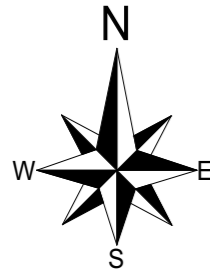


LOT 534 227.64m<sup>2</sup>

Latitude: 31°38'03"2S Longitude 115°41'02"5E



**THIS PROPERTY IS DEEMED TO BE FIRE PRONE IN ACCORDANCE WITH DFES MAP OF BUSHFIRE PRONE AREAS. BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT & CONSTRUCTION METHODS/MATERIAL UPGRADES WILL BE REQUIRED.**

⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence



16 Frobisher Street, Osborne Park WA 6017  
Ph: 9208 1111 Fax: 9208 1112

CLIENT: **Johnson & Swann** CONTRACT / JOB NO. **1905021M**  
MAP REF. **158-04/39**

SITE SURVEY **LOT 534** COASTAL CAT 1  
(Scaled from StreetSmart Directory Only - Confirm With Shire) **SSA AREA**

#90 Reflection Boulevard  
Suburb **Jindalee**  
Loc. Auth. **CITY OF WANNEROO**  
D. Plan **65147** Volume **2935** Folio **700**  
Location **Check Title**

**WARNING :**  
PLAN/DIAGRAM NOT YET APPROVED BY TITLES OFFICE. VERIFY LOT DIMENSIONS & ANGLES WITH TITLE.

- DISCLAIMER:** Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
- DISCLAIMER:** Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.
- DISCLAIMER:** Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
- DISCLAIMER:** Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**NOTE:** RESTRICTIVE COVENANT, REFER TO SEC 136D T.L.A. SEE DOCUMENT N 670739

**LOT MISCLOSE**  
0.000 m

**SOIL DESCRIPTION**  
Sand / L/Stone(Poss)  
Light Grass Cover

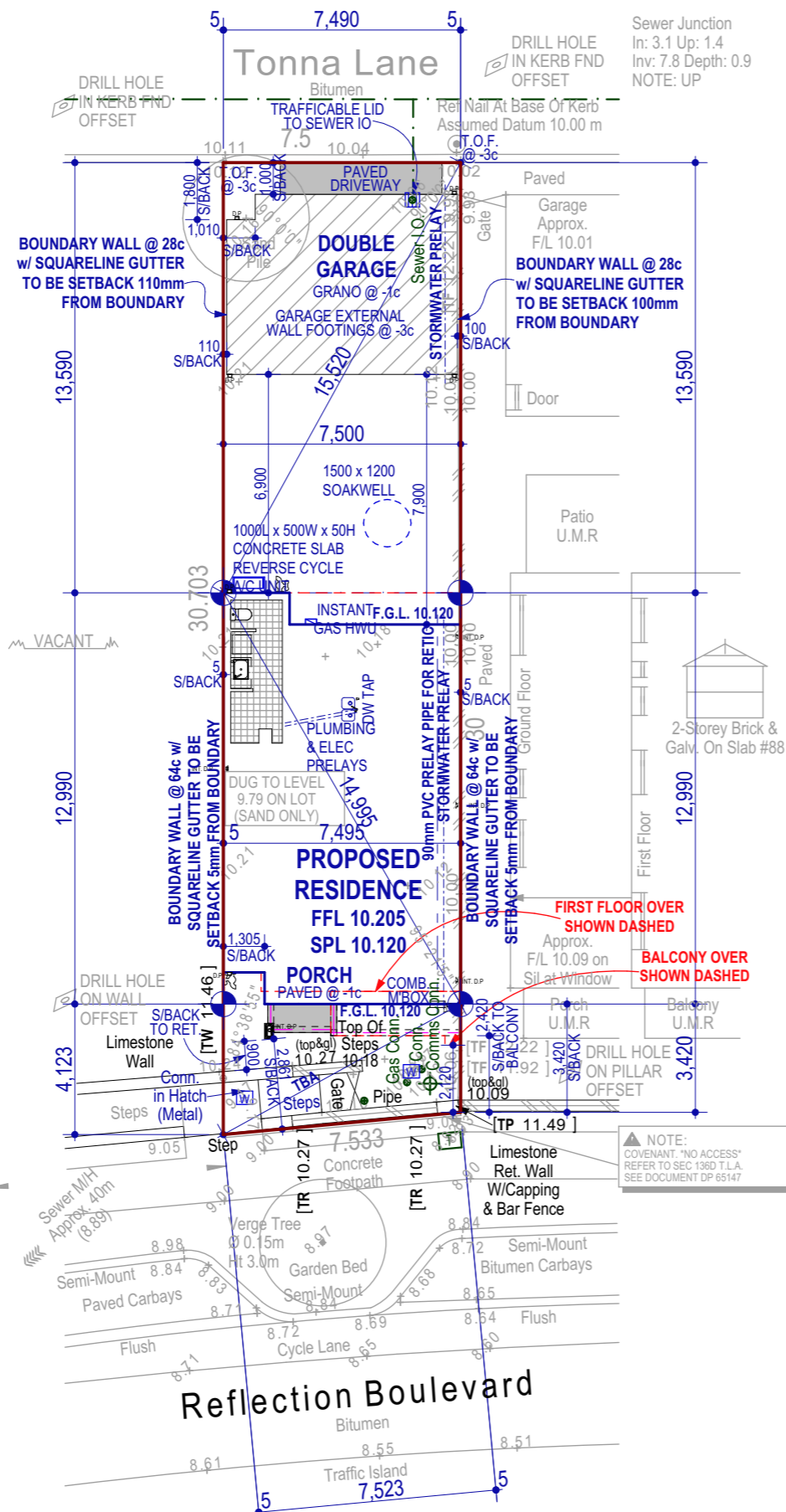
SITE CLASSIFICATION : **A**  
FOOTING DETAIL : **D10X**  
WIND CATEGORY : **N2**  
COASTAL CONDITIONS : **CAT 1**

**PRELAY NOTE:**  
PLUMBING & ELECTRICAL PRELAYS REQUIRED FOR ISLAND CUPBOARD TO UPPER FLOOR REFER TO FLOOR PLAN

**STORMWATER NOTE:**  
STORMWATER DISPOSAL VIA SOAKWELL BY BUILDER TO COUNCIL REQUIREMENTS

**STANDARD BCA NOTE:**  
- DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BCA & A.S.  
- SMOKE ALARMS INTERCONNECTED & HARDWIRED AS PER AS3786-2014  
- STORMWATER AND SURFACE WATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.2.1 BCA VOL 2, 3.1.2.5 BCA VOL 2 AND LOCAL AUTHORITY REQUIREMENTS.

