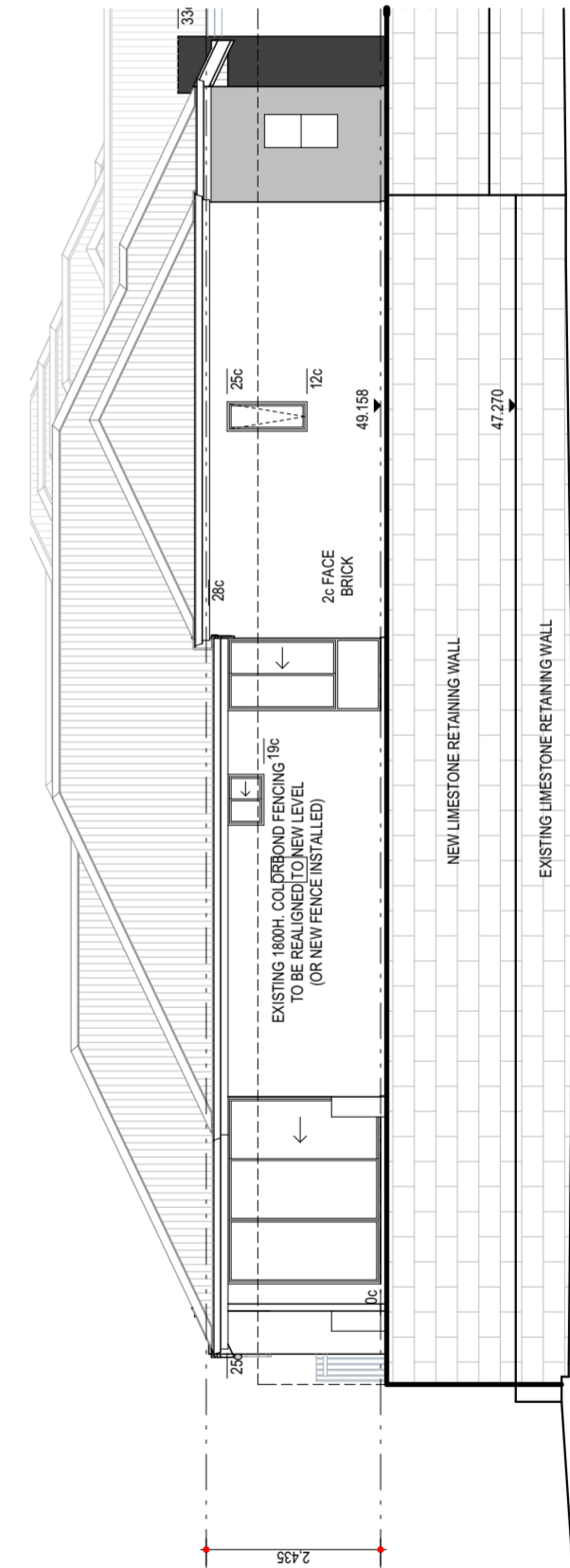
UI3 - UPPER FLR PLAN

UNIT 13 AREAS

- GF LIVING A: 48.65 m² FF LIVING A: 57.96 m²
- P: 29.92 m P: 31.76 m
- PORCH A: 2.79 m²
- GARAGE A: 38.46 m²
- ALFRESCO A: 6.66 m²
- TOTAL GF AREA A: 96.55 m²



UI4 - GRD FLR PLAN



UI4 - SIDE ELEV

UNIT 14 AREAS

- FLOOR PLAN A: 105.56 m²
- P: 51.96 m
- PORCH A: 0.67 m²
- GARAGE A: 21.96 m²
- STORE A: 4.19 m²
- ALFRESCO A: 8.46 m²
- TOTAL AREA A: 140.84 m²

8.0 - FLOOR PLANS & ELEVATIONS UNITS 13, 14

SCALE 1:100 on A2



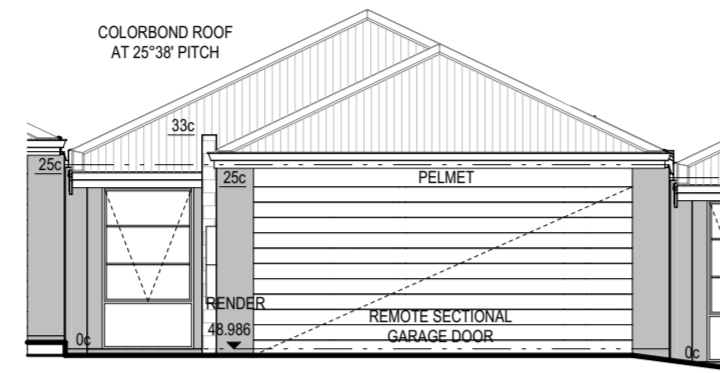
DESIGNED ALI T	SIZE A2	SHEET 10 of 18	REV# P5 - DA	ISSUED: SR	DATE: 7 DEC 2018	REV#	ISSUED:	DATE:
DATE DEC 2018	© COPYRIGHT 2018		P6 - DA	ALI	16 APR 2019			
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

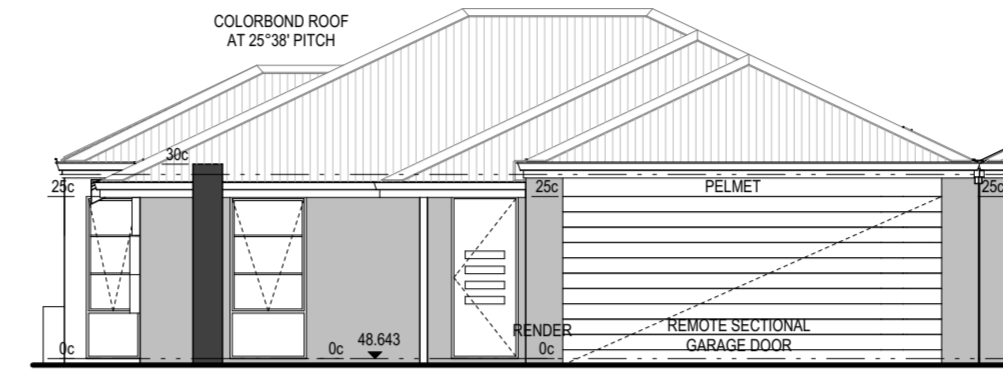
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

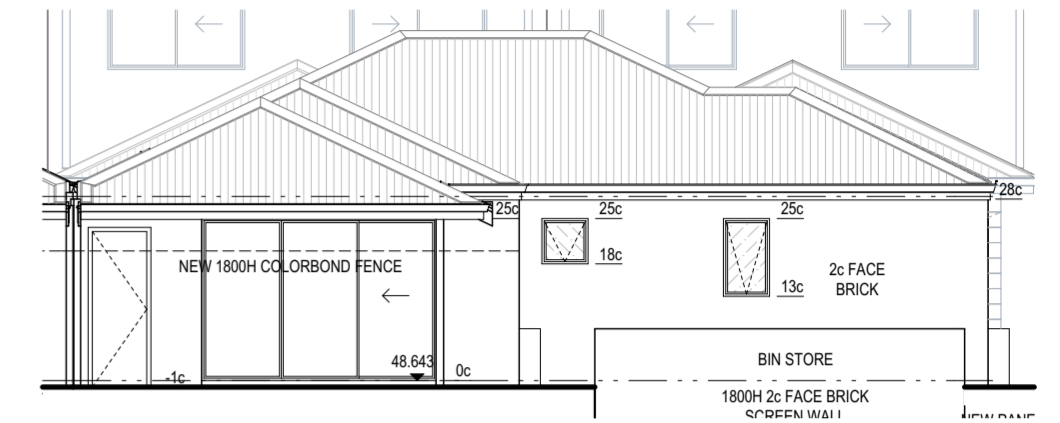
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



