



SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
 - POWER POLE ○ PP
 - LIGHT POLE ○ LP
 - STAY POLE ○ SP
 - S. WIRE ANCHOR ○ SWA
 - UNI PILLAR ⊗
 - EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
 - METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
 - INSPECT. SHAFT ○ IS
 - INSPECT. OPENING ○ IO
 - HOUSE CONNECTION ○ HC
 - HOUSE CONN. INDICATOR ○ HCI
 - INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
 - PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
 - GULLY PIT □
 - LOT PIT ○ LDP
 - HOUSE CONN. ○ DHC
 - SIDE ENTRY PIT □
 - COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
 - HYDRANT ○ HY
 - FLUSH POINT ○ FP
 - WATER TAP ○ WTP
 - WATER METER ○ M
 - PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ◆
 - PEG FOUND ○ PF
 - PEG DISTURBED ○ PD
 - PEG GONE PG
 - STAKE FOUND ○ STF

LOT RECORDS

LOT SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER		✓		✓
SEWERAGE	✓			
GAS		✓		✓
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓

AREA: ESTAB 02/2000

COASTAL DISTANCE 300m

LOT: 360
AREA: 450 m²

APPROX. AHD + 14.95m

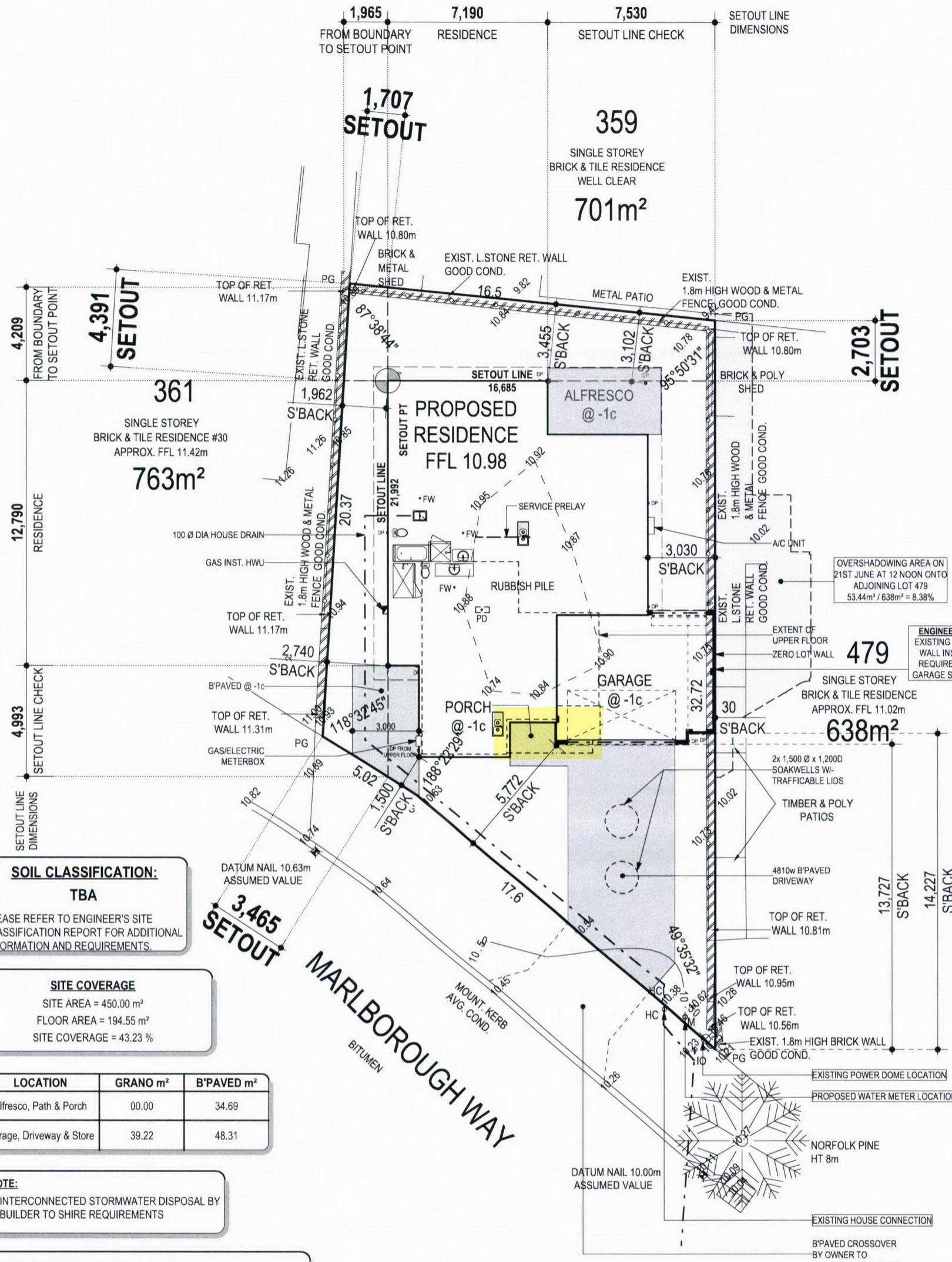
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY

