

1 SITE PLAN  
SCALE 1 : 500

CARPARKING REQUIREMENTS	
TOTAL FLOOR AREA:	5017m² @ 1/50GLA BASED ON LIGHT INDUSTRIAL
TOTAL REQUIRED	= 101 (100.3)
TOTAL PROVIDED	= 90

LANDSCAPING REQUIREMENTS	
LANDSCAPE REQUIREMENT	8% OF DEVELOPMENT SITE AREA: 1616.7m²
LANDSCAPING AREA PROVIDED:	1629.3m²

STORMWATER REQUIREMENTS	
FUTURE STORMWATER AND DRAINAGE DESIGN IN ACCORDANCE WITH LOCAL PLANNING POLICY 4.4. DESIGN FOR CIVIL STORMWATER SYSTEM TO ACCOMMODATE 1:100 ARI IN ACCORDANCE WITH CITY OF WANNEROO ENGINEERING SPECIFICATION WDS	

REVISION SCHEDULE			
DATE	No.	DESCRIPTION	
24.07.2019	C	ISSUED FOR DEVELOPMENT APPROVAL	
07.05.2019	B	ISSUED FOR CLIENT COMMENT	
22.02.2019	A	ISSUED FOR CLIENT REVIEW	

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LANDSCAPING LEGEND	
	SELECTED BRICK PAVING
	SELECTED GRASSED AREA
	TREE (UP TO 10m HIGH) AGONIS FLEXUOSA WEEPING PEPPERMINT
	SHRUB (1-3m HIGH) RINOCARPUS PINIFOLIUS WEDDING BUSH
	SHRUB (UP TO 1m HIGH) BANKSIA SPINULOSA BIRTHDAY CANDLES
	GROUND COVERPLANT (50cm HIGH, 2m WIDE) GREVILLEA SYNAPHEAE CATKIN GREVILLEA
	GROUND COVER LIVING MULCH (55cm HIGH, 45cm-1m WIDE) SCAEVOLA SP FAN FLOWERS

NOTE:  
FINAL LANDSCAPING LAYOUT TO BE DESIGNED IN CONJUNCTION WITH LANDSCAPING DESIGNER AND IN ACCORDANCE WITH LOCAL AUTHORITY LANDSCAPING REQUIREMENTS.

**modus**  
design pty ltd

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SITE PLAN

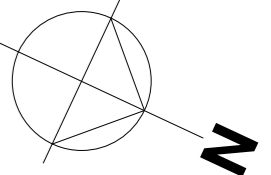
PROPOSED DEVELOPMENT  
LOT 700 #31 WINDSOR ROAD,  
WANGARA WA 6065

MODUS PROJECT	D19-1210
DESIGN	AS
DRAWN	AS
CHECKED	SW
SCALE	As indicated
DATE	MAR 2019
REVISION	C

A2 DWG DA02

E4  
DA04

72854 OVERALL

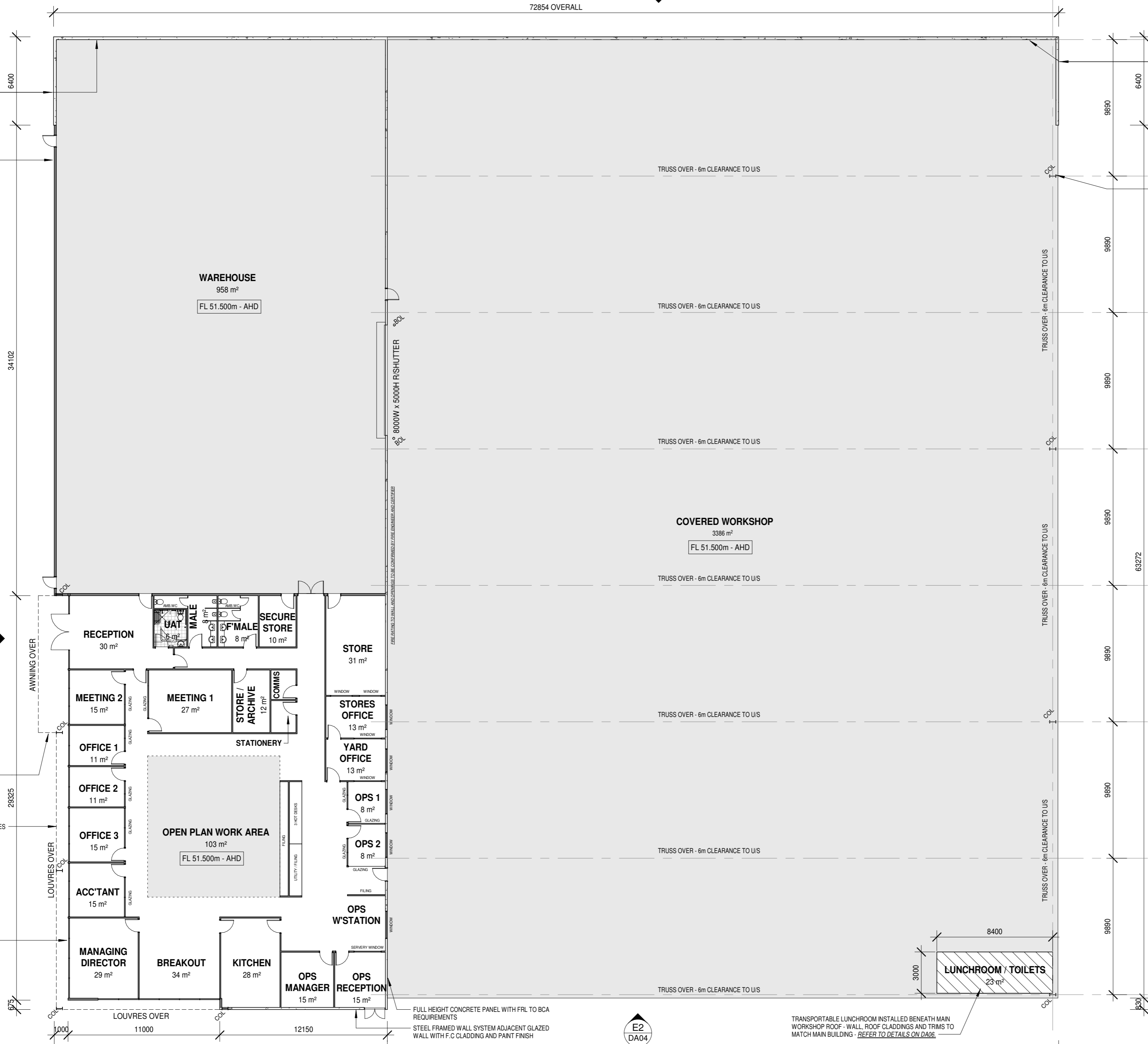


CONCRETE PANEL TO BOUNDARY WITH RETURN IN ACCORDANCE WITH BCA AND FIRE SEPARATION REQUIREMENTS TO SW BOUNDARY - PAINT FINISH.