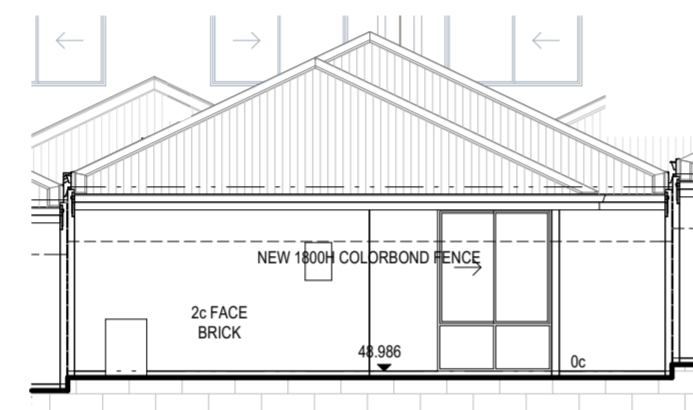
UI5 - 17 - FRONT ELEV



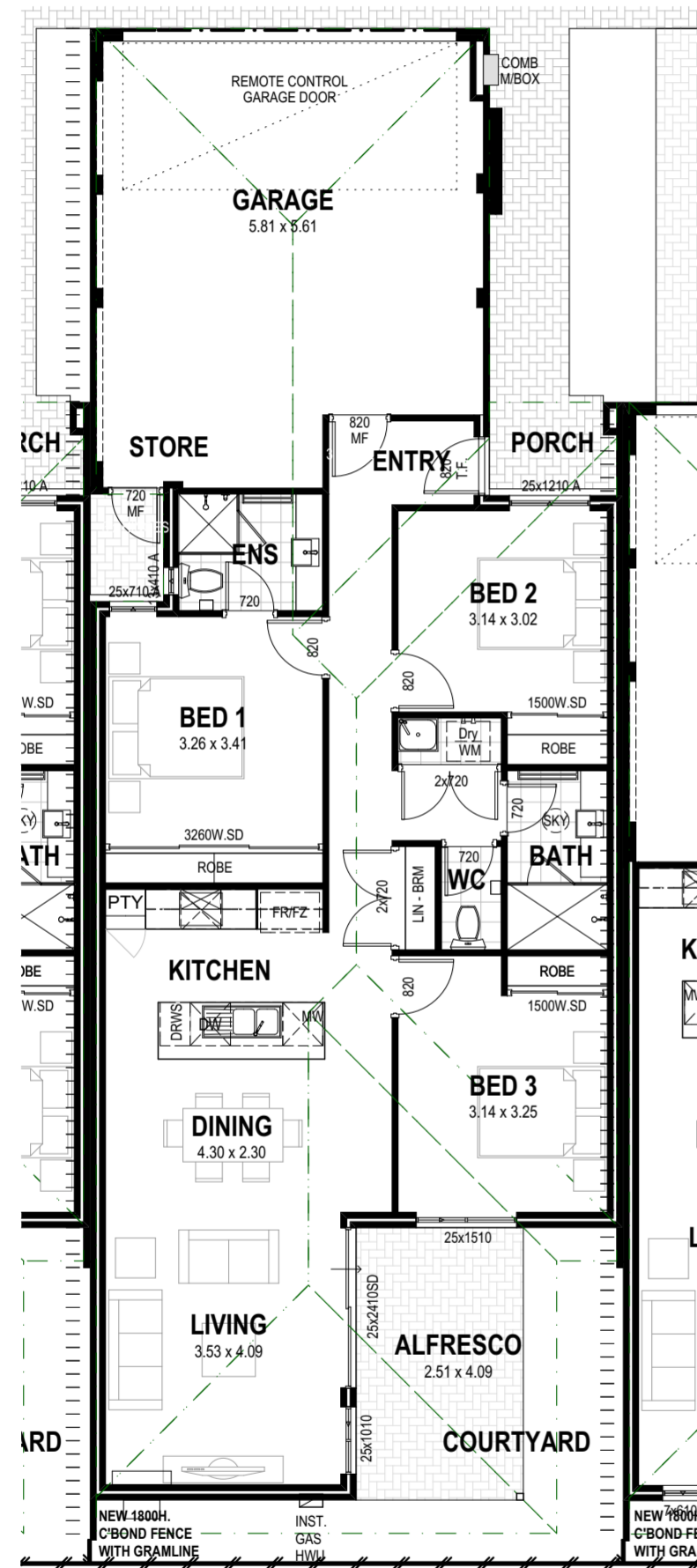
UI8 - FRONT ELEV



UI8 - REAR ELEV

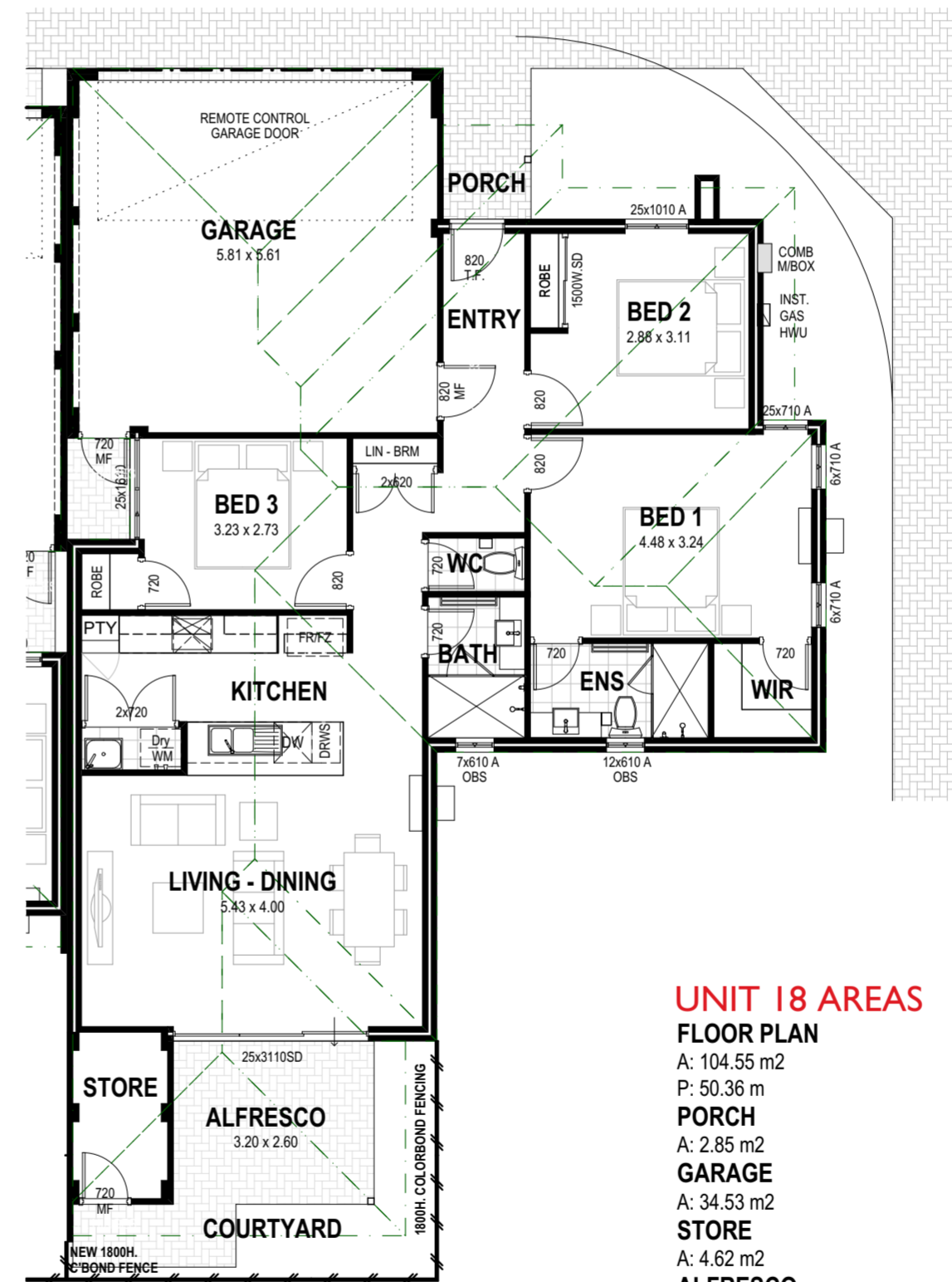


UI5 - 17 - REAR ELEV



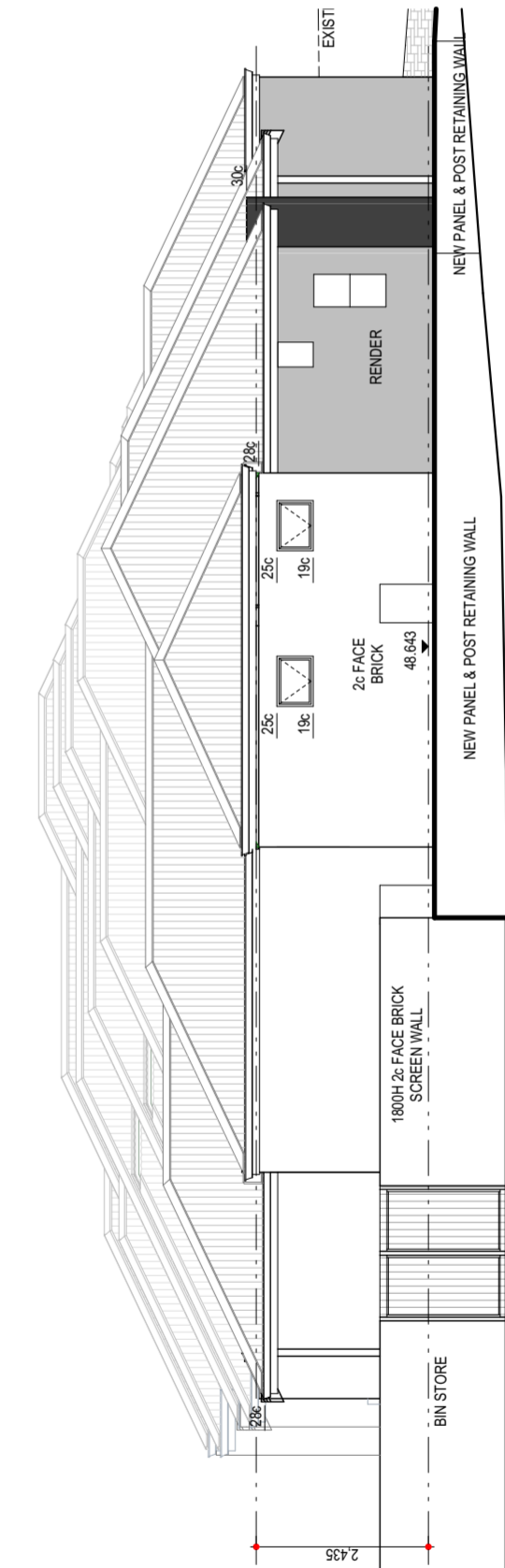
UI5 - 17 - GRD FLR PLAN

UNIT 15 - 17 AREAS FLOOR PLAN
 A: 106.64 m²
 P: 48.76 m
PORCH
 A: 2.8 m²
GARAGE
 A: 33.76 m²
STORE
 A: 4.31 m²
ALFRESCO
 A: 10.27 m²
TOTAL AREA
 A: 157.78 m²



UI8 - GRD FLR PLAN

UNIT 18 AREAS FLOOR PLAN
 A: 104.55 m²
 P: 50.36 m
PORCH
 A: 2.85 m²
GARAGE
 A: 34.53 m²
STORE
 A: 4.62 m²
ALFRESCO
 A: 8.32 m²
TOTAL AREA
 A: 157.33 m²



UI8 - SIDE ELEV

9.0 - FLOOR PLANS & ELEVATIONS - UNITS 15 - 17, 18

SCALE 1:100 on A2



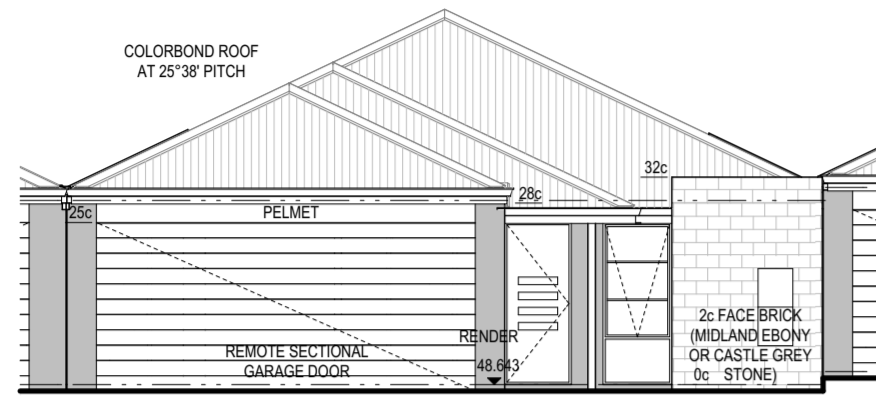
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DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

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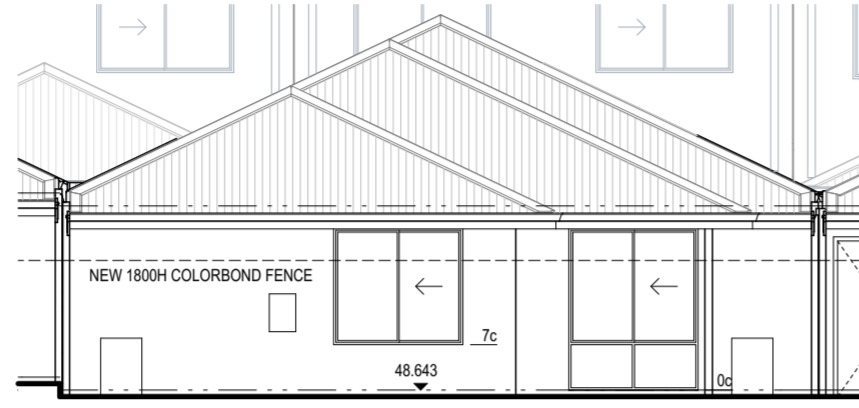
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

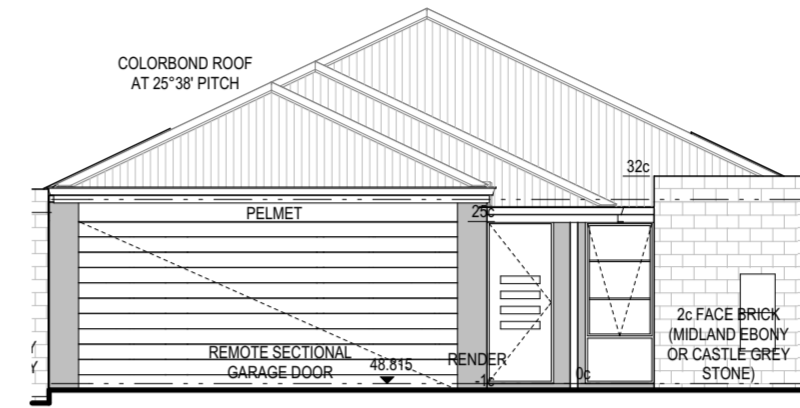
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