**TERMITE TREATMENT NOTE:** TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2016 PART 3.1.3, PART 2.1.1 & PART 1.0.7 USING THE TERMICO TERMITE MANAGEMENT SYSTEM



**DRAINAGE NOTES:**  
1. Volumes are in cubic metres & Areas in square meters.  
2. Volume to be stored based on 0.0122 of m<sup>2</sup> of impervious surface.  
3. Down pipes to be located so each tank fills at same rate (i.e. Roof Area to each tank is proportional to its Volume).  
4. Plumber to confirm Run Layout & location of soak wells. Drawings are indicative only.

**DRAINAGE CALCULATIONS.**  
Impervious Area (Roof) Area A. (Roof Area) = 139.78m<sup>2</sup>. Volume to Store = 01.71m<sup>3</sup>.  
Impervious Area (Paving) Area B. (Path) = 5.11m<sup>2</sup>. Volume to Store = 00.06m<sup>3</sup>. (Storm-water grate to soak well). Run to existing Soakwells.

**TOTAL VOLUME TO DRAIN**  
AREA A + AREA B = 1.77m<sup>3</sup>.

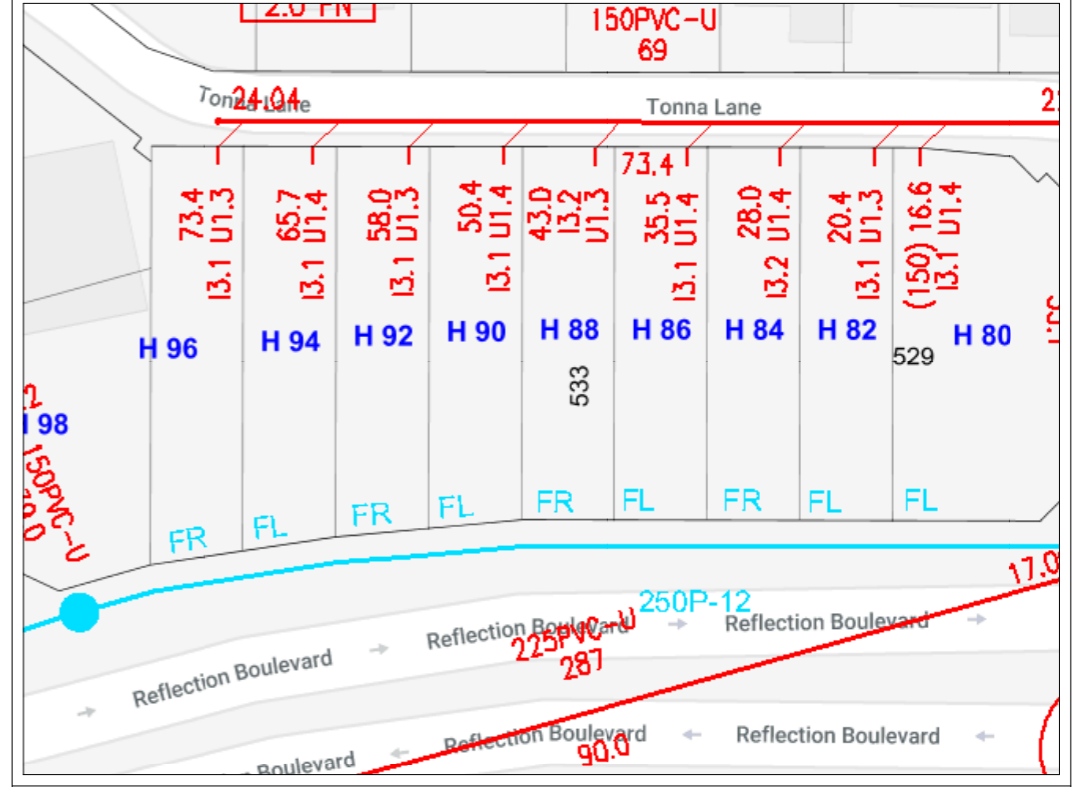
**NUMBER TANKS REQ'D =**  
(TAKEN FROM TABLE)  
1x1500 x 1200 = 2.12m<sup>3</sup>

**ONE TANKS REQUIRED**

**TOTAL TANK VOLUME = 2.12m<sup>3</sup>.**

**TANK VOLUME.**

DIAM	DEPTH	VOL
1800	900	2.29
	1200	3.05
	1500	3.82
	1800	4.58
1500	900	1.59
	1200	2.12
	1500	2.65
	1800	3.18
1200	900	1.02
	1200	1.36
	1500	1.70
	1800	2.03
900	900	0.57
	1200	0.76
	1500	0.95
	1800	1.14



Elec.	⊕	U/Ground	Water	Yes	Sewer	Yes
Gas		Check Your Lot With Alinta Call 13 13 58	Phone Comms	Yes	Footpath	Concrete
Road		Bitumen	Kerb	Flush / Semi-Mount	Drainage	Good

**redink HOMES**  
BUILERS REGISTRATION N° 12049  
16 FROBISHER STREET, OSBORNE PARK WA 6017  
Phone (08) 9208 1111 Fax (08) 9208 1122  
© Copyright 2006 Ref: 8,554

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER .....DATE.....  
OWNER .....DATE.....  
BUILDER .....DATE.....

