

PROPOSED CHILDCARE CENTRE

AT

36 MARLINSPIKE BOULEVARD, JINDALEE, WESTERN AUSTRALIA 6036



Project Information

Client : Ashani Holdings PTY LTD
Designer : J. Prestipino Building Designs PTY LTD
Project Site Address: 36 Marlinespike Boulevard, JINDALEE, WESTERN AUSTRALIA, 6036
Project Owner: Ashani Holdings Pty Ltd
Local Government Authority: City of Wanneroo
Project Description: Childcare Centre
Building Classification: Class 9

Project Site Information

Area: 1,760sqm
Proposed Building Areas: 477sqm Ground Floor
203sqm First Floor
140sqm First Floor playground 3 Area
820sqm Total Built Area
Current use: Vacant Block - Zoned Local Centre.
Proposed Use: Childcare Centre

Project Summary

Proposed Childcare Centre at 36 Marlinespike Boulevard, JINDALEE, WESTERN AUSTRALIA, 6036
Designed to cater to a maximum number of 87 Children and 12 Staff members.
The Childcare consist of 5 age specific Rooms over 2 levels with direct Playgrounds access.
12 Public Parking Bays provided off Nicobar Way and 12 Staff Parking bays have been provided directly off Tonna Lane. Totalling 24 car bay including 1 accessible compliant car bay.

Documentation Information

Drawing Schedule

- A.000 Cover Page
- A.001 Site Plans
- A.002 Landscaping Plan
- A.003 Floor Plans
- A.004 Elevations _Sheet 1
- A.005 Elevations _Sheet 2
- A.006 Perspectives

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1.0 Introduction

J Prestipino Building Design on behalf of Ashani Holdings PTY LTD are proposing a new Childcare Centre located at 36 Marlinespike Boulevard, JINDALEE, WESTERN AUSTRALIA, 6036

The Site is located within the new EDEN BEACH Estate.

The Childcare Centre will be a valued addition to the Estate and will service the Childcare needs of this growing Community.

The Site is well suited for a Childcare Centre as it is located centrally within the suburb and positioned off two main roads (Reflection Boulevard and Marlinspike Boulevard.)

The site is well positioned to utilize the Estates Key Features with Marlinspike Park situated to the South of the development and Eden Beach Foreshore Park only 700m away.

The Childcare Centre has been designed to accommodate a maximum number of 87 Children and 12 Staff members at any given time.

The 87 children will be grouped into 5 age specific Rooms over 2 levels. Playgrounds can be accessed directly from each Room.

All care and consideration has been implemented into the design to complement the community and reduce any negative impact on the community

This includes :

- Modern Architectural Aesthetics and incorporating the Eden Beach Colours Palette.
- Limiting noise impact on Community and neighbouring properties, by locating the Ground Floor Playgrounds along Reflection Boulevard and Marlinspike Boulevard. Doing this directs playground noises away from the neighbouring properties.
- Maximise Landscaping and Playgrounds visible from the Reflection Boulevard and Marlinspike Boulevard
- Minimising building mass along Reflection Boulevard and Marlinspike Boulevard due to the larger building setback created by the Playgrounds.

The Site is positioned in a North - South Direction. Utilizing smart design, large glazing and large roof overhang, this ensures natural light has been maximised throughout the development.

The Site has a 3 metre fall from North to the South Boundaries and shares all of its boundaries with a Road or Lane with the exception being 28.8m along the Western Boundary. This portion of the boundary is shared with the Neighbouring Residential Property - Lot 517 Nicobar Way.

Lot 517 Nicobar Way is situated 1.5 to 2m above our site's natural ground. All efforts have been employed to reduce the impact of the childcare centre on this property, however some variations to the City's Districts Planning Scheme No. 2 and Draft LPP 2.3 have been implemented to maximise the Development potential. Refer to Section 9.0 on page 9 of this report for justification of the proposed variations to the City's Districts Planning Scheme No. 2 and Draft LPP 2.3.