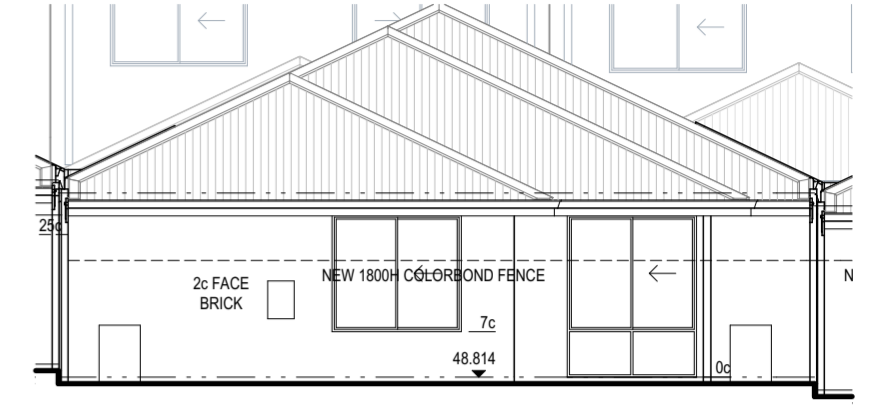
UI9 - FRONT ELEV



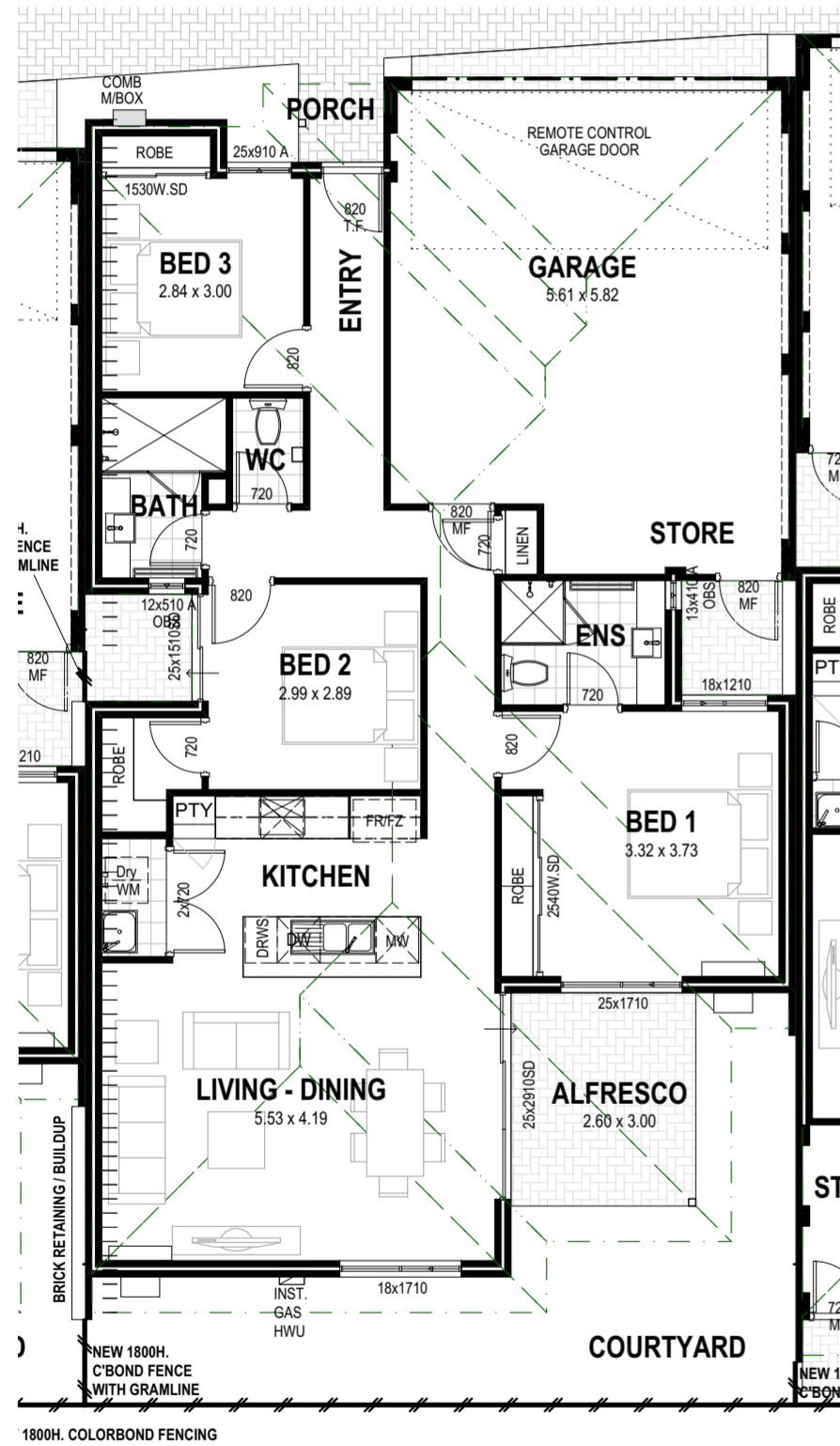
UI9 - REAR ELEV



U20 - FRONT ELEV

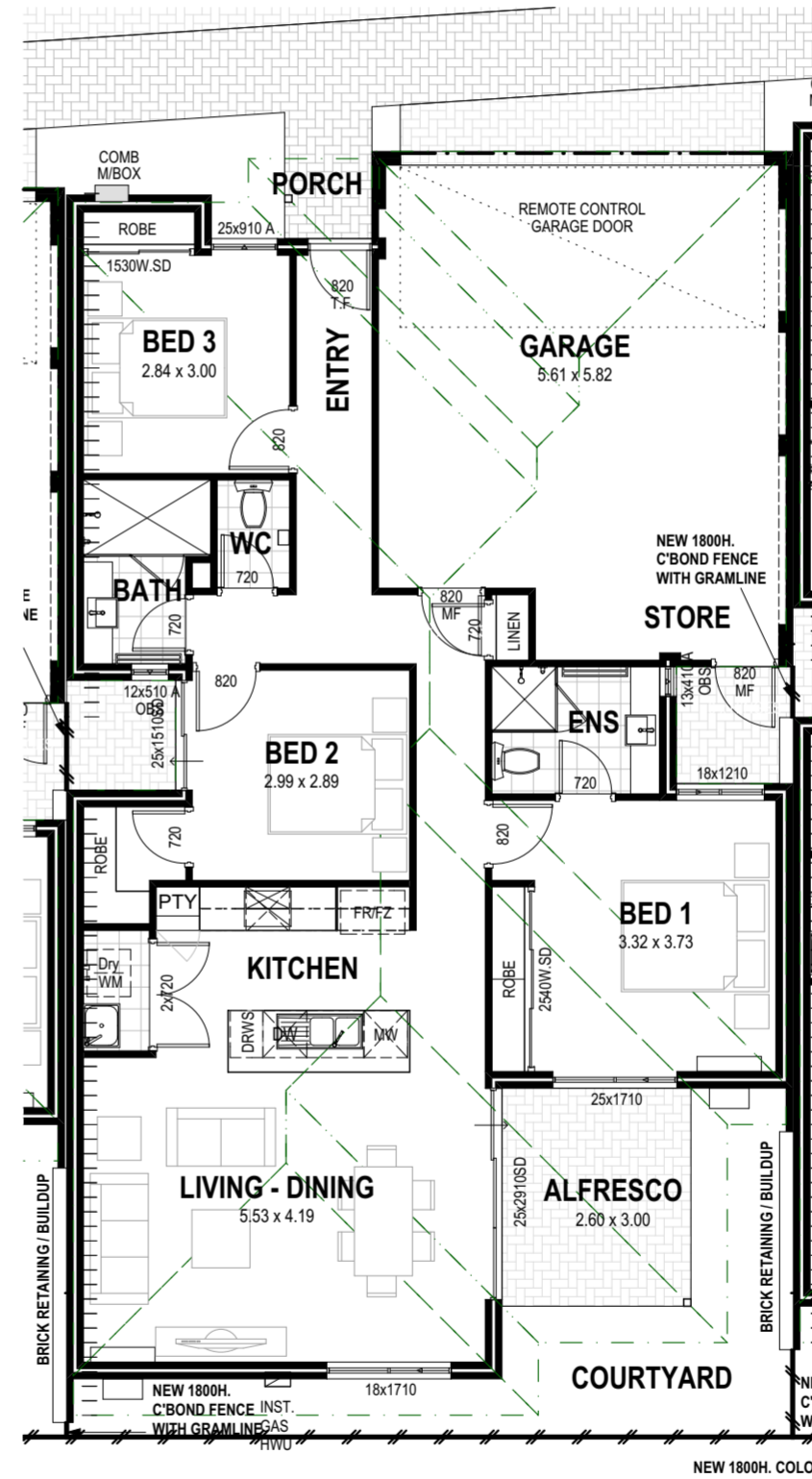


U20 - REAR ELEV



UI9 - GRD FLR PLAN

UNIT 19 FLOOR PLAN
 A: 106.03 m²
 P: 55.56 m
PORCH
 A: 1.87 m²
GARAGE
 A: 33.59 m²
STORE
 A: 4.43 m²
ALFRESCO
 A: 7.8 m²
TOTAL AREA
 A: 153.72 m²

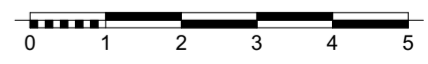


U20 - GRD FLR PLAN

UNIT 20 AREAS FLOOR PLAN
 A: 106.03 m²
 P: 55.56 m
PORCH
 A: 1.87 m²
GARAGE
 A: 33.59 m²
STORE
 A: 4.43 m²
ALFRESCO
 A: 7.8 m²
TOTAL AREA
 A: 153.72 m²

10.0 - FLOOR PLANS & ELEVATIONS - UNITS 19, 20

SCALE 1:100 on A2



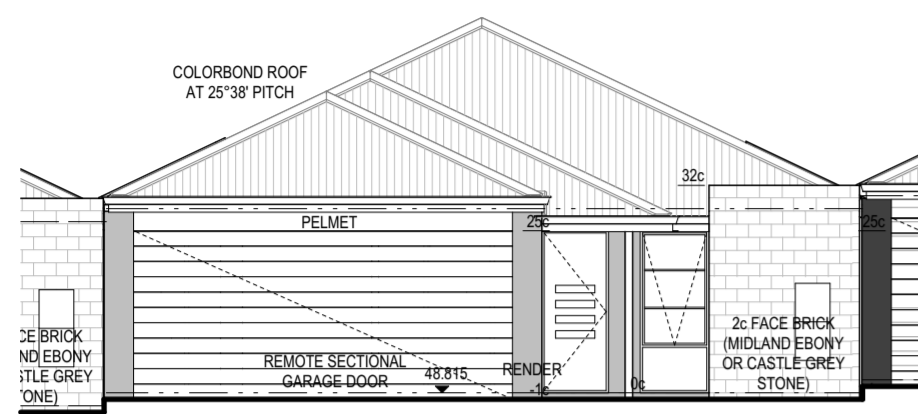
DESIGNED ALIT	SIZE A2	SHEET 11 of 18	REV# P5 - DA P6 - DA	ISSUED: SR ALI	DATE: 7 DEC 2018 16 APR 2019	REV#	ISSUED:	DATE:
DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

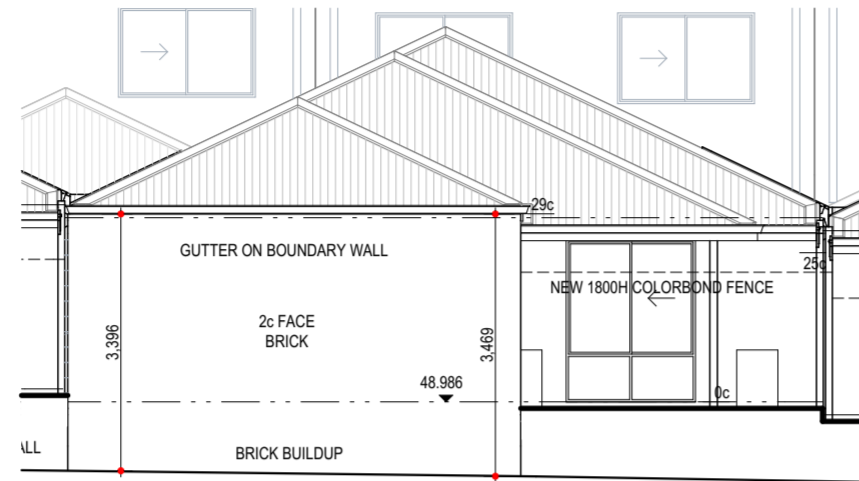
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