THE ANSWER			
SITE PLAN			
DATE:	26/07/2019	SHEET N°:	02 of 14
SCALE:	1:200		
REVISION N°:	2	JOB N°:	1905021M

Scale 1:200  
0 2 4 6 8  
Scale 1:200 Date: 12 Jun 19

**COTTAGE & ENGINEERING SURVEYS**  
Licensed Surveyors ©

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email : perth@cottage.com.au Website: www.cottage.com.au  
J/No: 454822 Drawn: F.Croasdale

NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

THIS PROPERTY IS DEEMED TO BE FIRE PRONE IN ACCORDANCE WITH DFES MAP OF BUSHFIRE PRONE AREAS. BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT & CONSTRUCTION METHODS/MATERIAL UPGRADES WILL BE REQUIRED.

**NOTES:**  
EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.

DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.

CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER ADDENDA.

30c CEILINGS UNLESS OTHERWISE NOTED.

**FLASHING NOTE:**  
ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

**FIXING CARPENTER NOTE:**  
WIL & PANTRY:  
4x 450d SHELVES

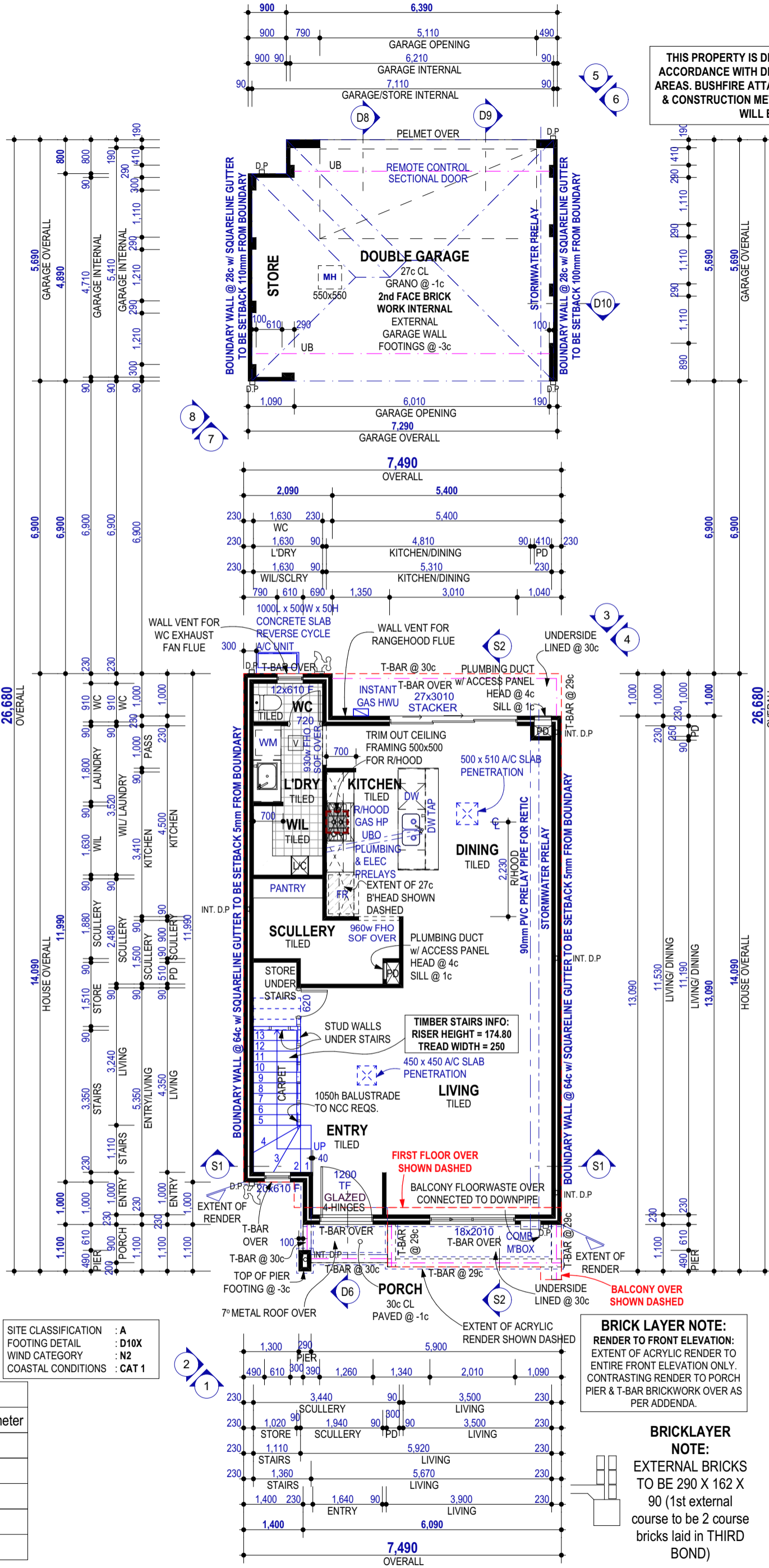
**NOTE:** UPRIGHT SUPPORT PANELS REQUIRED FOR SHELVING EXCEEDING 1800mm. EXACT LOCATIONS DETERMINED ON SITE AT FIXING CARPENTERS DISCRETION

**ENERGY EFFICIENCY COMPLIANCE:**  
\* R 4.0 CEILING INSULATION  
\* SELF SEALING EXHAUST FANS  
\* THERMAL BREAK TO BE LOCATED VERTICALLY BETWEEN THE GARAGE SLAB AND THE INTERNAL BRICKWORK.

**ENGINEERS NOTE:**  
ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

**PLUMBER NOTE:**  
PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED IN ACCORDANCE WITH THE HEALTH ACT & NCC/BCA.