SEWER INVERT LEVEL 8.75

SEWER BROUGHT UP 1.30

DEPTH TO CONNECTION 0.33



ENGINEERS NOTE:
EXISTING RETAINING WALL INSPECTION REQUIRED DUE TO GARAGE SURCHARGE

OVERSHADOWING AREA ON 21ST JUNE AT 12 NOON ONTO ADJOINING LOT 479
53.44m² / 638m² = 8.38%

SOIL CLASSIFICATION:
TBA

PLEASE REFER TO ENGINEER'S SITE CLASSIFICATION REPORT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE COVERAGE

SITE AREA = 450.00 m²
FLOOR AREA = 194.55 m²
SITE COVERAGE = 43.23 %

LOCATION	GRANO m ²	B'PAVED m ²
Alfresco, Path & Porch	00.00	34.69
Garage, Driveway & Store	39.22	48.31

NOTE:

- INTERCONNECTED STORMWATER DISPOSAL BY BUILDER TO SHIRE REQUIREMENTS

STORMWATER CALCULATIONS

REQUIRED SOAKWELL CAPACITY.
= 1m³ OF STORAGE PER 65m² OF ROOF/PAVING AREA

REQUIRED MINIMUM TOTAL CAPACITY
= ROOF/PAVING AREA OF (265.18m² / 65m²) x 1m³ = 4.08m³

SELECTED SOAKWELLS
2 x 1500Ø x 1200D (2.12m³) = 4.24m³

TOTAL SOAKWELL CAPACITY = 4.24m³

GROUND COVER
SANDY / GRASS / WEED / ROCK

SITE PLAN
1:200

REV	VO #	DRN VNX	DATE	CHK TAF
			28.05.19	

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:...../...../.....