Ashani Holdings PTY LTD will be the owner and operator of this proposed development.

Ashani Holdings PTY LTD is continuing to develop and grow within the Childcare sector.

In 2017 they established "Ellenbrook Montessori Childcare Centre" located at 300 The Broadway, ELLENBROOK WA 6069.

Discussions are also in place with Satterley Estate for a new Childcare Centre at the upcoming Allara Estate located 7km North (approx.) of this development.

2.0 Design Philosophy

The biggest impact the site has on the design is a 3-metre slope from North to South. The building has been designed to accommodate this slope by dividing it into 4 portions.

- Main Entry and Services FL 25.800 AHD
- Room 1, Room 2 and Playground 1 FL 25.200 AHD
- Room 3, Room 4 and Playground 2 FL 24.700 AHD
- Room 5 and Playground 3 (1st Floor) FL 28.800 AHD

Each portion has been stepped to work with the site. Doing this limits the amount of cut and fill, reduces building heights and reduces unwanted slopes, steps and retaining walls within the site and play areas.

Parking

Refer to KCTT Transport Impact Statement and related Appendices.

Parking has been provided in two separate areas within the site.

Nicobar Way: 12 Parking Bays. Dedicated for Public parking. Inc. 1 accessible compliant car bay.

Tonna Lane: 12 Parking bays. Dedicated for Staff parking.

Splitting the parking into these two areas has

- Limited congestion between Staff and Public parking during peak and off peak times.
- Limiting potential damage and or accidents between staff and public.
- Maximises the sites potential and provides larger building setbacks to the neighbouring properties.
- Minimising unnecessary traffic to the neighbouring properties and road ways.

Access between the staff parking and building entrance is via a gated passage along the Western Boundary. This passage will not be available for public access, thus reducing interruption to Lot 517 Nicobar Way while providing additional security and reducing the potential of antisocial behaviours.

Main Entry and Services

Access into the building is off Nicobar Way via the Public Carpark and Pedestrian Access off the exiting foot path along Marlinspike Boulevard. The Entry and Service Areas include the following:

- Entry Lobby
- Reception
- Office
- Lift and Stairs to 1st Floor
- Toilets
- Laundry
- Staff Room
- Kitchen

Room 1, Room 2 and Playground 1

Rooms 1 and 2 are accessed directly from Playground 1 via the Main Entry and Services.
Rooms 1 and 2 also share toilet facilities consisting of 1 x change table, 3x children toilets, 3x children hand basin and 1 x adult hand basin.
Kitchen Facilities and store are provided in each room.

- Room 1	After Hours	17 Children Maximum
- Room 2	Toddlers 24 – 36 Months	17 Children Maximum
- Playground 1	Combined for Rooms 1 and 2	36 Children Maximum

Room 3, Room 4 and Playground 2

Rooms 3 and 4 are accessed directly from Playground 2 via the Main Entry and Playground 1.
Rooms 3 and 4 also share toilet facilities consisting of 1 x change table, 3x children toilets, 1 partitioned child toilet, 2x children hand basin and 1 x adult hand basin.
Kitchen Facilities and store are provided in each room.

- Room 3	Kindy 3-4 Years	17 Children Maximum
- Room 4	Schoolies 4+ Years	17 Children Maximum
- Playground 2	Combined for Rooms 3 and 4	35 Children Maximum

Room 5 and Playground 3 (1st Floor)

Located on the 1st Floor, Room 5 and Playground 3 is dedicated to Babies ages 0-24 months.
Accessed to this level is via the stairs and/or Lift at the Main Entry.
Room 5 contains 63sqm of open space. Attached to this room is a separate Cot Room.
Toilet facilities consisting of 1x baby change table and wash trough, 1x children toilet, 1 x child hand basin and Built-in storage. Kitchen Facilities and store have been provided in the room.
Playground 3 is accessed directly from Room 5.