FRAMED WALL WITH PAINTED F.C CLADDING PANELS - PAINT FINISH WITH EXPRESSED JOINTS

CONCRETE PANEL TO BOUNDARY WITH RETURN IN ACCORDANCE WITH BCA AND FIRE SEPARATION REQUIREMENTS TO SW BOUNDARY - PAINT FINISH.

STEEL MEMBERS WITH APNT FINISH FOR ROOF SUPPORT - TO FUTURE STRUCTURAL DESIGN



**WAREHOUSE**  
958 m<sup>2</sup>  
FL 51.500m - AHD

**COVERED WORKSHOP**  
3386 m<sup>2</sup>  
FL 51.500m - AHD

**OPEN PLAN WORK AREA**  
103 m<sup>2</sup>  
FL 51.500m - AHD

**LUNCHROOM / TOILETS**  
23 m<sup>2</sup>

RECEPTION  
30 m<sup>2</sup>

MEETING 2  
15 m<sup>2</sup>

MEETING 1  
27 m<sup>2</sup>

OFFICE 1  
11 m<sup>2</sup>

OFFICE 2  
11 m<sup>2</sup>

OFFICE 3  
15 m<sup>2</sup>

ACC'TANT  
15 m<sup>2</sup>

MANAGING DIRECTOR  
29 m<sup>2</sup>

BREAKOUT  
34 m<sup>2</sup>

KITCHEN  
28 m<sup>2</sup>

OPS MANAGER  
15 m<sup>2</sup>

OPS RECEPTION  
15 m<sup>2</sup>

STORE  
31 m<sup>2</sup>

STORES OFFICE  
13 m<sup>2</sup>

YARD OFFICE  
13 m<sup>2</sup>

OPS 1  
8 m<sup>2</sup>

OPS 2  
8 m<sup>2</sup>

OPS W'STATION

UAT  
8 m<sup>2</sup>

MALE  
8 m<sup>2</sup>

FEMALE  
8 m<sup>2</sup>

STORE ARCHIVE  
12 m<sup>2</sup>

STATIONERY

COMMS

UTILITY ROOM

SHOT RISER

SERVERY WINDOW

8000W x 5000H RISHUTTER

FLOORING TO MATCH EXISTING BUILDING TO BE CONFORMED TO FIRE RISK MANAGEMENT STRATEGY

FULL HEIGHT CONCRETE PANEL WITH FRL TO BCA REQUIREMENTS  
STEEL FRAMED WALL SYSTEM ADJACENT GLAZED WALL WITH F.C CLADDING AND PAINT FINISH

TRANSPORTABLE LUNCHROOM INSTALLED BENEATH MAIN WORKSHOP ROOF - WALL, ROOF CLADDINGS AND TRIMS TO MATCH MAIN BUILDING - REFER TO DETAILS ON DA06

E1  
DA04

E3  
DA04

E2  
DA04

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REVISION SCHEDULE

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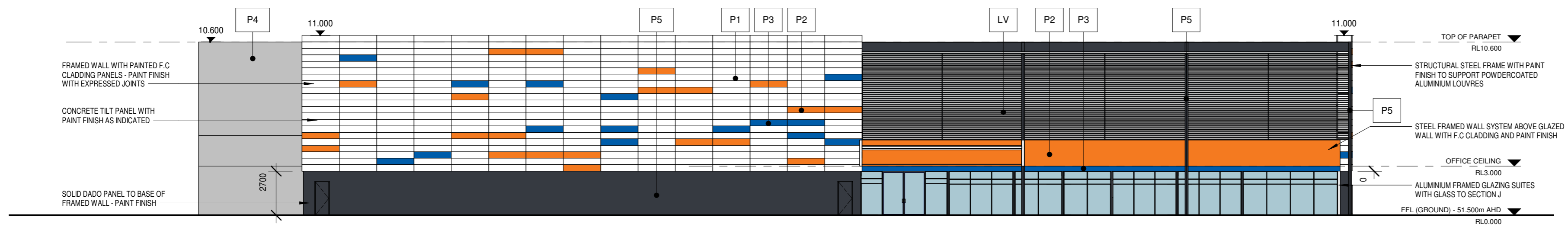
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FLOOR PLAN

PROPOSED DEVELOPMENT  
LOT 700 #31 WINDSOR ROAD,  
WANGARA WA 6065

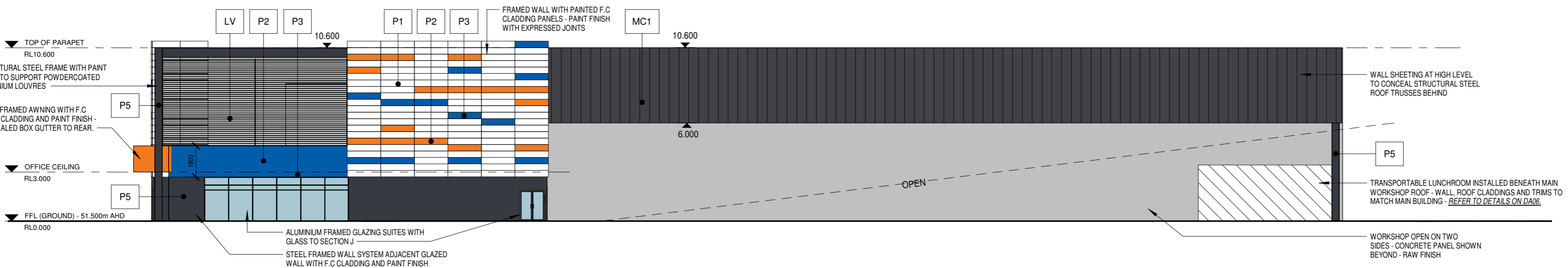
MODUS PROJECT	D19-1210
DESIGN	AS
DRAWN	AS
CHECKED	SW
SCALE	1 : 200
DATE	MAR 2019
REVISION	C