**DOUBLE GLAZING**  
DOUBLE GLAZING TO ALL WINDOWS AND SLIDING DOORS EXCLUDING WET AREAS AND ANY TIMBER JOINERY



SITE CLASSIFICATION : A  
FOOTING DETAIL : D10X  
WIND CATEGORY : N2  
COASTAL CONDITIONS : CAT 1

**BRICK LAYER NOTE:**  
RENDER TO FRONT ELEVATION: EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT ELEVATION ONLY. CONTRASTING RENDER TO PORCH PIER & T-BAR BRICKWORK OVER AS PER ADDENDA.

**BRICKLAYER NOTE:**  
EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

AREAS GF		
Name	Area	Perimeter
DOUBLE GARAGE	36.359	24.160
HOUSE	90.495	40.960
PORCH	1.916	5.980
STORE	4.406	11.591
	133.176 m <sup>2</sup>	



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER ..... DATE .....

OWNER ..... DATE .....

BUILDER ..... DATE .....

REV:	DESCRIPTION:	INT:	CHK:	DATE:
1'	CONTRACT & SVO 1 & SVO 2	AP	SP	18.07.19
2'	DRAFTING AMEND. (T.CROOK)	SP	SP	26.07.19
3'				
4'				
5'				
6'				
7'				
8'				
9'				

CLIENT:  
**JOHNSON & SWANN**

SITE ADDRESS:  
**LOT 534 (#90) REFLECTION BOULEVARD  
JINDALEE WA 6036**

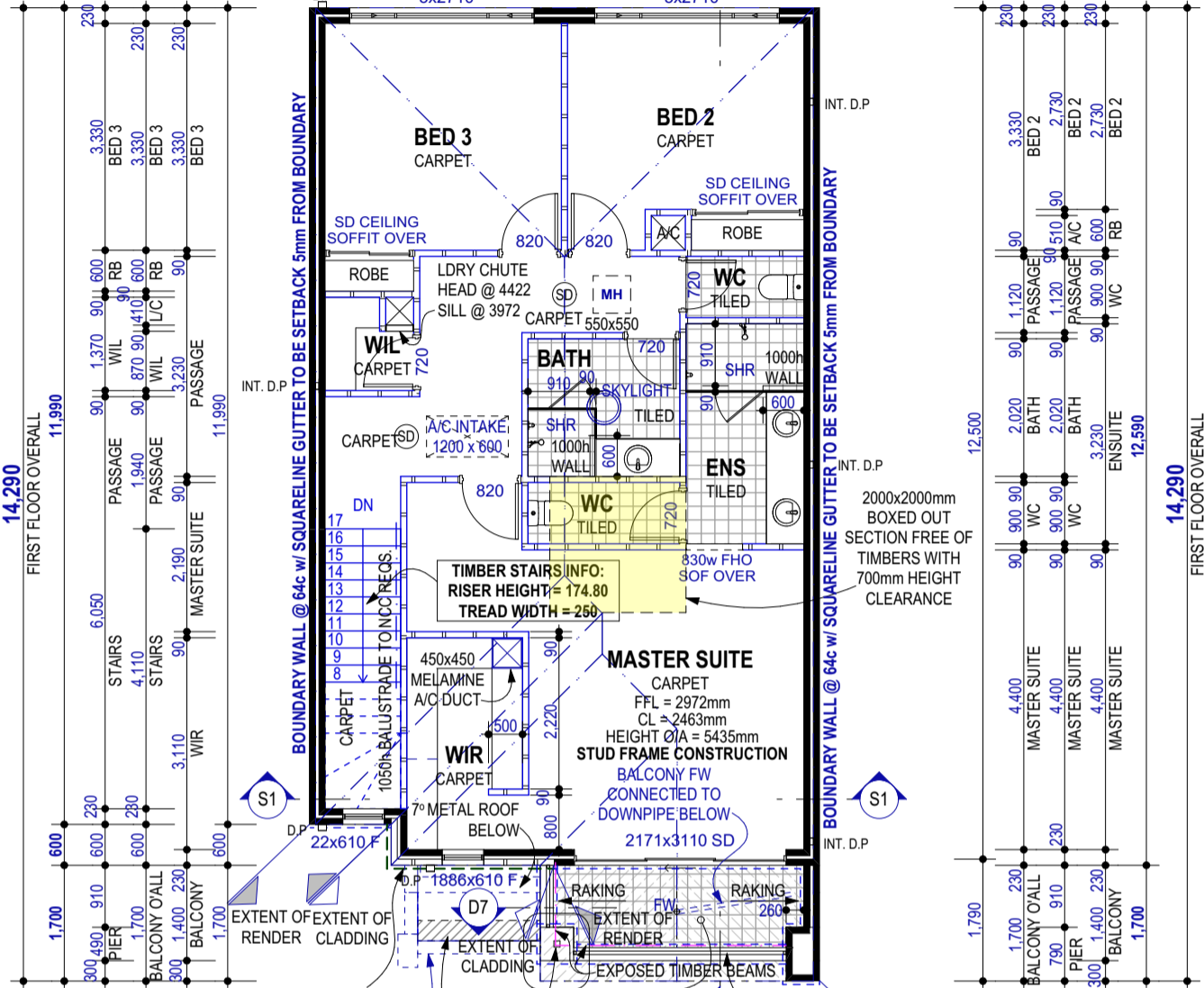
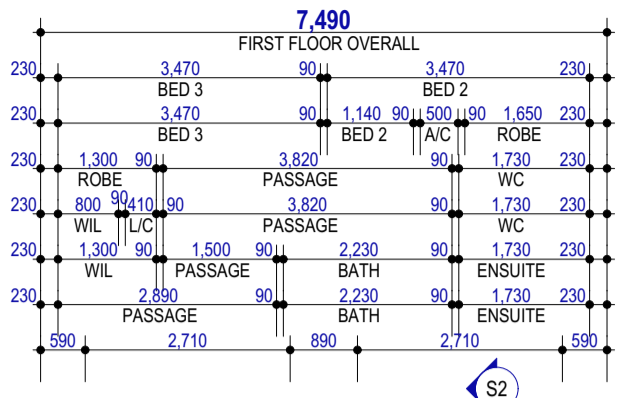
SALES: E. NOONAN      DRAWN: AP