- Room 5	Babies 0-24 Months	19 Children Maximum
- Playground 3	Babies 0-24 Months	20 Children Maximum

Playgrounds

3 playgrounds have been provided within the Development. All play areas have been designed to maximise landscaping and limit noise impact on neighbouring properties.

NOTE: Final Playground Layout and Equipment to Future Details

3.0 Council Policy

District Planning Scheme No. 2 (DPS 2)

Planning and Sustainability Local Planning Policy No. 2.3 : Child Care Centres

The Site is currently a vacant site and classified as Local Centre.

4.0 Parking Requirements

Refer to KCTT Transport Impact Statement and related Appendices

5.0 Children and Employee Numbers

Children Calculation (Maximum)

Rooms	Age Range	Area	Ratio	Children
Room 1		55.6m ²	1 : 3.25m ²	17 children
Room 2 - Toddlers Room	24-36 months	55.6m ²	1 : 3.25m ²	17 children
Room 3 - Kindy Room	3-4 years	55.6m ²	1 : 3.25m ²	17 children
Room 4 - Schoolies Room	4+ years	55.6m ²	1 : 3.25m ²	17 children
Room 5 - Babies Room	0-24 months	63m ²	1 : 3.25m ²	19 children
Total		285m²	1 : 3.25m²	87 children

Employees Calculation (Maximum)

Rooms		Children	Ratio	Staff Req
Room 1 - After Hours		17	-	-
Room 2 - Toddlers Room	24-36 months	17	1 : 5	3.4 staff
Room 3 - Kindy Room	3-4 years	17	1 : 10	1.7 staff
Room 4 - Schoolies Room	4+ years	17	1 : 10	1.7 staff
Room 5 - Babies Room	0-24 months	19	1 : 4	4.8 staff
Total				11.6 staff

6.0 Noise

Refer to ND Engineering Acoustic Report.

7.0 Waste

The Development will utilize local Council verge collection for all Waste and Recyclable Goods. An enclosed Bin Store has been provided to the North West corner of the Building and is not visible from the surround Roads or Neighbouring Properties.

The total area of the Service / Bin Store area is 3.6sqm

8.0 Hours of Operation

The Childcare Centre will be operating the following hours :

Monday to Friday	6:30am – 6:30pm
Saturday	Closed
Sunday	Closed
Public Holidays	Closed

9.0 Justification of Proposed Variation

4.7.3 Where a non residential development is proposed to be located on a lot having a common boundary with a Residential Zoned lot, the side and rear setbacks shall not be less than:

(a) 3 metres for buildings of one storey; or

(b) 6 metres for buildings of two or more storeys.

The Site shares all of its boundaries with a Road or Lane with the exception being 28.8m along the Western Boundary. This portion of the boundary is shared with a Neighbouring Residential Property known as Lot 517 Nicobar Way.

The Proposed Building Offset from this property is 2.2 metres for a length of 9.8 metres and 6.3 metres high. This height has been measured from the proposed Childcare Centre Ground Floor Level RL 25.800.

Lot 517 Nicobar Way natural ground level is 1.5 metres higher (RL 27.300) than the proposed Childcare Centre Floor Level (RL 25.800) thus reducing the 6.3 metre high wall to 4.80 metres above Lot 517 Nicobar Way natural ground floor level. Refer to Section Detail on page 10 of this report for further information

If we apply the R-Codes *Table 2a : Boundary setbacks – walls with no major opening*. A wall with a height of 5 metres and 10 metres in length will require a minimum set back 1.5 metres.