A2 DWG DA03

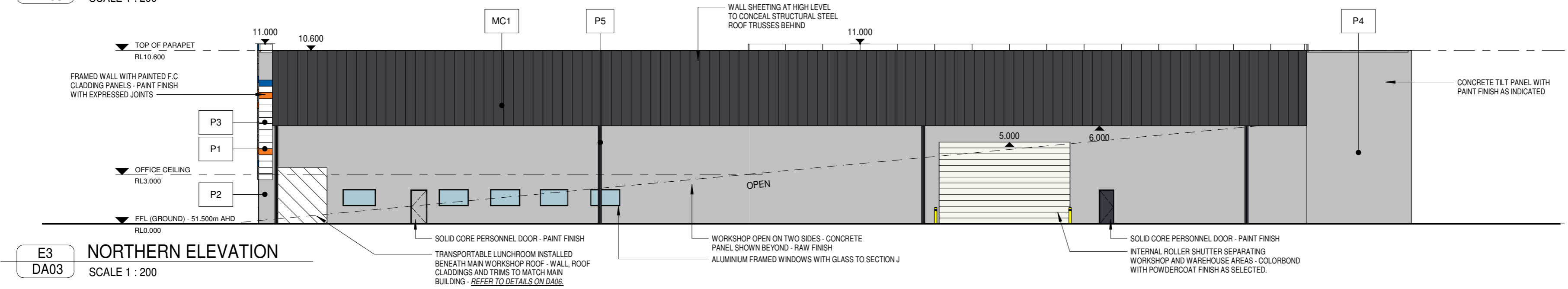


**E1 SOUTHERN ELEVATION (WINDSOR RD ELEVATION)**  
DA03 SCALE 1 : 200

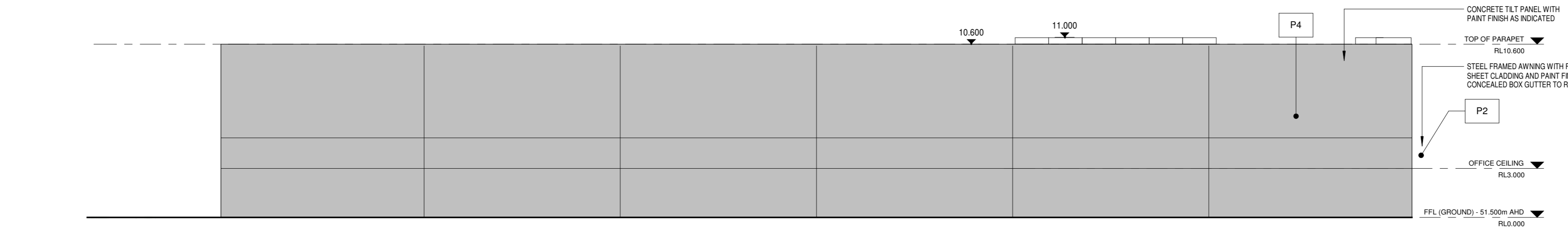
- EXTERNAL FINISHES**
- P1 PAINT FINISH P1 - *DULUX LEXICON*
  - P2 PAINT FINISH P2 - *DULUX VIBRANT ORANGE* OR SIMILAR APPROVED
  - P3 PAINT FINISH P3 - *DULUX TRUE BLUE* OR SIMILAR APPROVED
  - P4 PAINT FINISH P4 - *DULUX SHALE GREY* OR SIMILAR APPROVED
  - P5 PAINT FINISH P5 - *DULUX MONUMENT* OR SIMILAR APPROVED
  - MC1 METAL CLADDING WITH *COLORBOND MONUMENT* OR SIMILAR APPROVED
  - LV 'LOUVRETEC' END-FIXED SUN LOUVRES ANGLED 45 DEG. FIXED TO STRUCTURAL FRAME IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES



**E2 EASTERN ELEVATION**  
DA03 SCALE 1 : 200



**E3 NORTHERN ELEVATION**  
DA03 SCALE 1 : 200



**E4 WESTERN ELEVATION**  
DA03 SCALE 1 : 200

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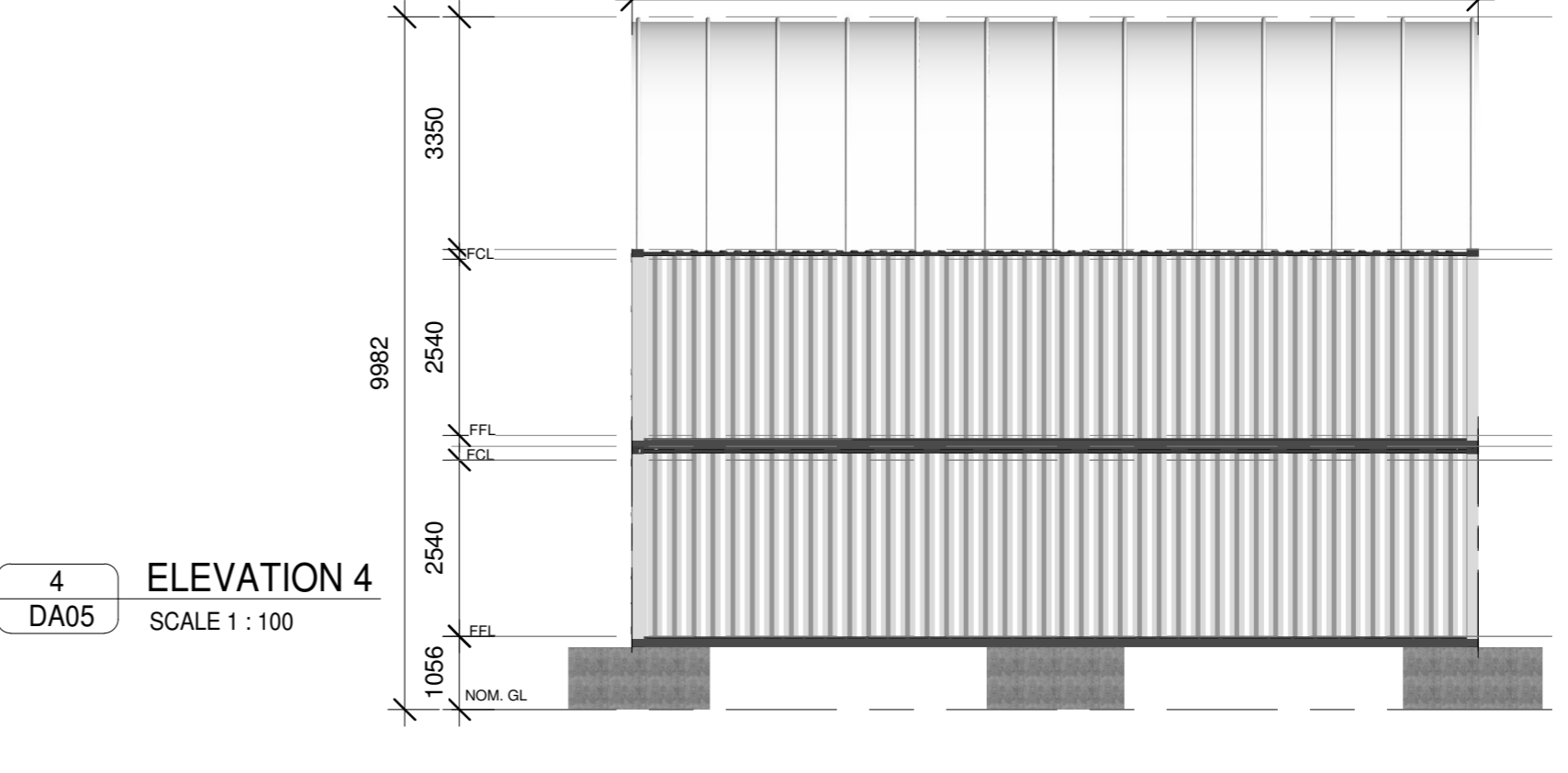
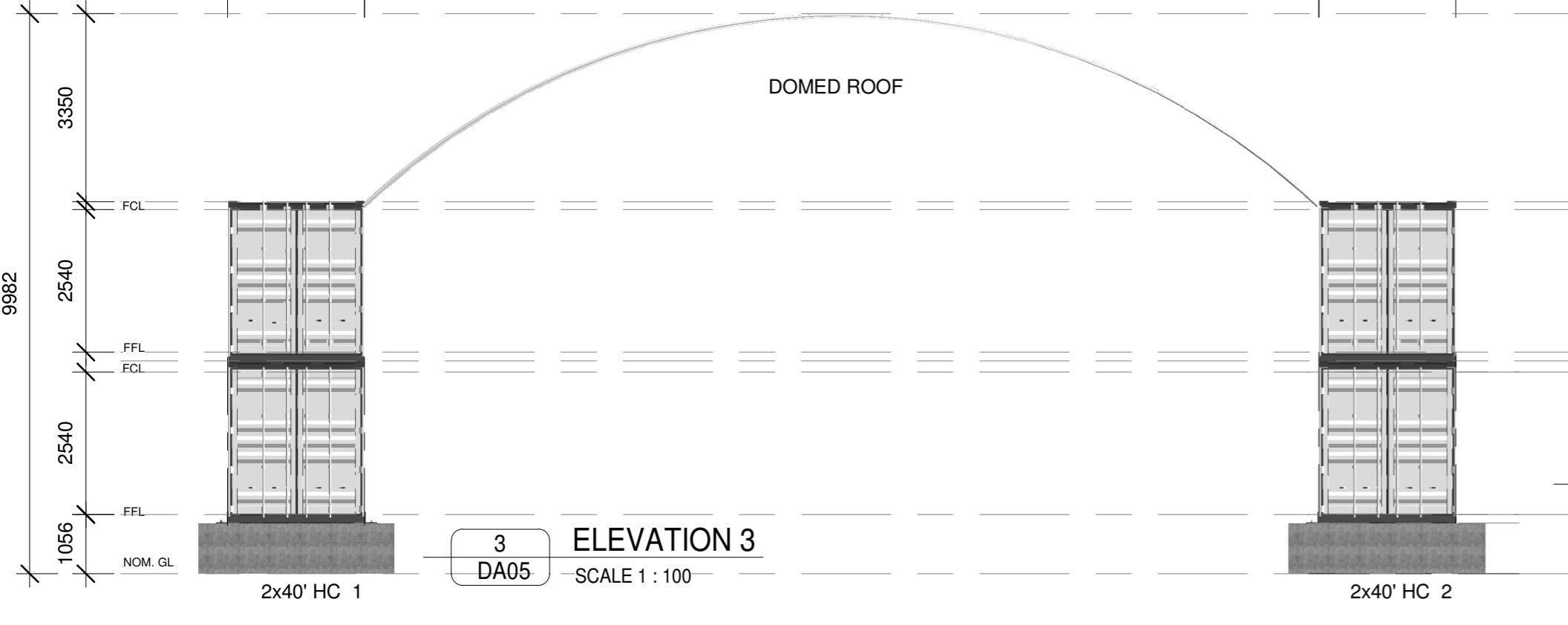
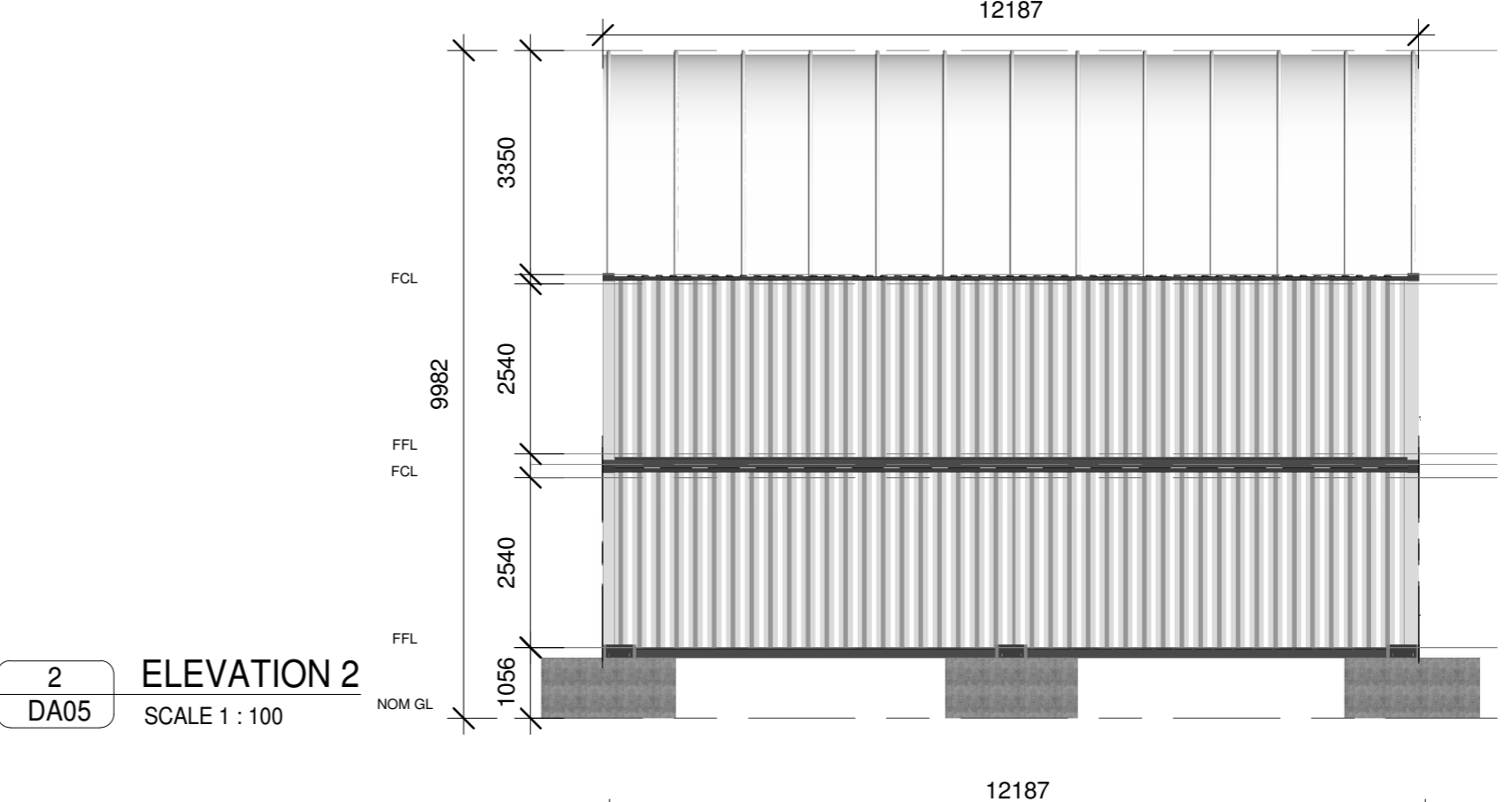
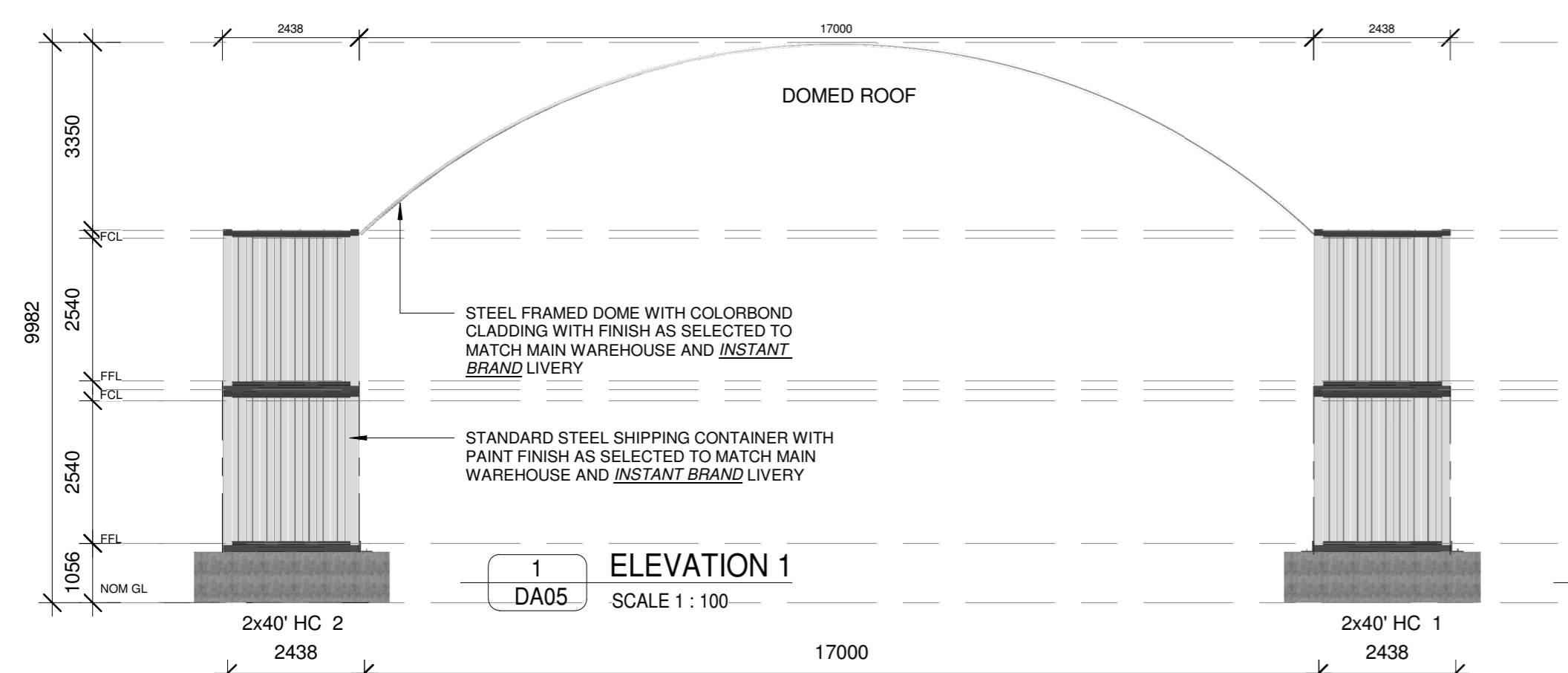
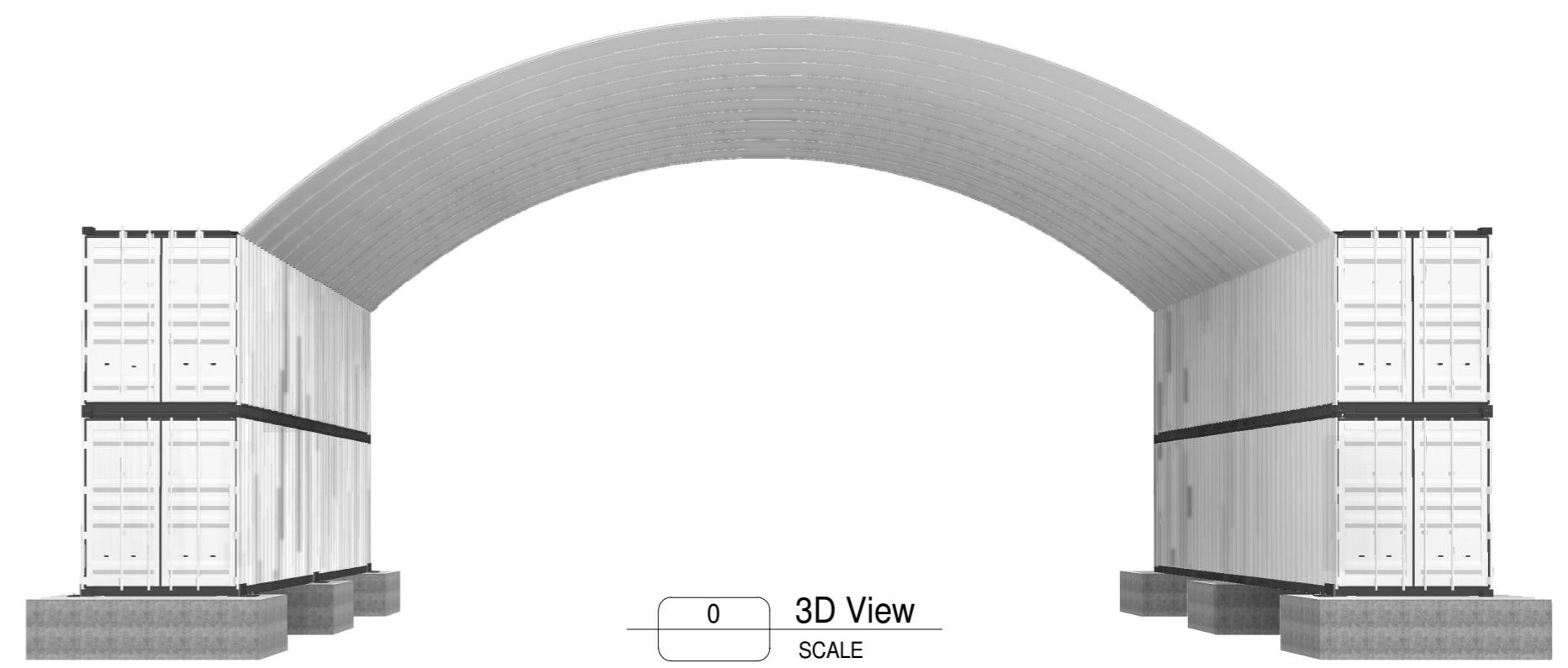