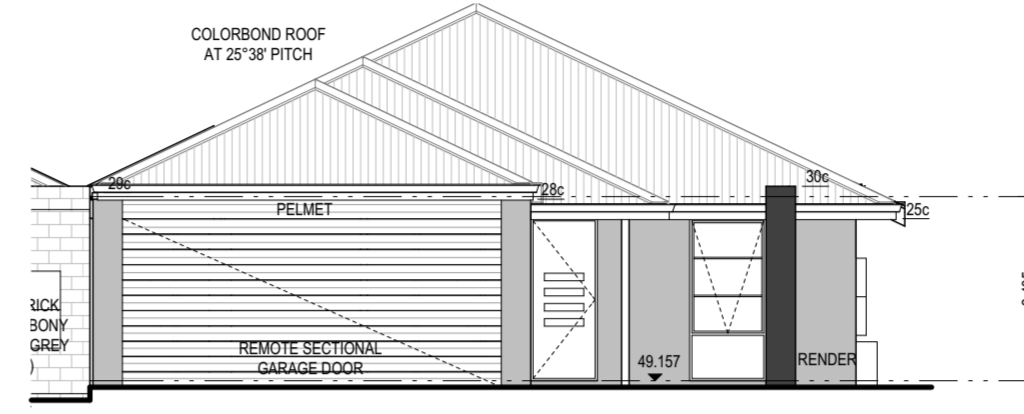
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