THE ANSWER	
GROUND FLOOR PLAN	
DATE: 26/07/2019	SHEET N°: 05 of 14
SCALE: 1:100	
REVISION N°: 2	JOB N°: 1905021M

**NOTES:**  
 EXTERNAL WALLS CONSISTS OF 90mm WIDE STUD FRAME CONST. WITH 100mm THERMAL CLADDING RENDERED (190mm TOTAL).  
 ALL INTERNAL WALLS ARE 90mm WIDE STUD FRAME WITH PLASTERBOARD ON BOTH SIDES. UNLESS NOTED OTHERWISE.  
 DOWNPIPES & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.  
 CEILING INSULATION TO HOUSE & GARAGE TO NCC REQUIREMENTS AS PER ADDENDA.  
 2463mm CEILINGS UNLESS OTHERWISE NOTED.

**FIXING CARPENTER NOTE:**  
**WIR & ROBES:**  
 LAMINATE SHELF & RAIL @ 1750  
**WIL:**  
 4x 450d SHELVES  
**NOTE:** UPRIGHT SUPPORT PANELS REQUIRED FOR SHELVING EXCEEDING 1800mm. EXACT LOCATIONS DETERMINED ON SITE AT FIXING CARPENTERS DISCRETION

**NOTE:**  
 UPPER FLOOR TO COMPLY WITH N.C.C. 3.9.2.5.



**CONSTRUCTION NOTE:**  
 ALLOW EXTRA STUDWORK FOR:  
 -WC ROLL HOLDERS @ 750mm  
 -TOWEL RAIL @ 1000mm

**TIE-DOWN NOTE:**  
 UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEER'S SPECIFICATION.

**WINDOW SUPPLIER NOTE:**  
 ALL FIRST FLOOR WINDOWS TO HAVE 100mm RESTRICTED OPENINGS AS PER NCC 2013 VOL. 2 CLAUSE 3.9.2.5 PROTECTION OF OPENABLE WINDOWS.

**DOUBLE GLAZING**  
 DOUBLE GLAZING TO ALL WINDOWS AND SLIDING DOORS EXCLUDING WET AREAS AND ANY TIMBER JOINERY

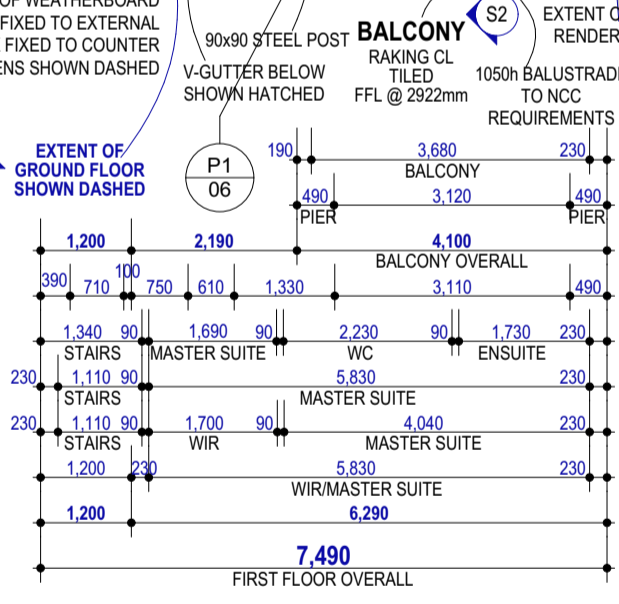
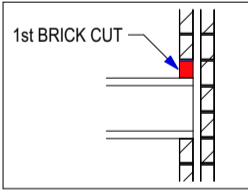
**ENGINEERS NOTE:**  
 ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

**FLASHING NOTE:**  
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER A.S.

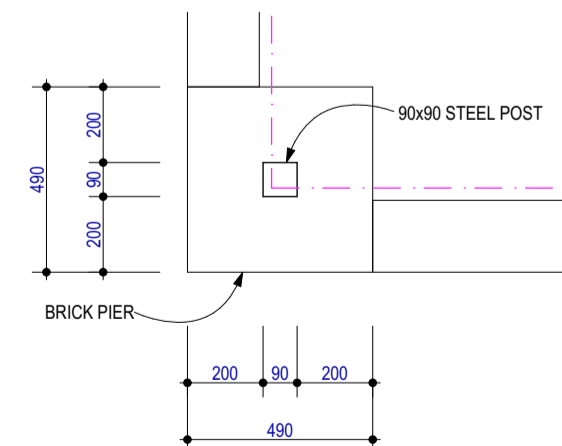
**RENDER TO FRONT ELEVATION:**  
 EXTENT OF ACRYLIC RENDER TO ENTIRE FRONT ELEVATION ONLY EXCLUDING WIR EXTERNAL WALL.  
 CONTRASTING RENDER TO BALCONY PIERS & BRICKWORK AS PER ADDENDA. NOMINATED WEATHERBOARD CLADDING TO WIR WALL.