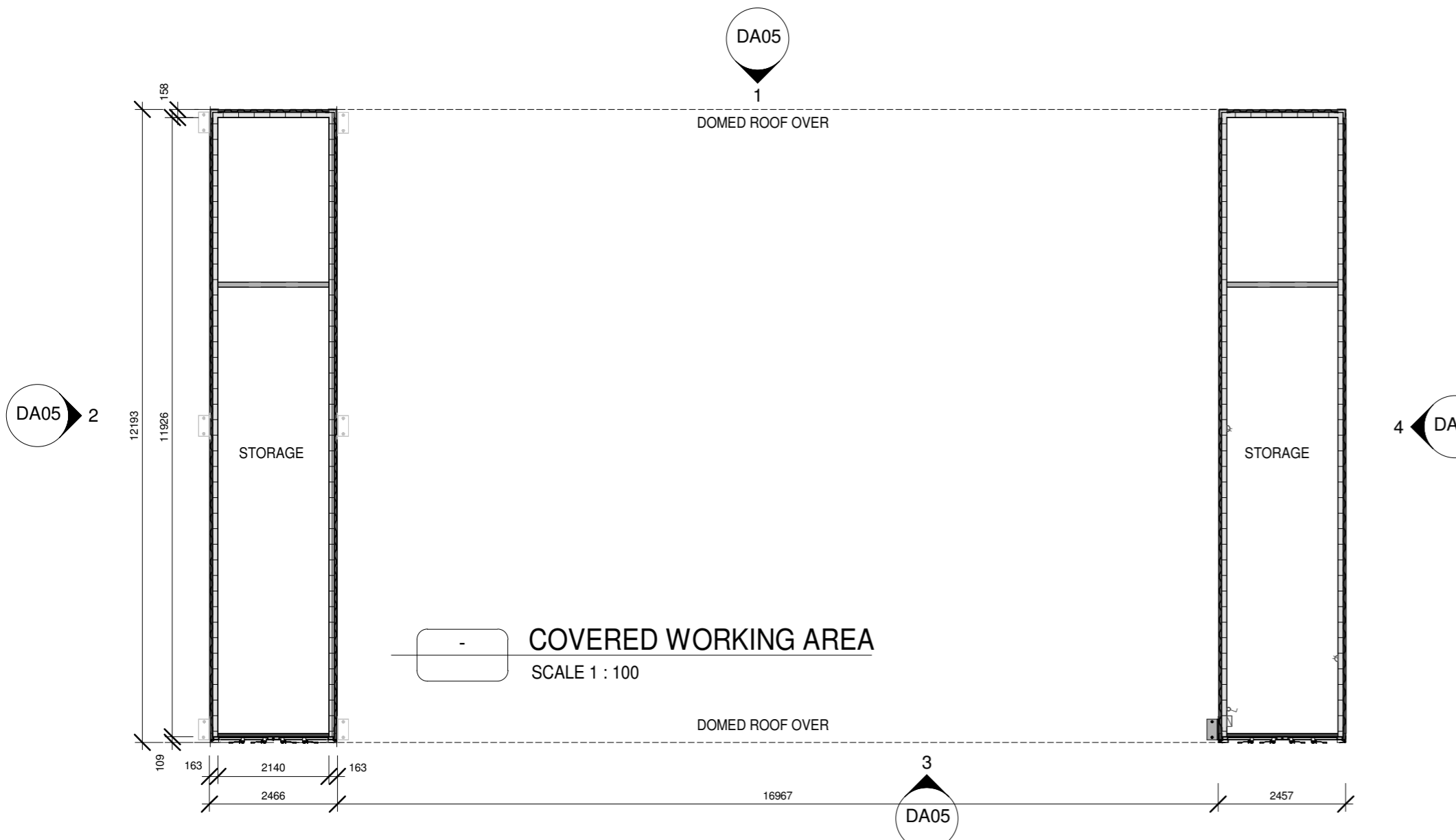
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ABN 27 121 224 459 PO BOX 222  
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**ELEVATIONS**