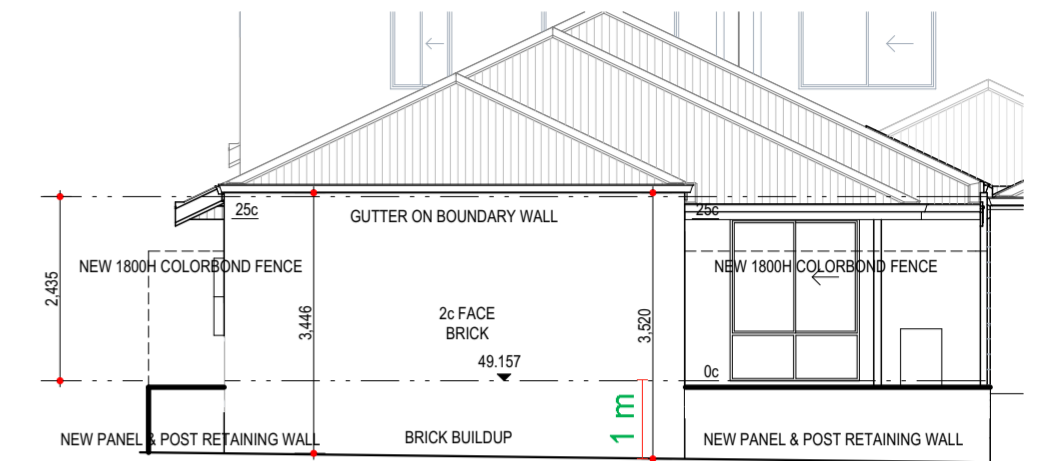
U21 - FRONT ELEV



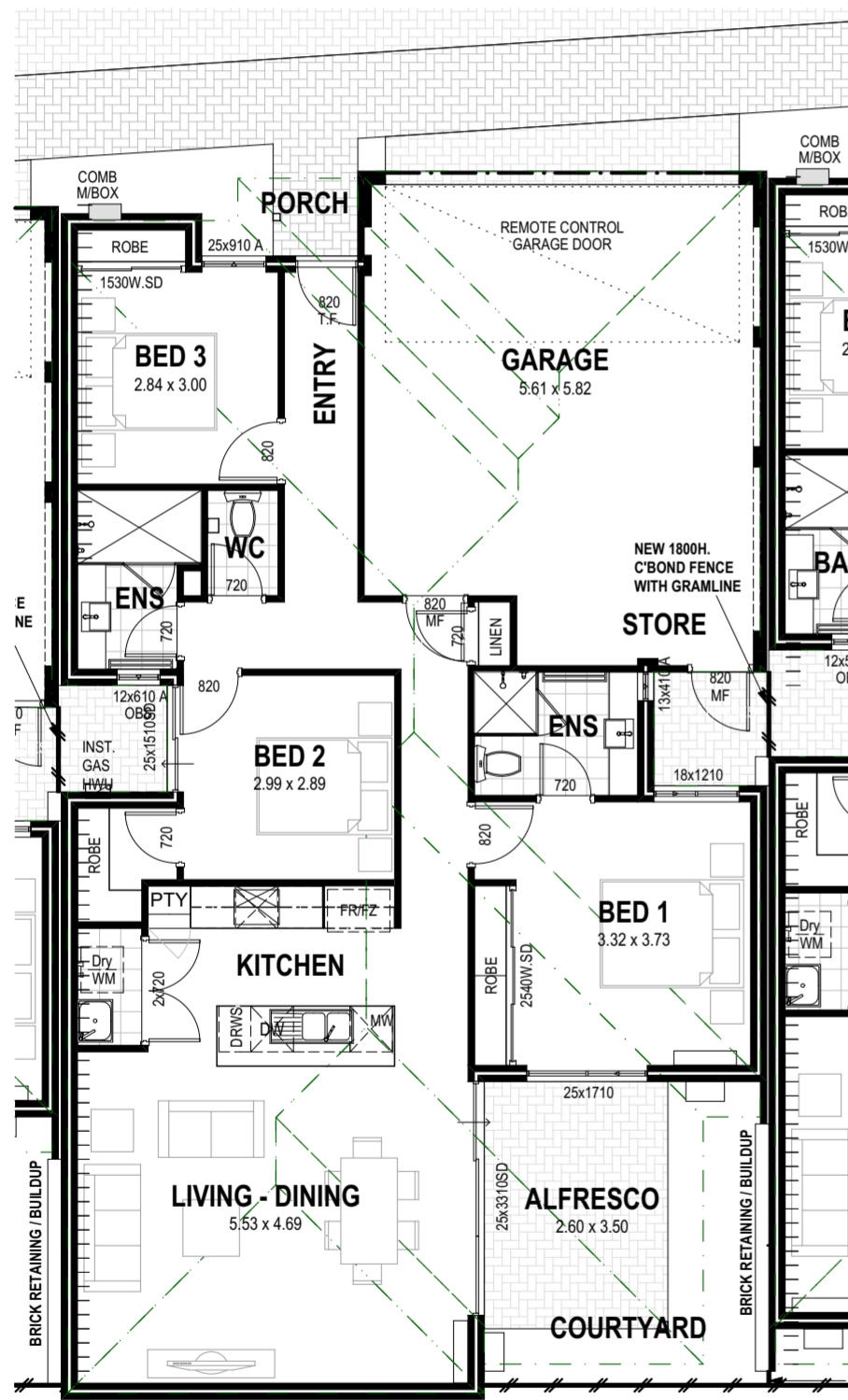
U21 - REAR ELEV



U22 - FRONT ELEV



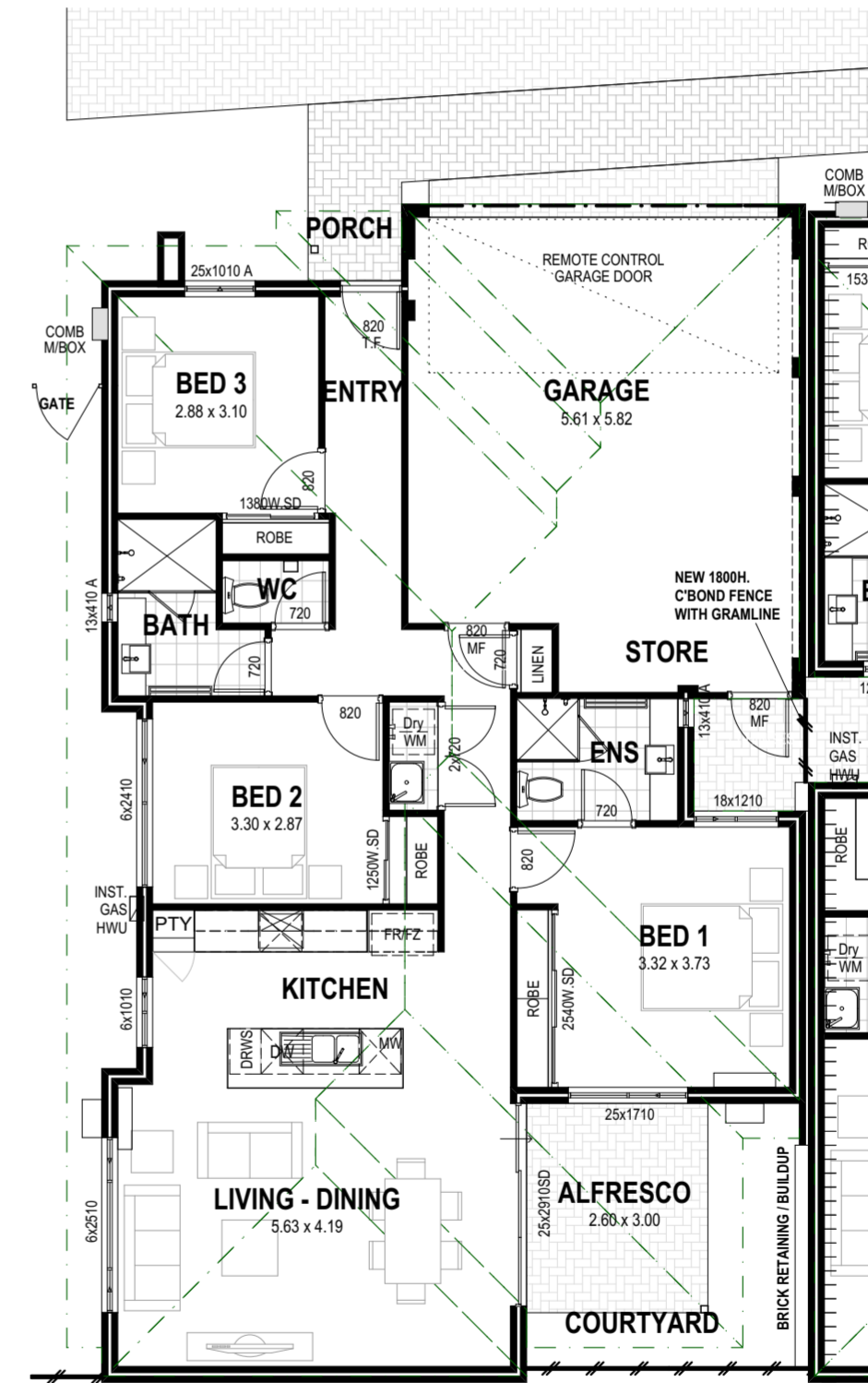
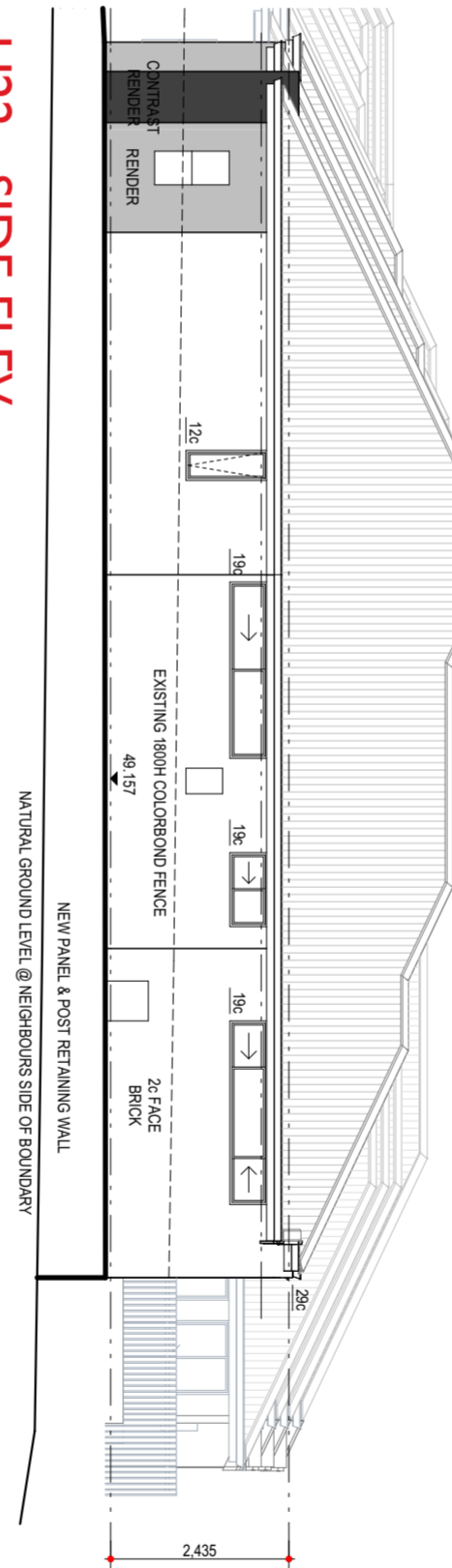
U22 - REAR ELEV



U21 - GRD FLR PLAN

UNIT 21 AREAS FLOOR PLAN
 A: 109.03 m²
 P: 56.56 m
PORCH
 A: 1.87 m²
GARAGE
 A: 33.59 m²
STORE
 A: 4.43 m²
ALFRESCO
 A: 9.1 m²
TOTAL AREA
 A: 158.01 m²

U22 - SIDE ELEV