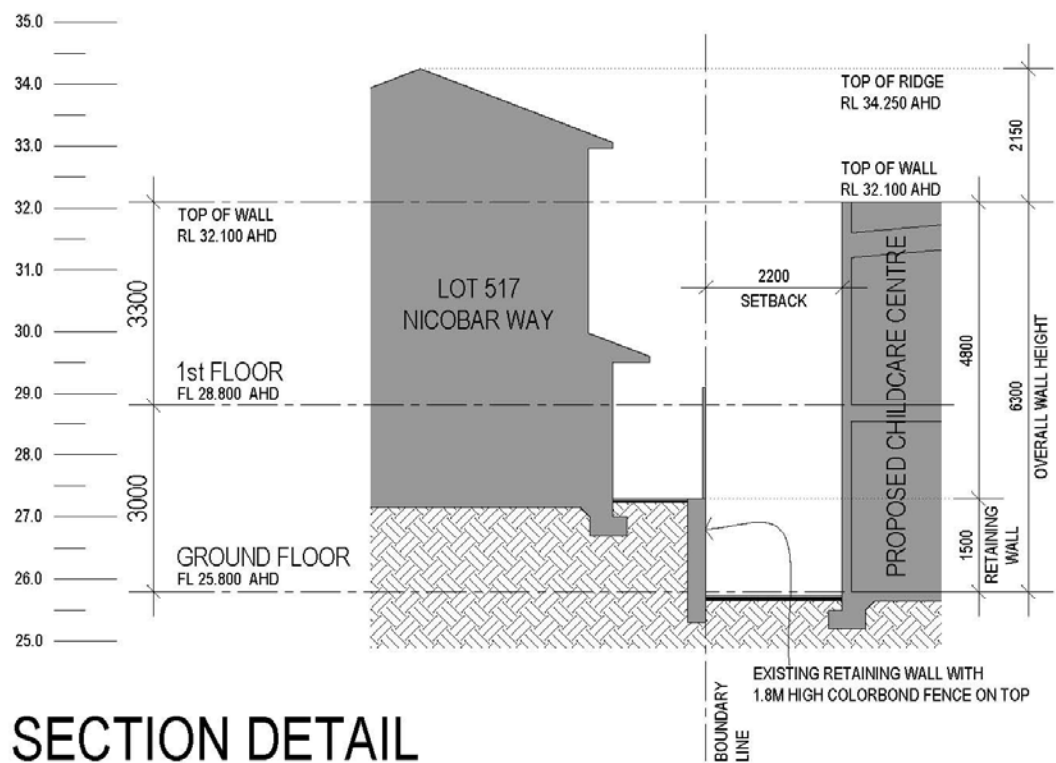
As a 2.2 metre setback has been provided we believe there are no adverse effects on Lot 517 Nicobar Way.

All efforts have been made to reduce any impact to Lot 517 Nicobar Way, This includes :

- No major openings been located within this wall. 1 x Rollerdoor has been provided as the only access to the Bin Store.
- All mechanical services will be run to the roof and away from Lot 517 Nicobar Way.
- This area of the proposed Childcare Centre has been designed to accommodate Toilet and Storage facilities. This is to eliminate any unwanted noise or interruption potentially created by other rooms been located in the same location.
- Feature Stone Cladding has been applied to this wall and will provide better Architectural Aesthetics.
- Lot 517 Nicobar Way roof height has an RL 34.25, the proposed Childcare Centre wall height has an RL 32.100. The wall is 2.15 metres LOWER than the high point of the neighbouring property in the same location.

Refer to Section Detail on page 10 of this report for further information.

As per comments above, we believe the proposed Childcare Centre Wall being 2.2 metres setback from the boundary will have no adverse effect on the neighbouring property located at Lot 517 Nicobar Way.



4.17.2 When a proposed development includes a car parking area abutting a street, an area no less than 3 metres wide within the lot along all street alignments shall be set aside, developed and maintained as landscaping to a standard satisfactory to the Council. This landscaped area shall be included in the minimum 8% of the area of the total development site referred to in the previous subclause.

Nicobar Way Car Park:

To maximise the number of parking bays and provide safe vehicle manoeuvring through the Car park, providing a 3m wide landscaping strip along Marlinspike Boulevard and Nicobar Way will have a negative impact on the overall development.