PROPOSED DEVELOPMENT  
LOT 700 #31 WINDSOR ROAD,  
WANGARA WA 6065

MODUS PROJECT	D19-1210
DESIGN	AS
DRAWN	AS
CHECKED	SW
SCALE	As indicated
DATE	MAR 2019

REVISION	C
A2	DA04



DATE	No.	DESCRIPTION
24.07.2019	A	ISSUED FOR DEVELOPMENT APPROVAL
REVISION SCHEDULE		

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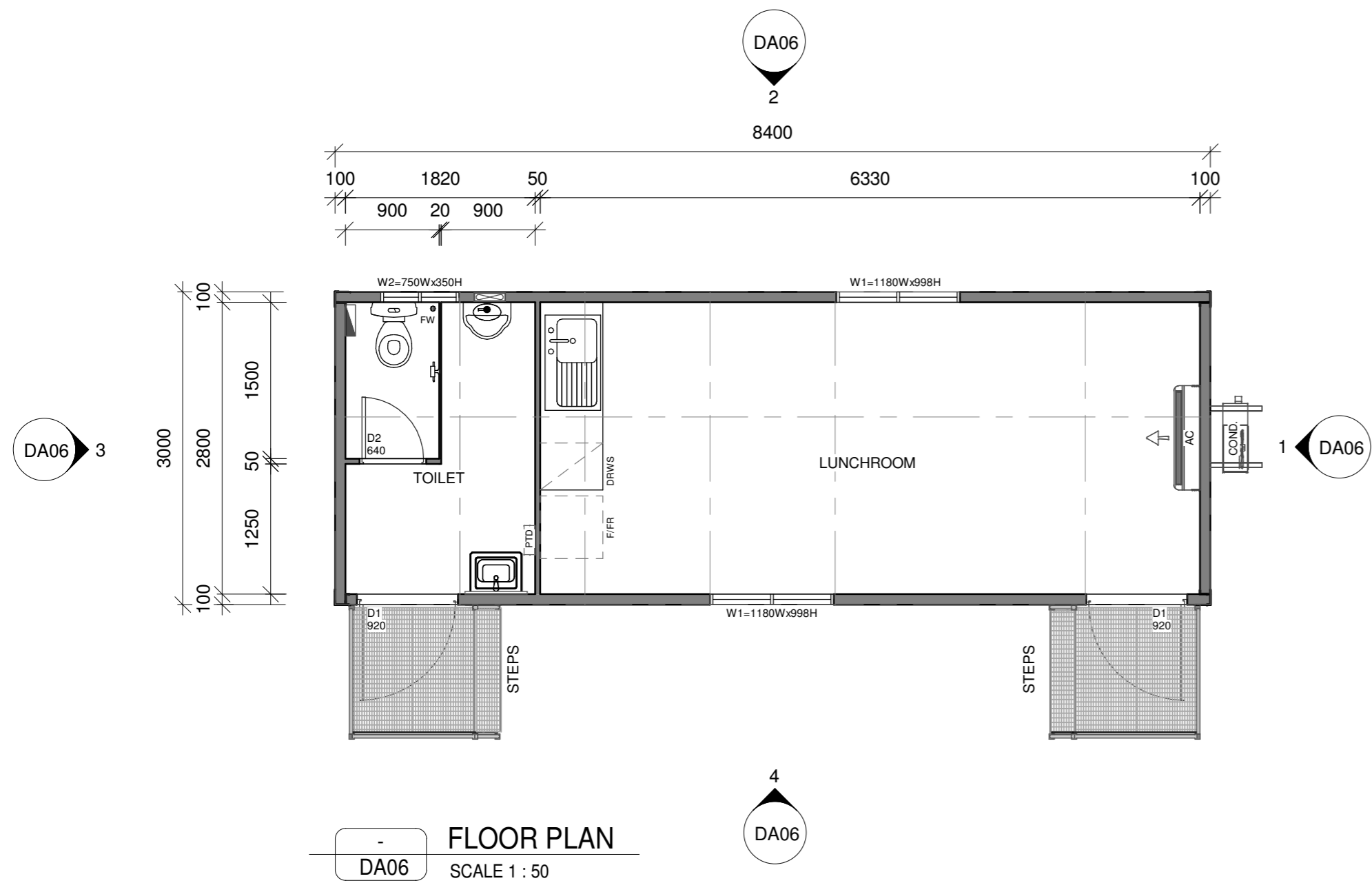


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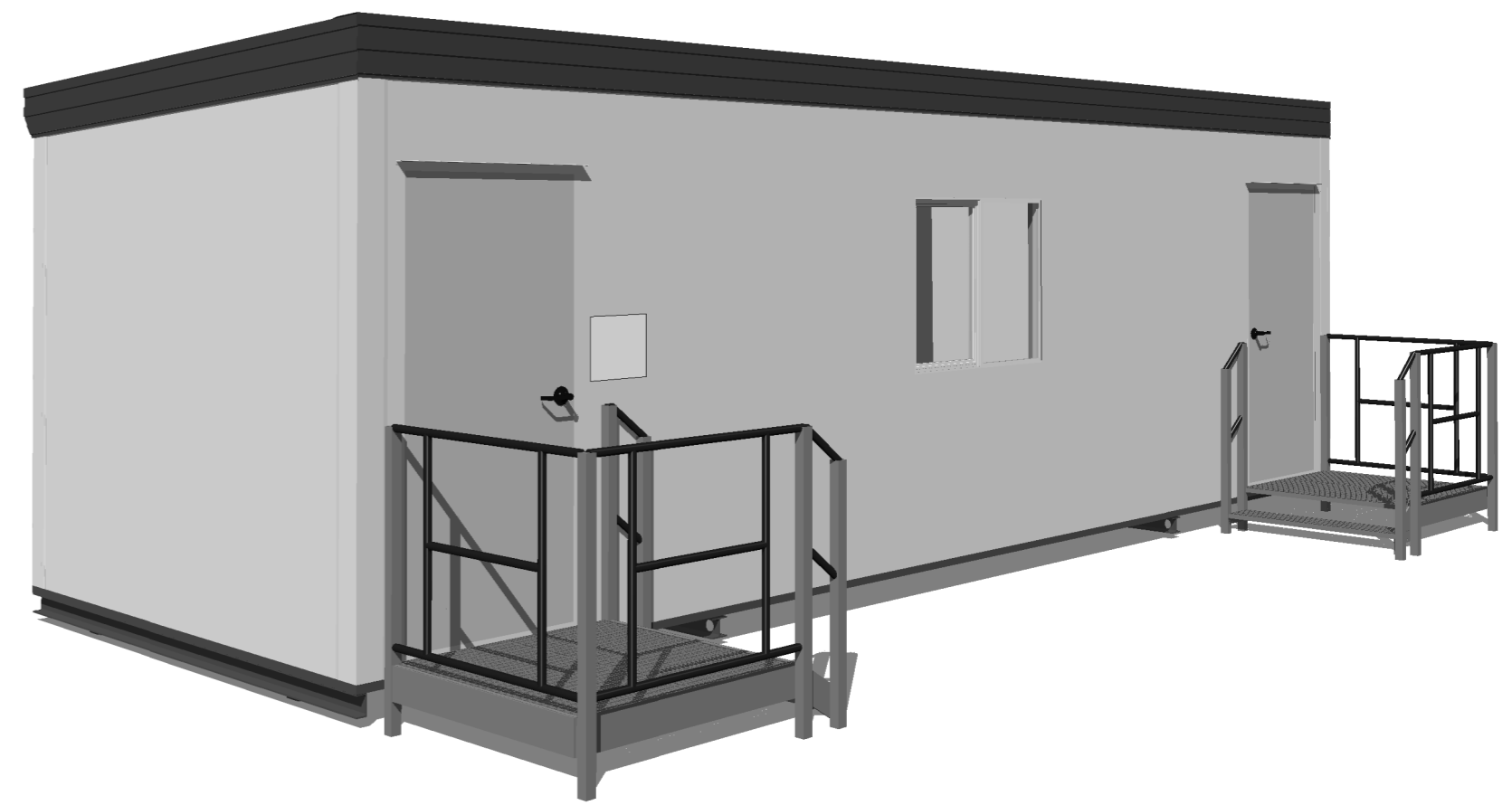
**COVERED WORK AREA DETAILS**