U22 - GRD FLR PLAN

UNIT 22 AREAS FLOOR PLAN
 A: 106.55 m²
 P: 52.76 m
PORCH
 A: 1.78 m²
GARAGE
 A: 33.58 m²
STORE
 A: 4.43 m²
ALFRESCO
 A: 7.8 m²
TOTAL AREA
 A: 154.16 m²

11.0 - FLOOR PLANS & ELEVATIONS - UNITS - 21, 22

SCALE 1:100 on A2

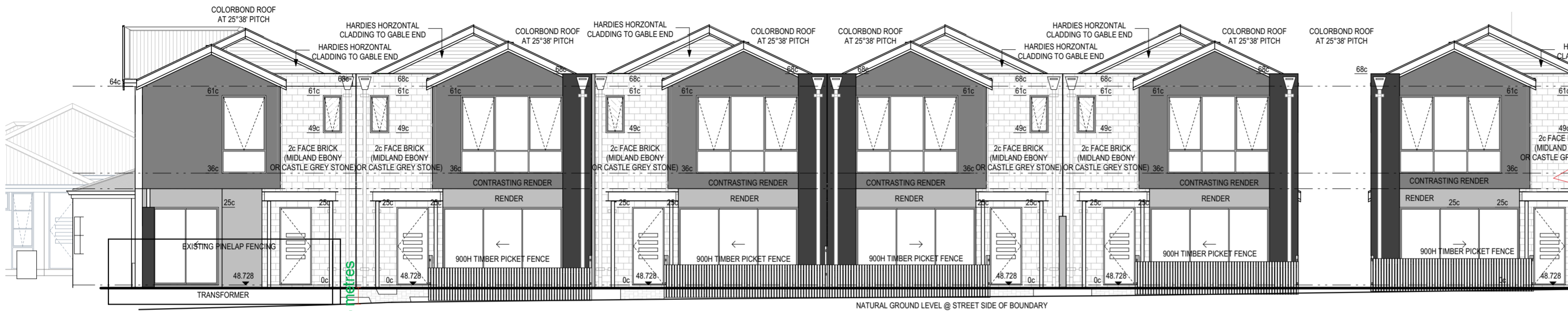


THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

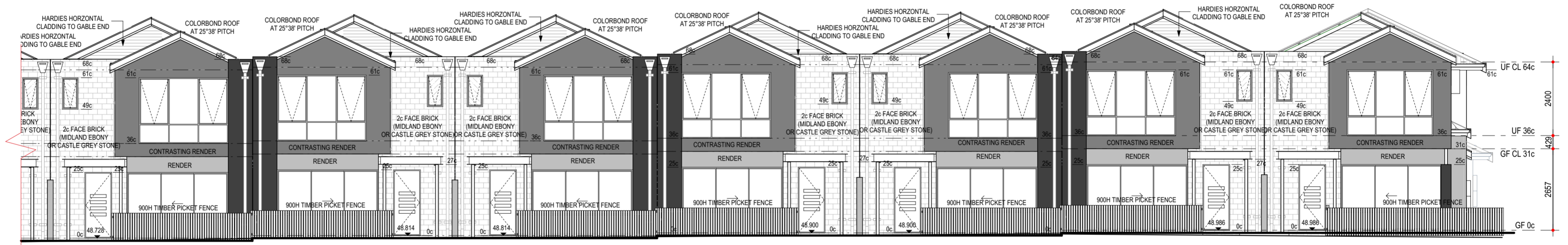
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