**FIRST FLOOR BRICKLAYER NOTE:**  
 1st BRICK TO FIRST FLOOR ON TOP OF NOMINATED FLOORING SYSTEM TO BE CUT SO INTERNAL AND EXTERNAL MORTAR JOINTS AND BRICKS ARE AT MATCHING HEIGHTS

**FIRST FLOOR ROOF NOTE:**  
 TIMBER TRUSS ROOF TO MANUFACTURER'S SPECIFICATION



AREAS FF		
Name	Area	Perimeter
BALCONY	5.887	11.600
FIRST FLOOR	93.579	40.160
	99.466 m <sup>2</sup>	



**P1 BALCONY PIER DETAIL**  
 1:20



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

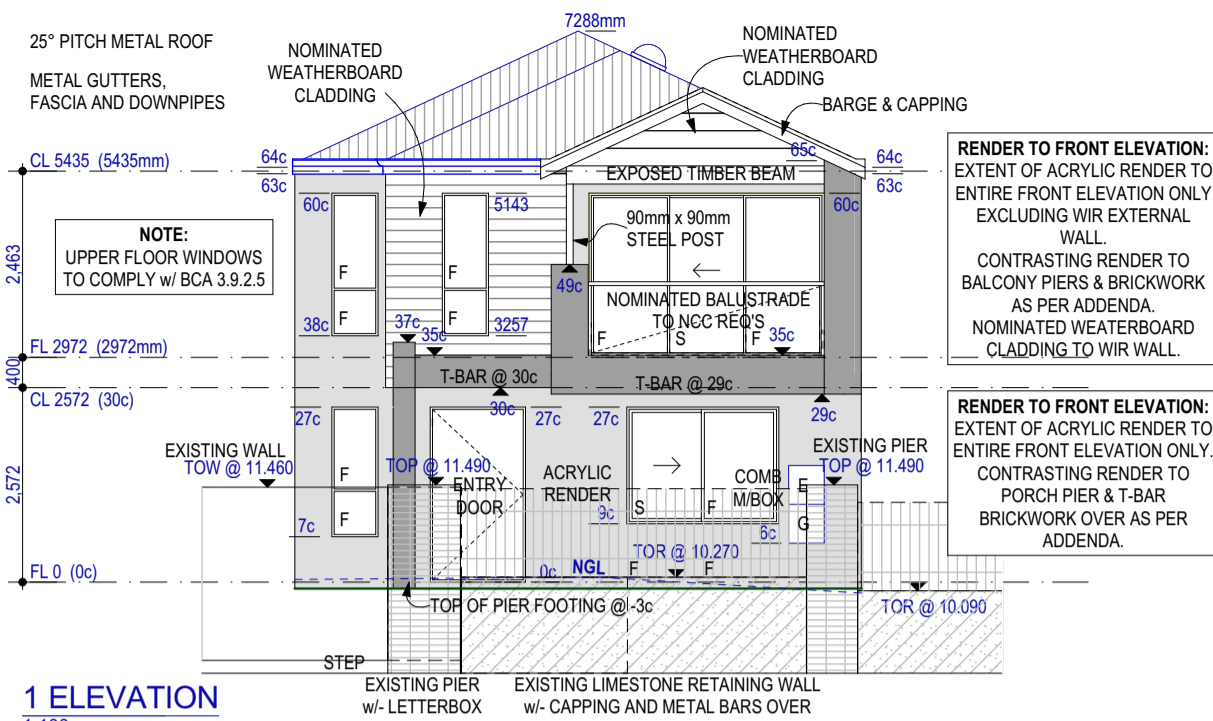
OWNER ..... DATE.....  
 OWNER ..... DATE.....  
 BUILDER ..... DATE.....

VARIATIONS:

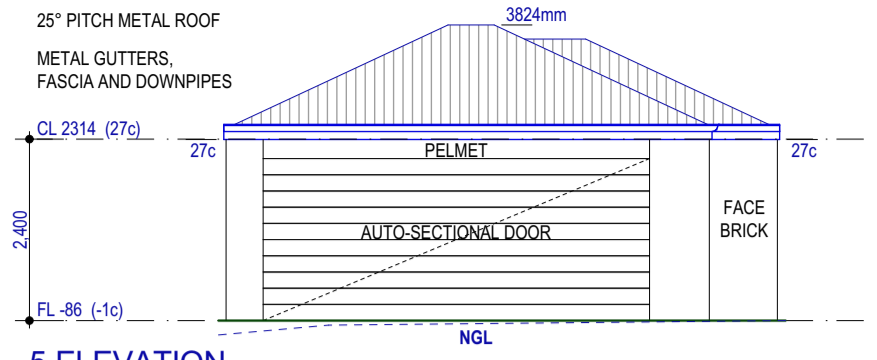
REV:	DESCRIPTION:	INT:	CHK:	DATE:
1'	CONTRACT & SVO 1 & SVO 2	AP	SP	18.07.19
2'	DRAFTING AMEND. (T.CROOK)	SP	SP	26.07.19
3'				
4'				
5'				
6'				
7'				
8'				
9'				

CLIENT:  
**JOHNSON & SWANN**  
 SITE ADDRESS:  
**LOT 534 (#90) REFLECTION BOULEVARD**  
**JINDALEE WA 6036**  
 SALES: E. NOONAN DRAWN: AP

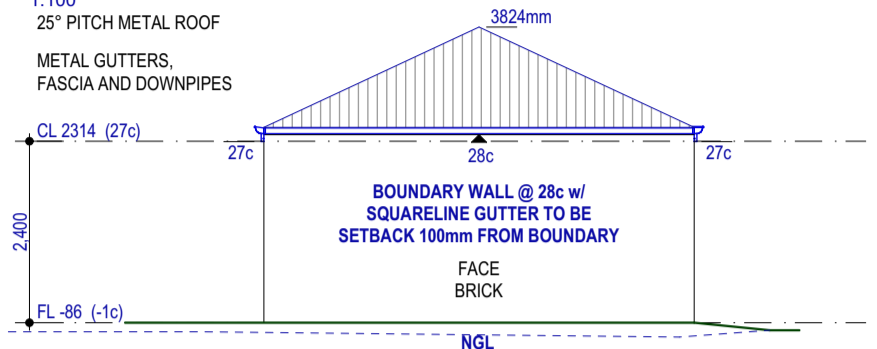
THE ANSWER	
FIRST FLOOR PLAN	
DATE: 26/07/2019	SHEET N°: 06 of 14
SCALE: 1:100, 1:20, 1:50	REVISION N°: 2
JOB N°: 1905021M	