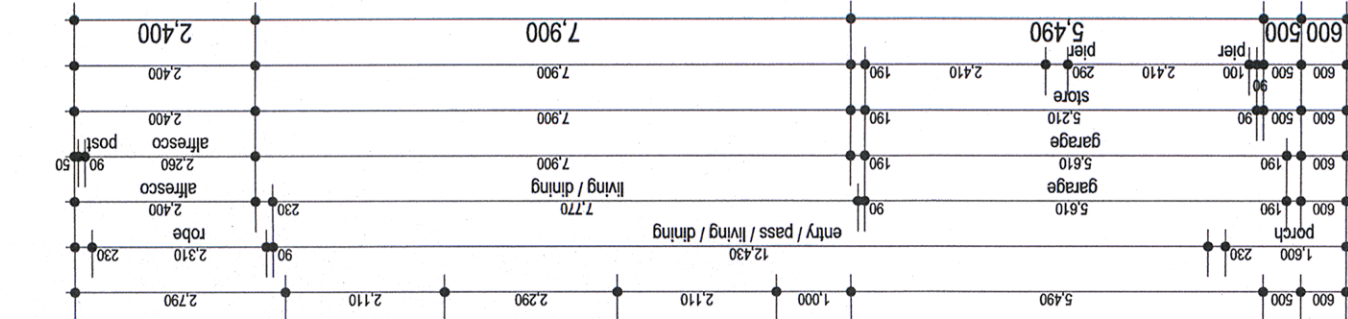
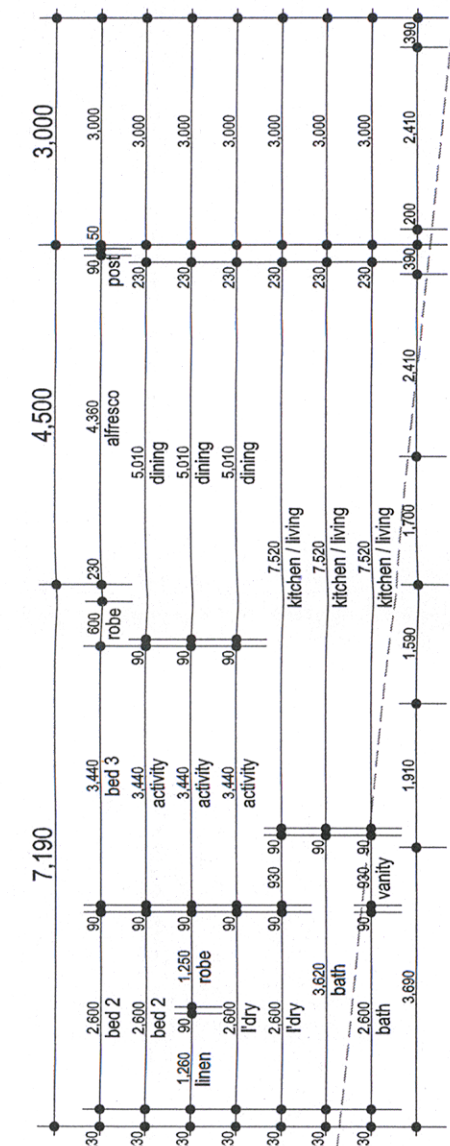
OWNER _____ WITNESS _____

OWNER _____ WITNESS _____

BUILDER _____ WITNESS _____

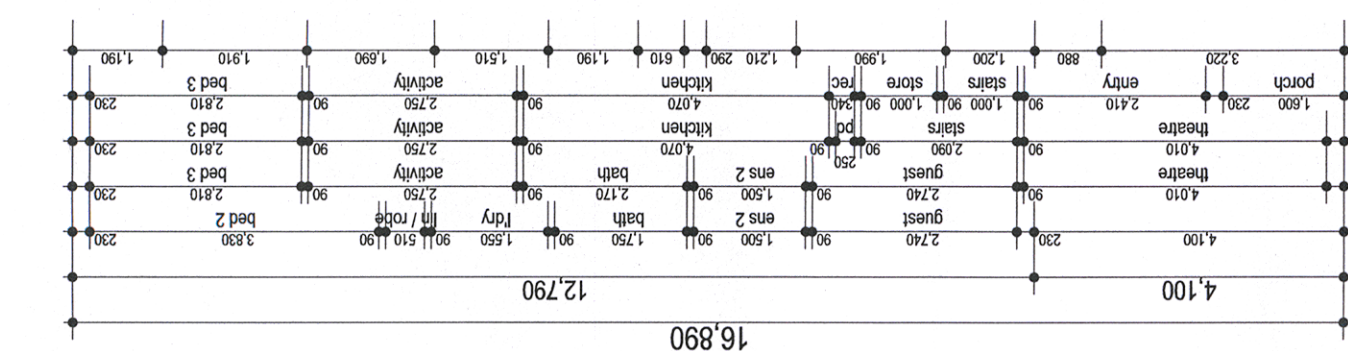
TITLE : FEATURE SURVEY	LOT : 360 No. 28 MARLBOROUGH WAY
CLIENT : C & B HODGKISS	SUBURB : QUINNS ROCKS P : 24047
BUILDER : RESIDENTIAL BUILDING WA PTY LTD	AUTHORITY : CITY OF WANNEROO C/T : 2194/523
<p>P: (08) 9354 8511 W: www.linkssurveying.com.au E: info@linkssurveying.com.au</p>	<p>UBD REF : 104 D 9 GPS : S 31.65642° E 115.68996°</p>
	<p>NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996</p>