PROPOSED DEVELOPMENT  
LOT 700 #31 WINDSOR ROAD,  
WANGARA WA 6065

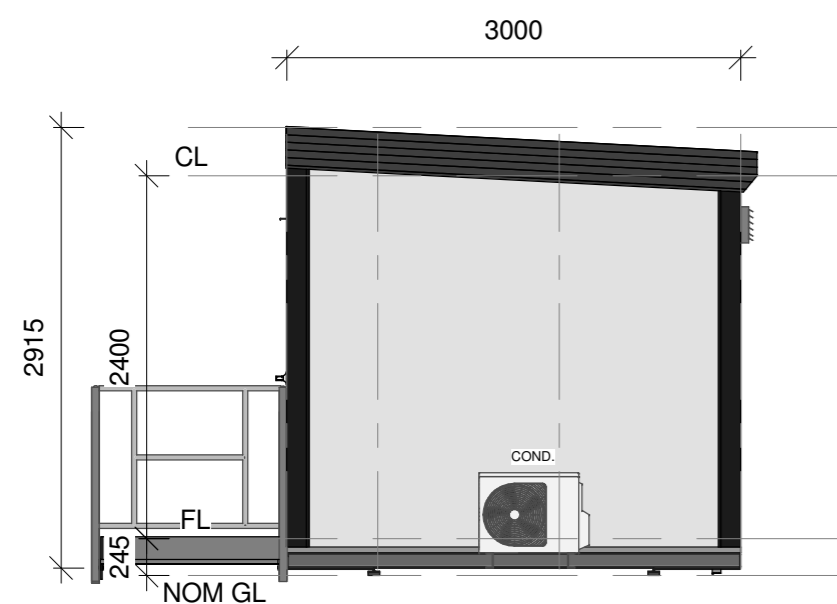
MODUS PROJECT	D19-1210
DESIGN	IP
DRAWN	HV
CHECKED	SCR
SCALE	1 : 100
DATE	MAR 2019
REVISION	A



DA06 FLOOR PLAN SCALE 1 : 50



0 3D VIEW SCALE



1 ELEVATION 1 DA06 SCALE 1 : 50

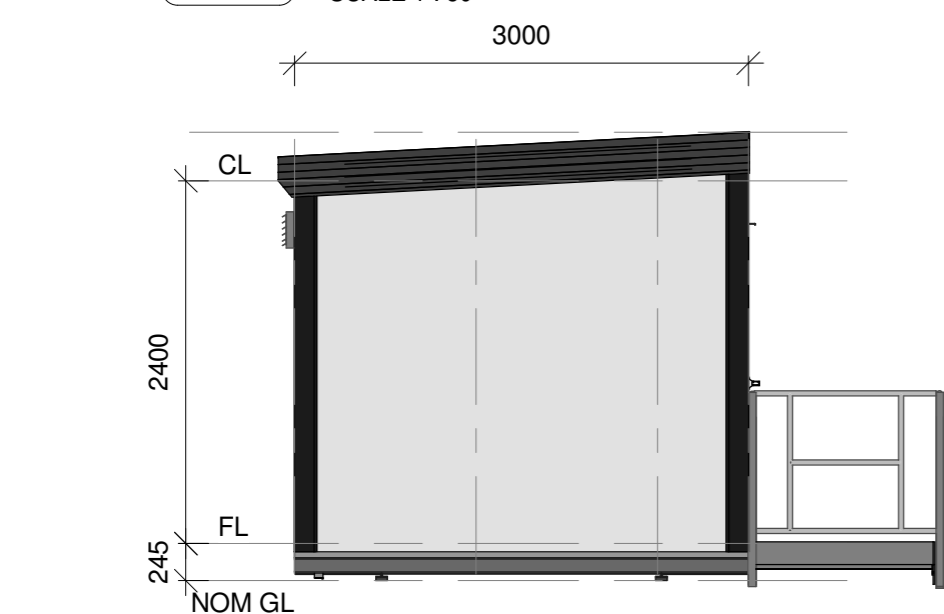


2 ELEVATION 2 DA06 SCALE 1 : 50

STEEL FRAMED ROOF WITH COLORBOND CLADDING WITH FINISH AS SELECTED TO MATCH MAIN WAREHOUSE AND *INSTANT BRAND* LIVERY

ALUMINIUM FRAMED WINDOWS WITH GLAZING TO SECTION J

STEEL FRAMED AMENITIES BUILDING WITH COLORBOND CLADDING AND FINISH AS SELECTED TO MATCH MAIN WAREHOUSE AND *INSTANT BRAND* LIVERY



3 ELEVATION 3 DA06 SCALE 1 : 50



4 ELEVATION 4 DA06 SCALE 1 : 50

STEEL FRAMED ROOF WITH COLORBOND CLADDING WITH FINISH AS SELECTED TO MATCH MAIN WAREHOUSE AND *INSTANT BRAND* LIVERY

TIMBER DOOR IN STEEL FRAME - PAINT FINISH AS SELECTED

STEEL FRAMED AMENITIES BUILDING WITH COLORBOND CLADDING AND FINISH AS SELECTED TO MATCH MAIN WAREHOUSE AND *INSTANT BRAND* LIVERY

GALVANISED STEEL ENTRY STAIRS TYPICALLY

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LUNCHROOM DETAILS

PROPOSED DEVELOPMENT LOT  
 700 #31 WINDSOR ROAD,  
 WANGARA WA 6065

MODUS PROJECT	D19-1210
DESIGN	IP
DRAWN	HV
CHECKED	SCR
SCALE	1 : 50
DATE	MAR 2019
REVISION	A