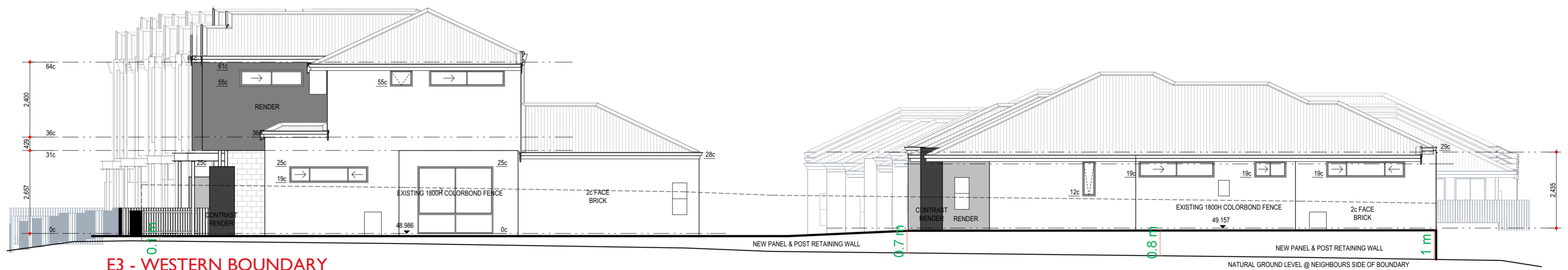
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



EI - NORTHERN BOUNDARY - STRIVE LOOP STREETSCAPE



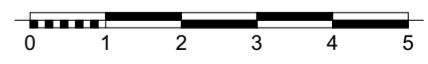
EI - NORTHERN BOUNDARY - STRIVE LOOP STREETSCAPE



E3 - WESTERN BOUNDARY

12.0 - ELEVATIONS (STREETSCAPE)

SCALE 1:100 on A2



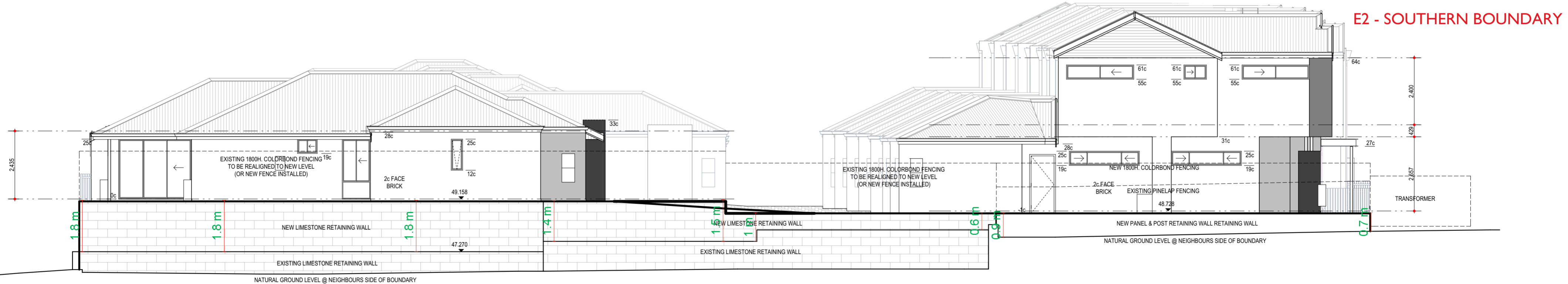
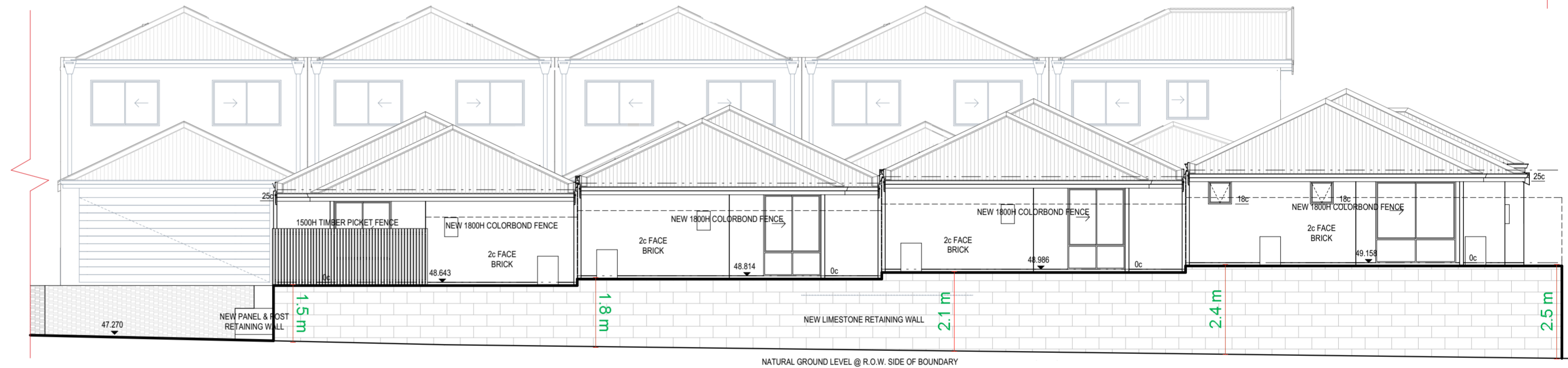
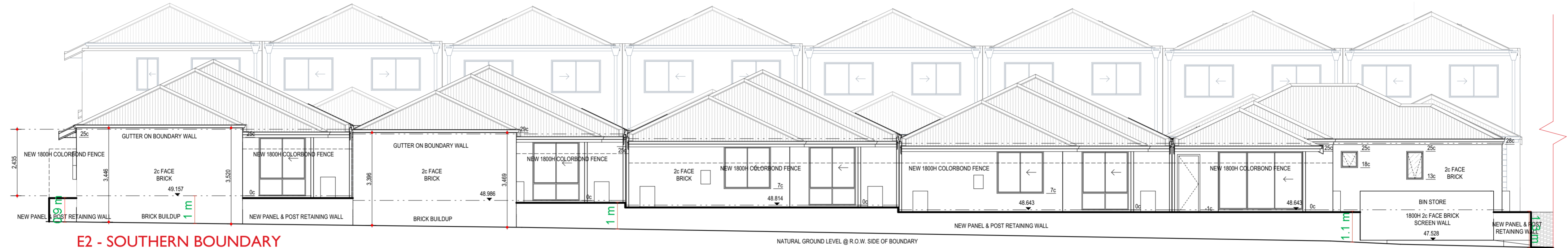
DESIGNED ALI T	SIZE A2	SHEET 13 of 18	REV# P5 - DA P6 - DA	ISSUED: SR ALI	DATE: 7 DEC 2018 16 APR 2019	REV#	ISSUED:	DATE:
DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

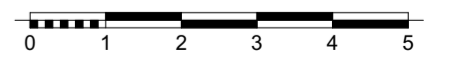
NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



13.0 - ELEVATIONS (STREETSCAPE)

SCALE 1:100 on A2



CLIENT: LAM PROPERTY DEVELOPMENT GROUP PTY LTD
 ADDRESS: LOT 69 (#91) STRIVE LOOP
 GIRRAWHEEN (BLACKMORE PARK ESTATE)

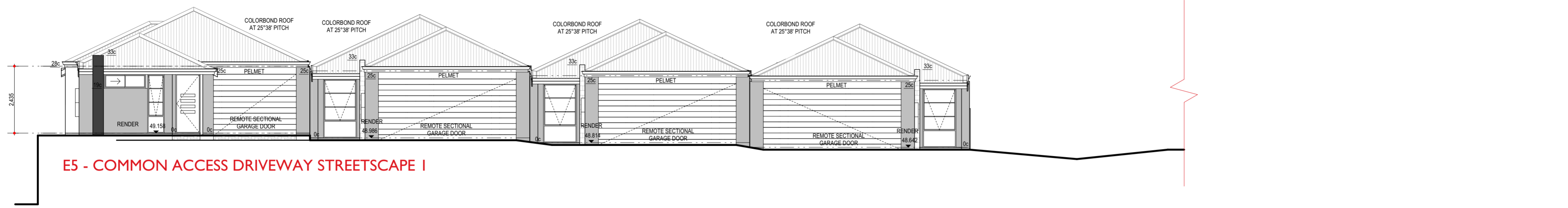
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DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