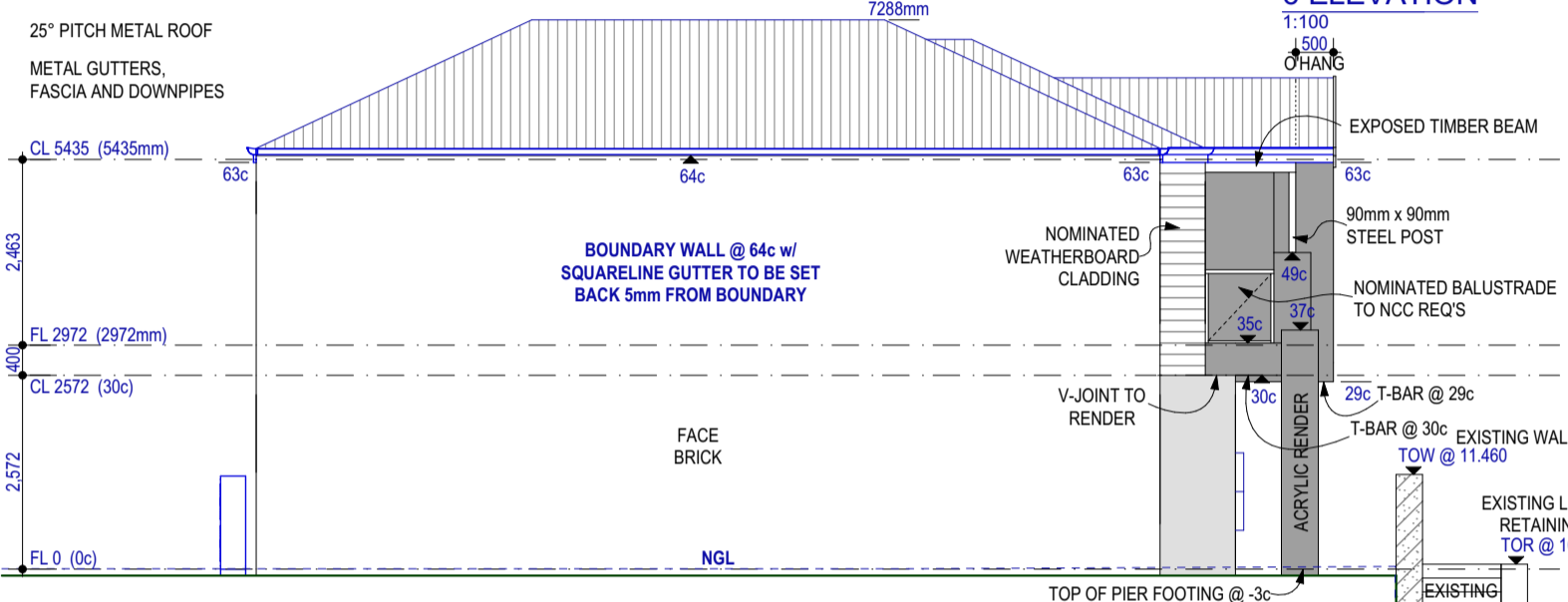
**1 ELEVATION**  
1:100



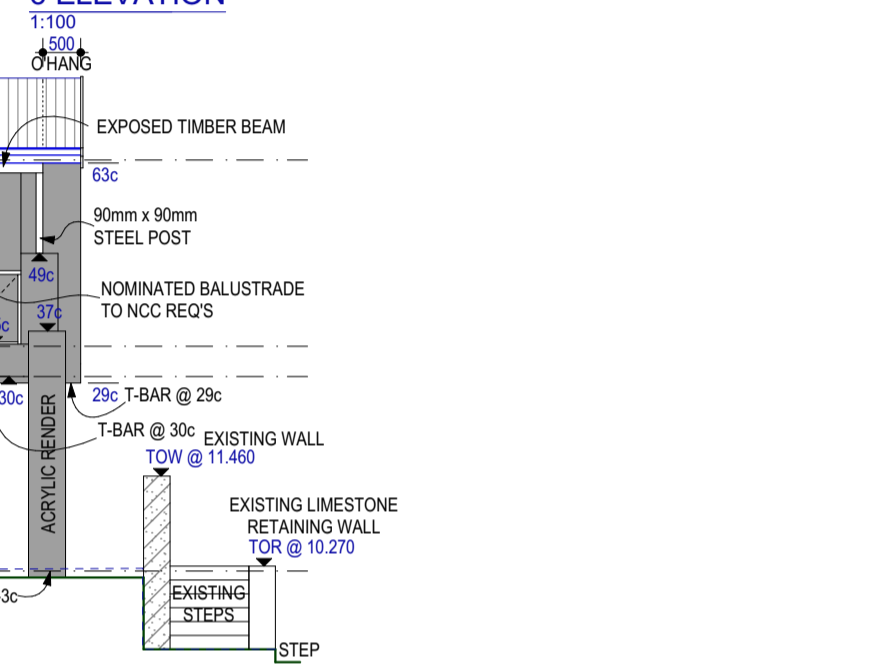
**5 ELEVATION**  
1:100



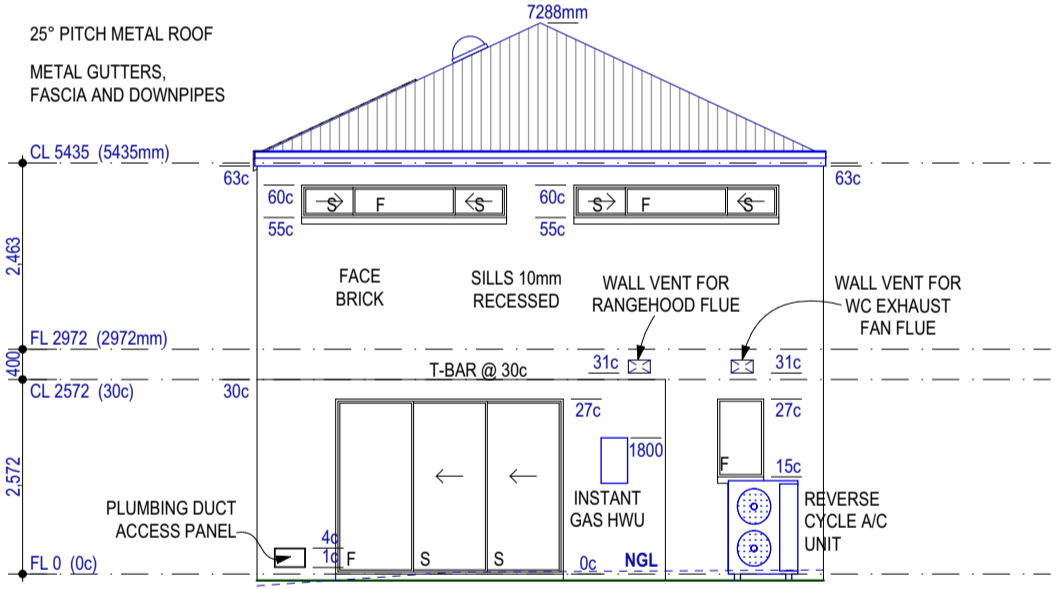
**6 ELEVATION**  
1:100



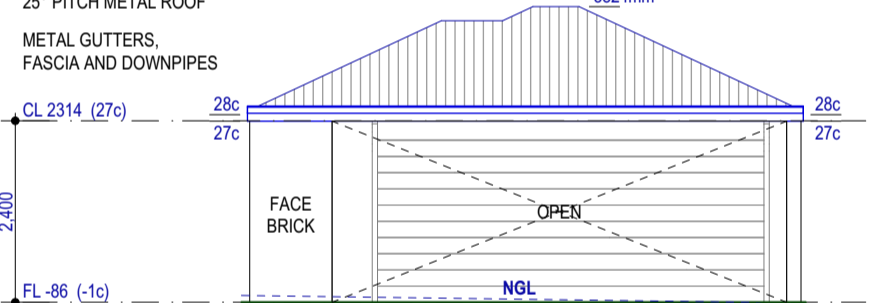
**2 ELEVATION**  
1:100



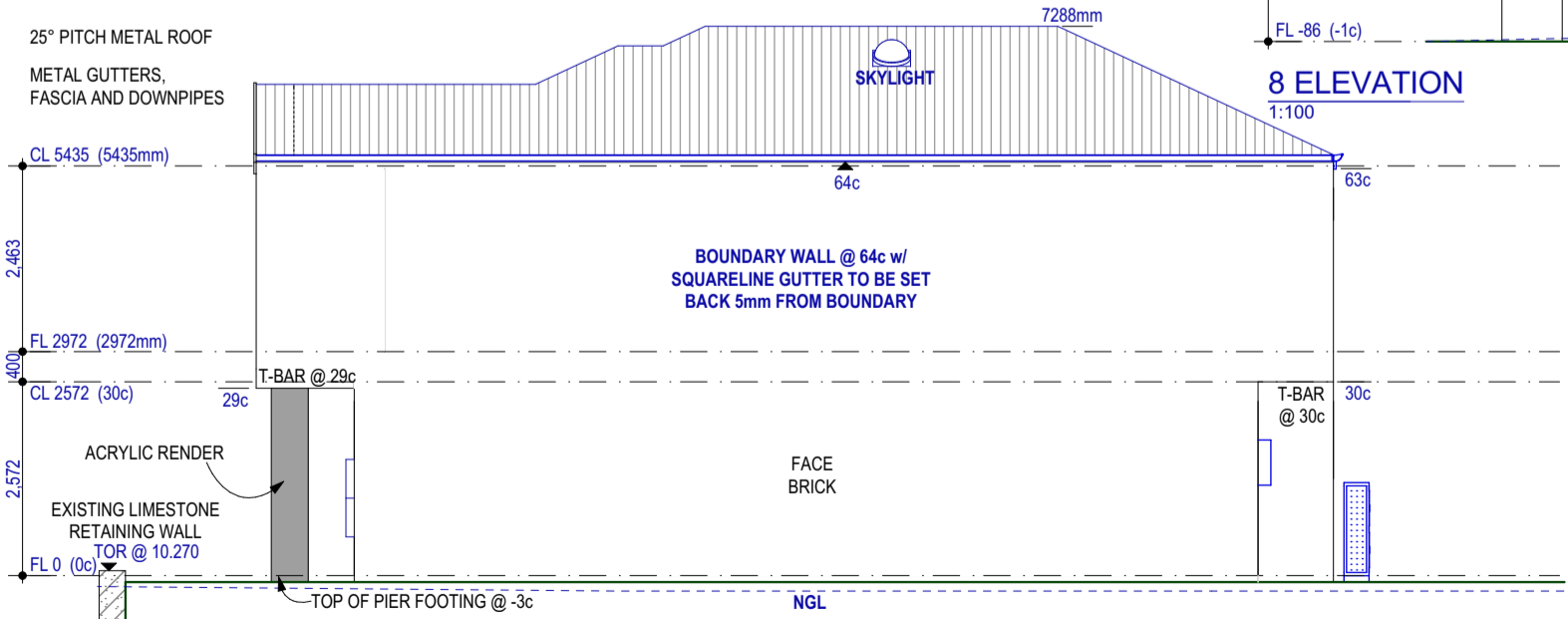
**7 ELEVATION**  
1:100



**3 ELEVATION**  
1:100



**8 ELEVATION**  
1:100



**4 ELEVATION**  
1:100



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNER ..... DATE .....

OWNER ..... DATE .....

BUILDER ..... DATE .....

REV:	DESCRIPTION:	INT:	CHK:	DATE:
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CLIENT:  
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SITE ADDRESS:  
**LOT 534 (#90) REFLECTION BOULEVARD  
JINDALEE WA 6036**

SALES: E. NOONAN      DRAWN: AP

THE ANSWER ELEVATIONS	
DATE: 26/07/2019	SHEET N°: 07 of 14
SCALE: 1:100	JOB N°: 1905021M
REVISION N°: 2	