Floor Areas - All Stories		
Floor	Location	Area
1st floor	HOUSE	52.60
	BALCONY	6.53
		61.23 m²
Ground floor	HOUSE	151.30
	GARAGE	34.65
	ALFRESCO	15.30
	STORE	6.59
	PORCH	3.22
		272.29 m²
		164.61 m



Roof Area Calculation - All Floors		
Floor	Pitch	Area (flat)
Ground floor	20°-49'	139.45
	20°-38'	28.09
		168.14 m²
1st floor	25°-38'	82.25
		91.23 m²
		250.39 m²
		272.23 m²

NOTE:
 • ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
 • WINDOW RESTRICTION TO ALL UPPER FLOOR BEDROOM WINDOWS AS PER MCC 3.9.2.5
WIND CLASSIFICATION AS PER A.S. 4055:
 T.B.A. - when engineers site inspection report is available.



GROUND FLOOR PLAN
 1:100
 (S) DENOTES HARD-WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786:2014

THE ROSS
 © COPYRIGHT MODEL N° 6312
NEW LEVEL HOMES
 (C8) 9928 9920
 65 Walters Drive, Osborne Park WA 6017
 P.O. Box 55 Westfield Shopping Centre, Innalos WA 6919
 Built by Residential Building WA Pty Ltd. BC 13053, ABN 61 306 202 362

REV	VO #	DRN VNX	DATE	CHK TAF
			28.05.19	

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS
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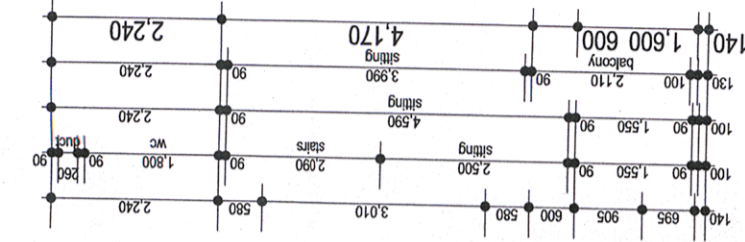
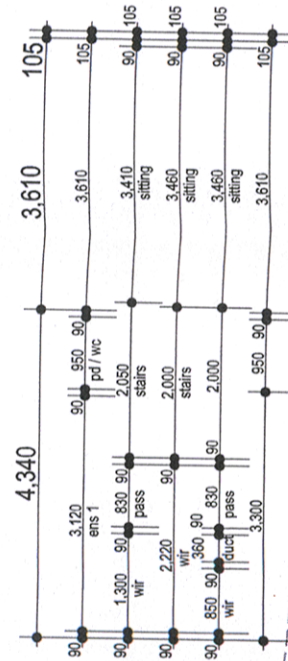
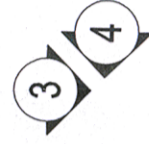
OWNER WITNESS
 OWNER WITNESS
 BUILDER WITNESS