3 x Landscaping sections have been designed within the car parking area, totalling 22sqm. Planter boxes have also been incorporated into the front facade of the building, totalling 7sqm.

To work with the site and reduce the impact of cars visible from Marlinspike Boulevard and Nicobar Way, the carpark has been lowered 900mm approx. from the natural ground level along Nicobar Way. A medium sized hedging plant (1m high x 0.6m wide approx.) has also been provided on the verge running parallel with the boundary line.

As this carpark is primarily utilised for Child drop off and pick up, this area will remain empty for majority of the day. As a vehicle will only require a bay for 5 – 10 minutes the amount of Landscape screening isn't as high as would be for other developments.

Tonna Lane:

Tonna Lane is a service lane for the sole purpose of Vehicles manoeuvring from our site and the 9 Residential sites facing Reflection Boulevard.

As it is a Service Lane, the need for landscaping is greatly reduced. Furthermore, the proposed Staff parking bays utilise Tonna Lane for manoeuvring.

A 3m deep landscaping strip has been provided along Reflection Boulevard as well as the existing verge landscaping. This landscaping will provide sufficient screening of this car parking from the general public.

The overall development comprises of 369sqm of soft landscaping which is 21% of the overall site. This measurement excluded paved areas. Refer to *IMAGE 1 : Proposed Landscaped areas with in the Development* on page 12 of this report and *A.002 Landscaping Plan* for further information.

Due to the large amount of landscaping provided within the development and along the Verge, we believe there is no adverse effect with the reduction of landscaping with in these areas.