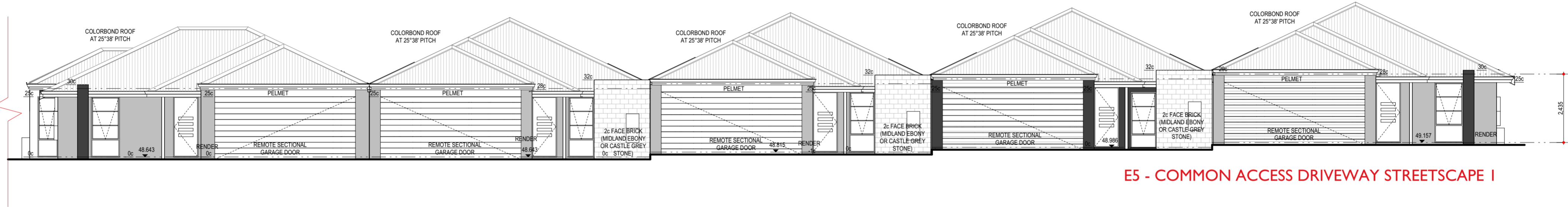
BUILDER: _____ / /
 CLIENT(S): _____ / /
 _____ / /
 WITNESS: _____ / /

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

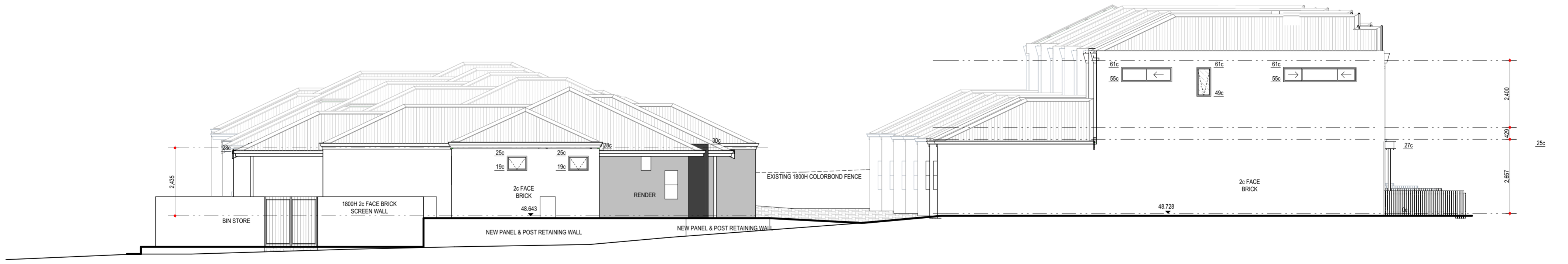
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



E5 - COMMON ACCESS DRIVEWAY STREETScape I



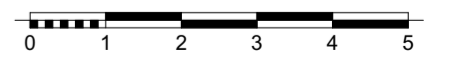
E5 - COMMON ACCESS DRIVEWAY STREETScape I



E7 - COMMON ACCESS DRIVEWAY STREETScape 3

14.0 - ELEVATIONS (STREETScape)

SCALE 1:100 on A2



CLIENT: LAM PROPERTY DEVELOPMENT GROUP PTY LTD
 ADDRESS: LOT 69 (#91) STRIVE LOOP
 GIRRAWHEEN (BLACKMORE PARK ESTATE)

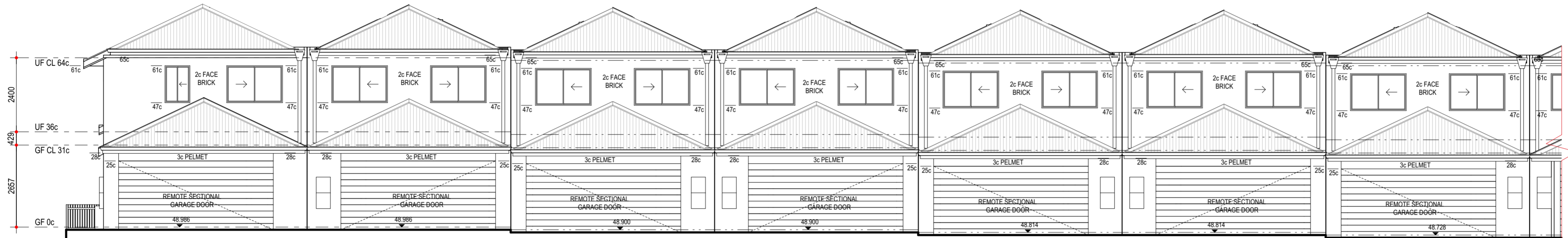
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DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

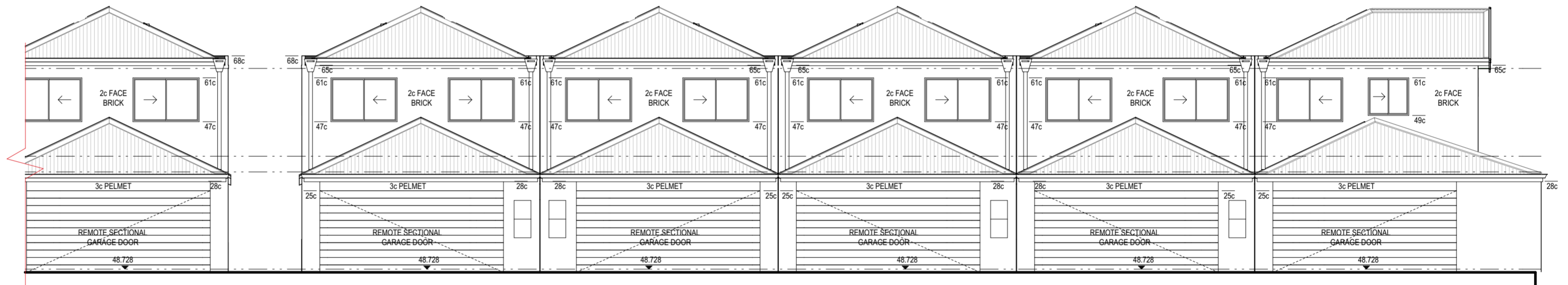
BUILDER: _____
 CLIENT(S): _____
 WITNESS: _____

NOTE:
 FINAL DESIGN SUBJECT TO APPROVAL BY LOCAL AUTHORITY.

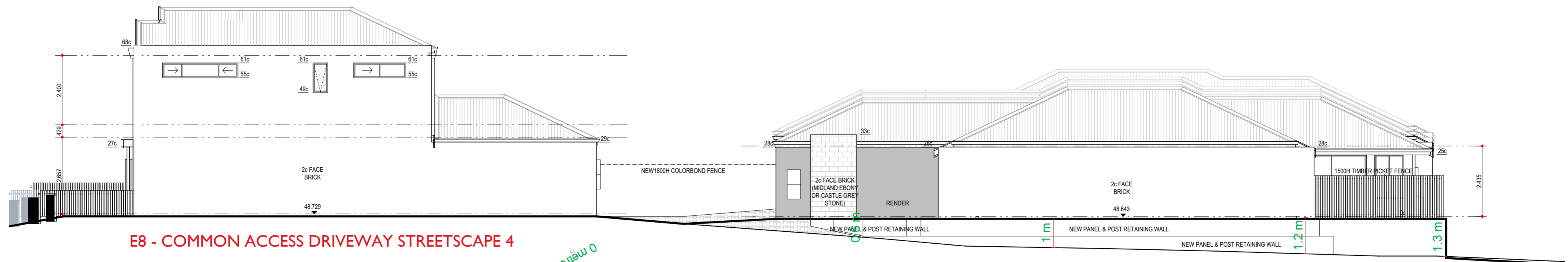
NOTE:
 WINDOWS SUBJECT TO CHANGE IN ACCORDANCE WITH ENERGY EFFICIENCY REGULATIONS AT SUBMISSION OF DEVELOPMENT APPLICATION.



E6 - COMMON ACCESS DRIVEWAY STREETScape 2



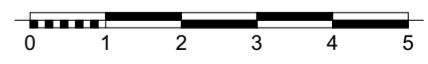
E6 - COMMON ACCESS DRIVEWAY STREETScape 2



E8 - COMMON ACCESS DRIVEWAY STREETScape 4

15.0 - ELEVATIONS (STREETScape)

SCALE 1:100 on A2



DESIGNED ALI T	SIZE A2	SHEET 16 of 18	REV# P5 - DA P6 - DA	ISSUED: SR ALI	DATE: 7 DEC 2018 16 APR 2019	REV#	ISSUED:	DATE:
DATE DEC 2018	© COPYRIGHT 2018							
SCALE 1:	JOB NO: 155619							

THESE ARE THE DRAWINGS & SPECIFICATIONS REFERRED TO IN THE BUILDING CONTRACT.

BUILDER: / /
 CLIENT(S): / /
 / /
 WITNESS: / /



16.0 - PERSPECTIVES

FOR ILLUSTRATIVE PURPOSES ONLY
 COLOURS INDICATIVE ONLY
 (NOT TO SCALE)

DESIGNED	SIZE	SHEET	REV#	ISSUED:	DATE:	REV#	ISSUED:	DATE:
ALI T	A2	17 of 18	P5 - DA	SR	7 DEC 2018			
DATE	© COPYRIGHT 2018		P6 - DA	ALI	16 APR 2019			
SCALE	JOB NO: 155619							
1:								