CLIENT:
C. & B. E. HODGKISS

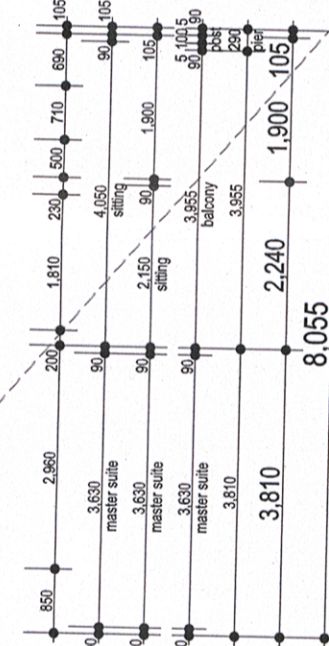
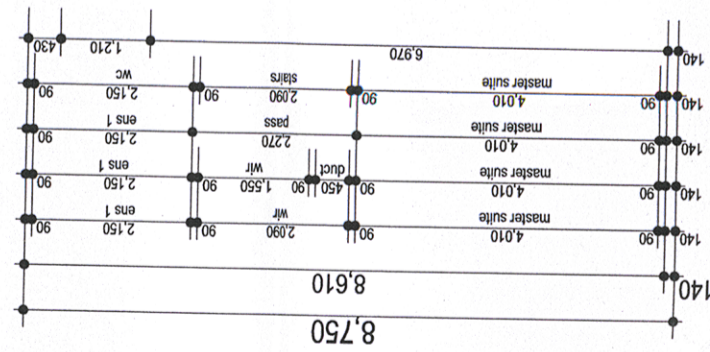
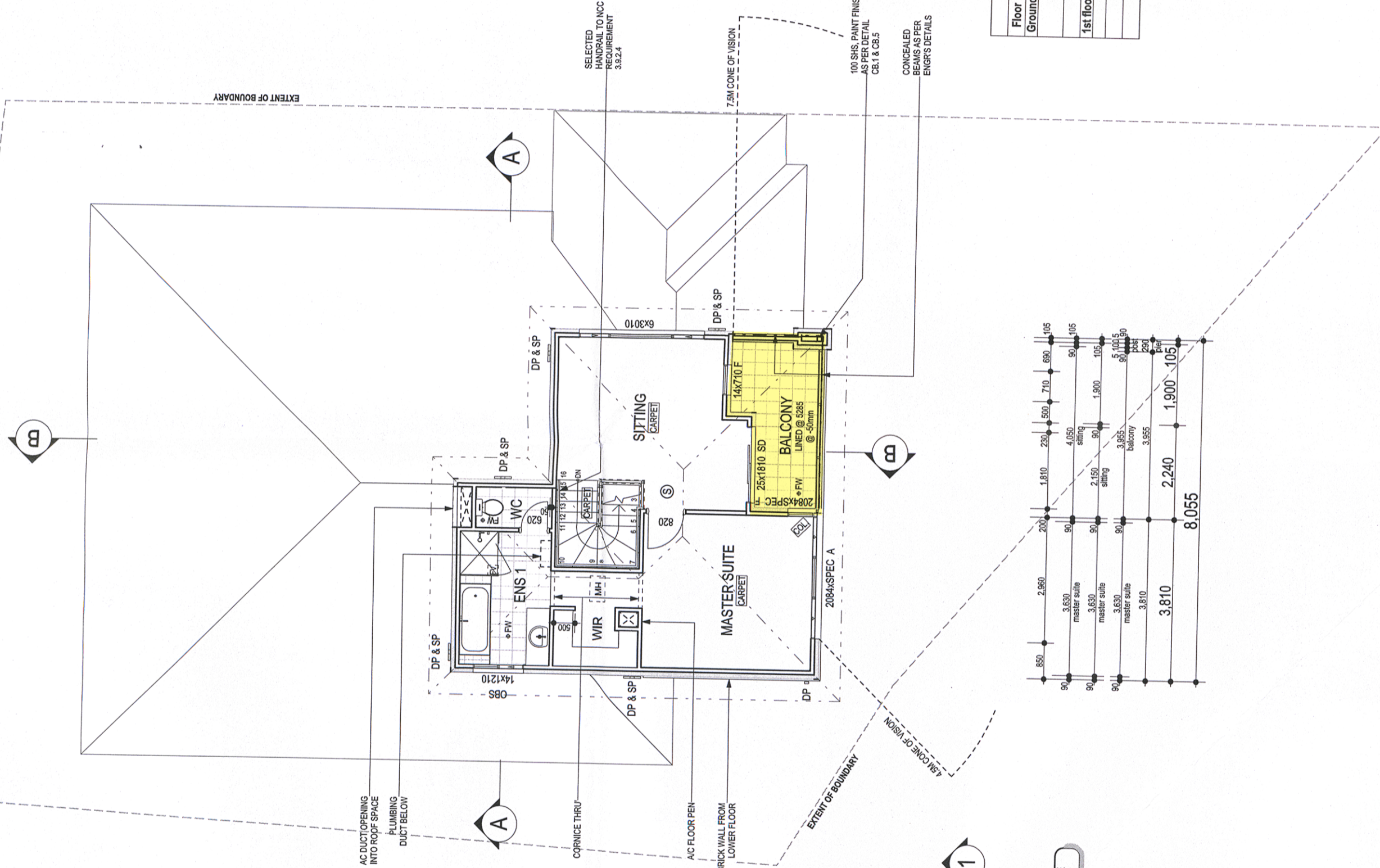
ADDRESS:
**LOT 360 (#28)
 MARLBOROUGH WAY,
 QUINNS ROCK**