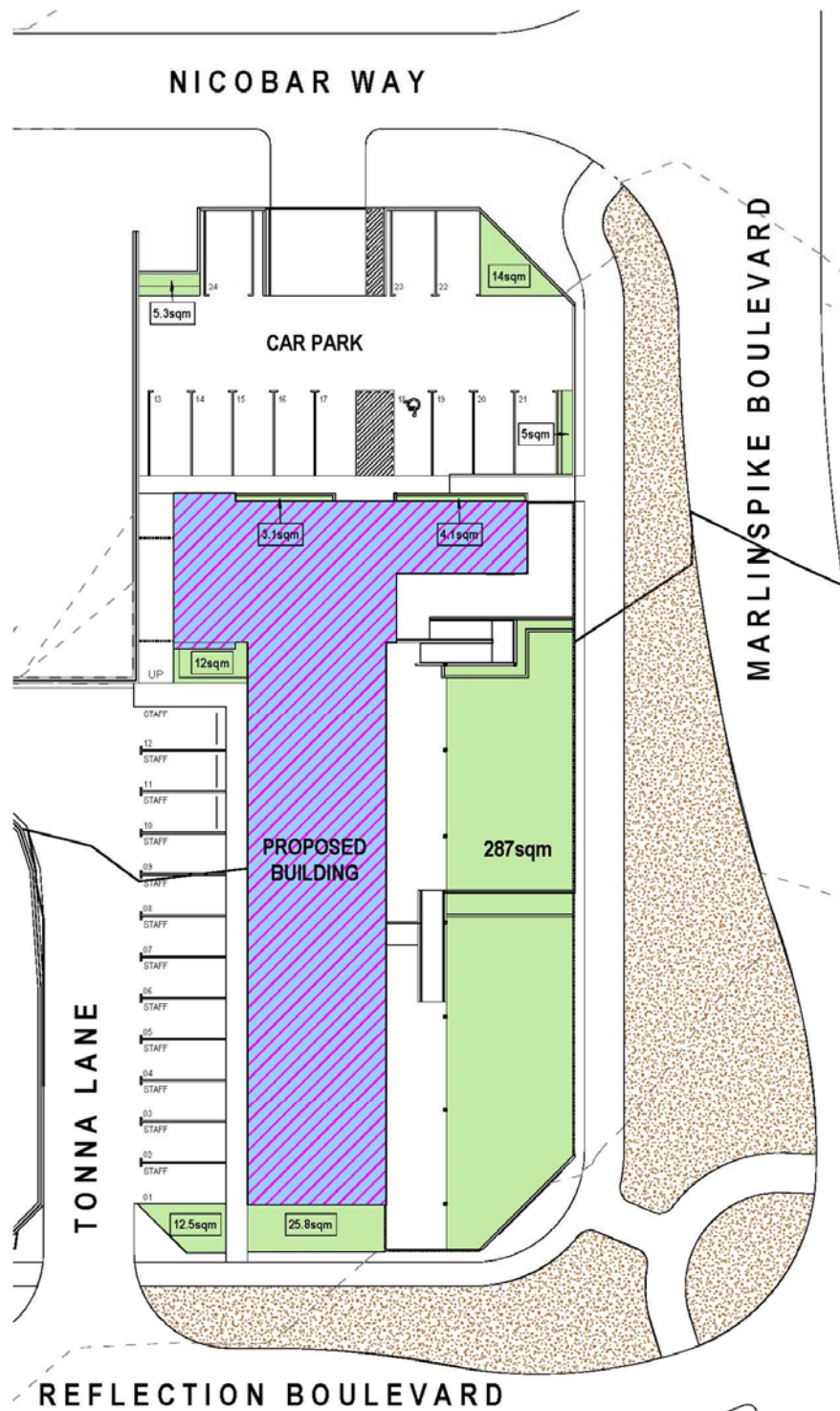


IMAGE 1 : Proposed Landscaped areas with in the Development

4.17.5 Shade trees shall be planted and maintained in car parking areas designed within the wells at the rate of one tree for every four (4) car parking bays, to the Council's satisfaction.

Nicobar Way Car Park:

Due to the layout of the carpark, Maximising space for vehicle movement within the Parking areas and the need to minimise driver distractions, locating the shade trees at every 4 car parking bays will not be viable without compromising one or all of the items mentioned above.

We are proposing to provide 3 x shaded trees within the 3 landscaped areas of the car park.

Doing this will also reduce the following issues:

- Maximising space for vehicle movement within the Parking areas
- Minimise driver distractions.
- Minimise potential damage to trees and vehicles if patrons drive into these trees.
- Minimise potential damage of kerbing and bitumen as tree matures and the root system expands thus creating tripping hazards.
- Minimise potential damage to trees, buildings and retaining walls as the tree matures and grows.

As this is a short term parking area, Shade trees will not have the same benefits as it would for other developments where longer term parking bays are required.

We believe there is no adverse effect with the trees being planted within the proposed landscaped areas.

Tonna Lane:

Tonna Lane is a service lane for the sole purpose of Vehicles manoeuvring from our site and the 9 Residential sites facing Reflection Boulevard.

We believe Tonna Lane Car Park will receive sufficient shade from the Proposed Childcare Building and neighbouring properties.

This has been achieved by incorporated canopies and larger roof overhangs within this area.

The neighbouring properties ground level to the North of the car park is 2 metres higher with a 1.8m high Colorbond fence on top. This retaining wall and fence is higher than normal and will provide additional shading to this area.

As a result, we believe there is no adverse effect with the removal of shade trees within the car park of this development.

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LOT 517

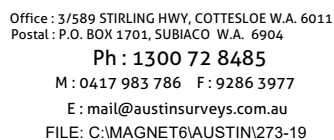
TONNA LANE

LOT 516
1760m²

MARLINSPIKE

BOULEVARD

REFLECTION BOULEVARD



LOT 516 ON DP 416094
CT 2966-559

REFLECTION BOULEVARD / MARLINSPIKE BOULEVARD / NICOBAR WAY, JINDALEE

LOCAL AUTHORITY : CITY OF WANNEROO
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