SHEET N°	1 OF 14
JOB N°	34555
REVISION	DATE
-	28.05.19

Floor Areas - All Stories		
Floor	Location	Area
1st floor	HOUSE	52.60
	BALCONY	6.63
		61.23 m²
Ground floor	HOUSE	151.30
	GARAGE	16.30
	ALFRESCO STORE	6.59
	PORCH	3.22
		7.22
		214.06 m²
		272.29 m²
		117.22 m
		164.61 m



Roof Area Calculation - All Floors		
Floor	Pitch	Area (flat)
Ground floor	20° 49'	139.45
	25° 38'	26.69
		166.14 m²
1st floor	25° 38'	82.25
		250.39 m ²
		272.25 m²



NOTE:

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- WINDOW RESTRICTION TO ALL UPPER FLOOR BEDROOM WINDOWS AS PER NCC 3.3.2.5

WIND CLASSIFICATION AS PER A.S. 4055:
T.B.A. - when engineers site inspection report is available.

Ⓢ DENOTES HARD-WIRED INTERCONNECTED SMOKE DETECTOR TO A.S. 3786:2014

UPPER FLOOR PLAN
1:100



THE ROSS

© COPYRIGHT MODEL N° 6312

NEW LEVEL HOMES

(G8) 9202 9200
65 Wiltons Drive, Osborne Park WA 6017
P.O. Box 85 Westfield Shopping Centre, Innaloo WA 6919
Built by Residential Building WA Pty Ltd. BC 13053-ABN 61 106 262 368

REV	VO #	DRN VNX	DATE	CHK TAF
			28.05.19	

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT:
C. & B. E. HODGKISS

ADDRESS:
**LOT 360 (#28)
MARLBOROUGH WAY,
QUINNS ROCK**

SHEET N°	2 OF 14
JOB N°	34555
REVISION	DATE
-	28.05.19

THE ROSS

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MODEL N°

6312

NEW LEVEL HOMES

(08) 9202 9200

65 Walters Drive, Osborne Park WA 6017

P.O. Box 55 Westfield Shopping Centre, Innisfail WA 6919

Built by Residential Building WA Pty Ltd. BC 13053 ABN 81 106 262 982

REV	VO #	DRN VNX	DATE	CHK TAF
			28.05.19	

Sub-contractors to verify all dimensions on site.

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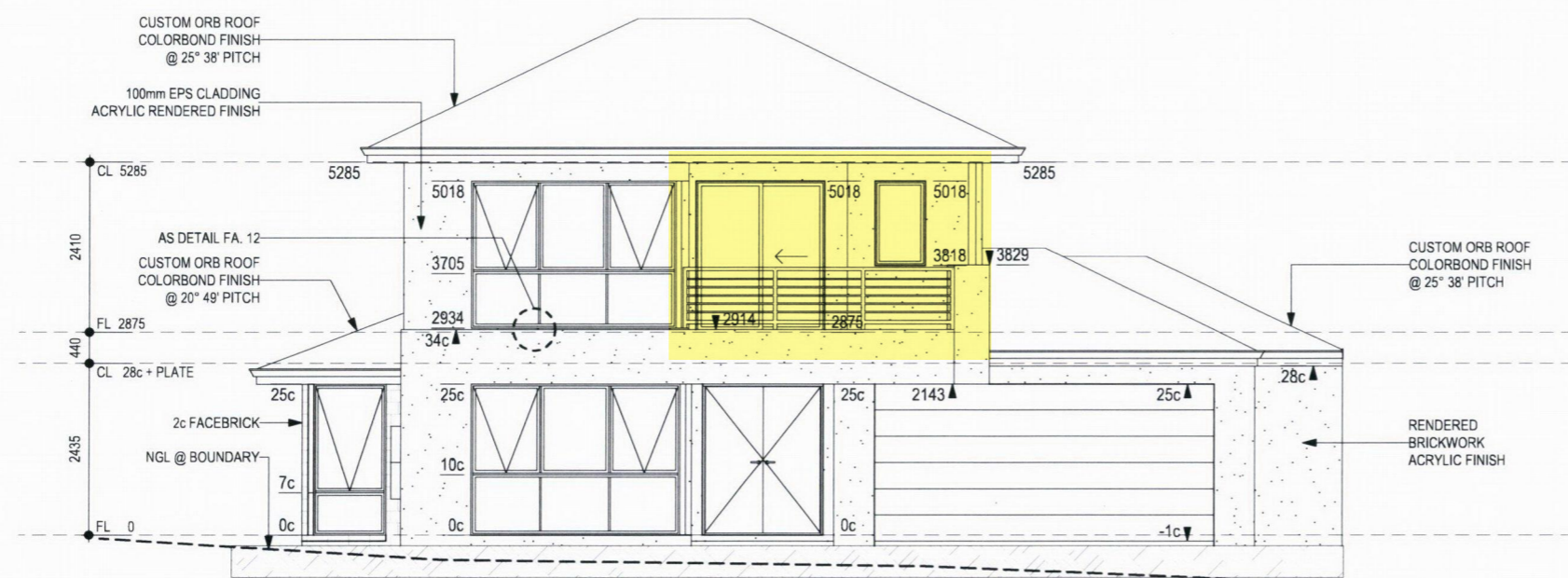
OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT:

C. & B. E. HODGKISS

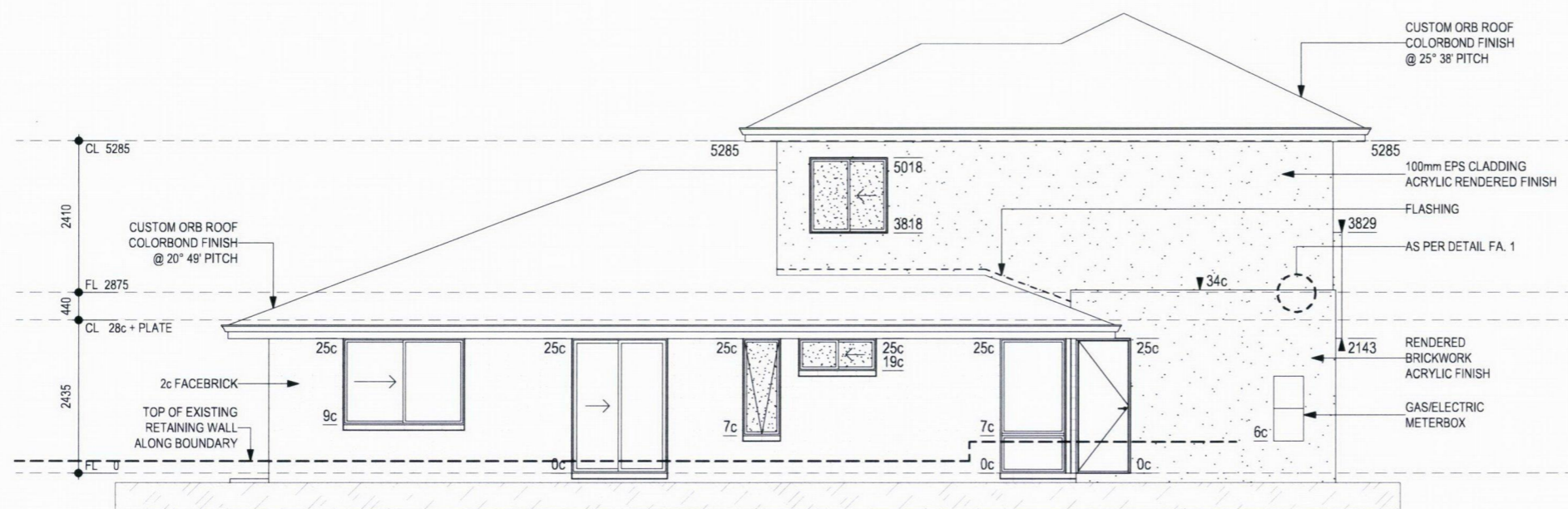
ADDRESS:

LOT 360 (#28)
MARLBOROUGH WAY,
QUINNS ROCK



ELEVATION 1

1:100



ELEVATION 2

1:100

SHEET N° 3 OF 14

± 5 ANC

JOB N° 34555

REVISION - DATE 28.05.19

THE ROSS

© COPYRIGHT MODEL N°
6312

NEW LEVEL HOMES

(08) 9202 9200
65 Walters Drive, Osbourne Park WA 6017
P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918
Built by Residential Building WA Pty Ltd. BC 13053. ABN B1 106 262 382

REV	VO #	DRN VNX	DATE	CHK TAF
			28.05.19	

Sub-contractors to verify all dimensions on site.

WORKING DRAWINGS

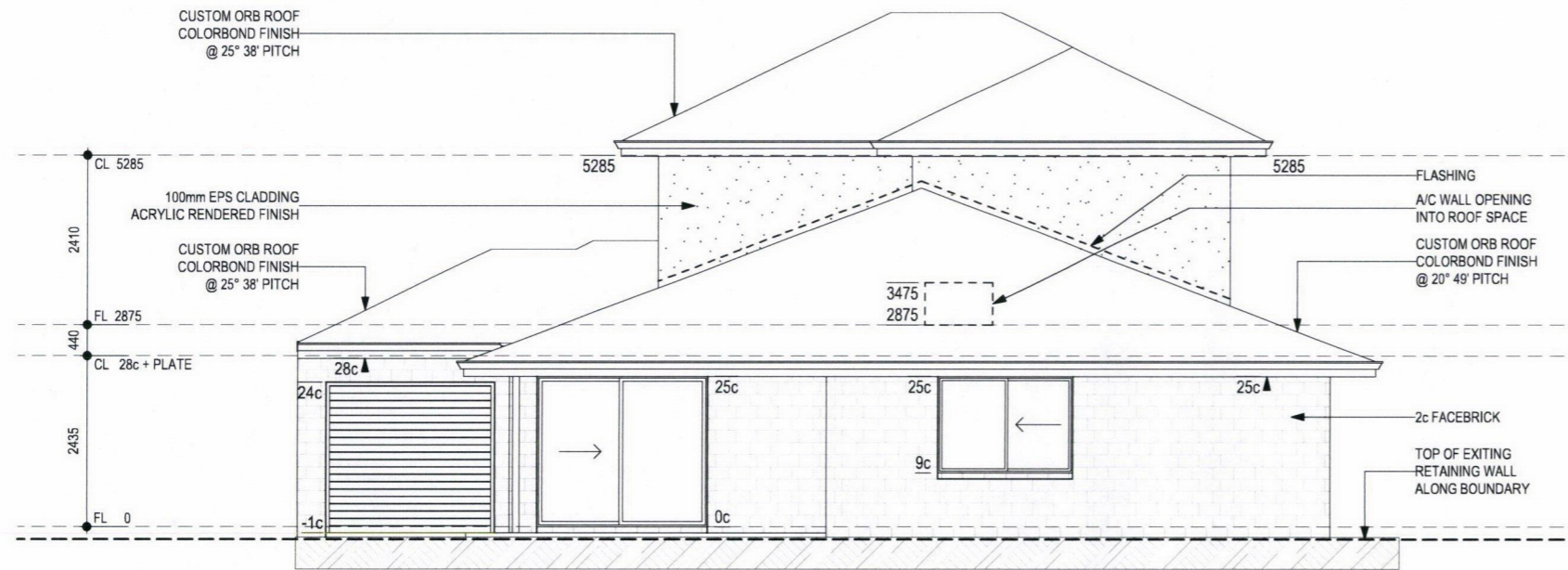
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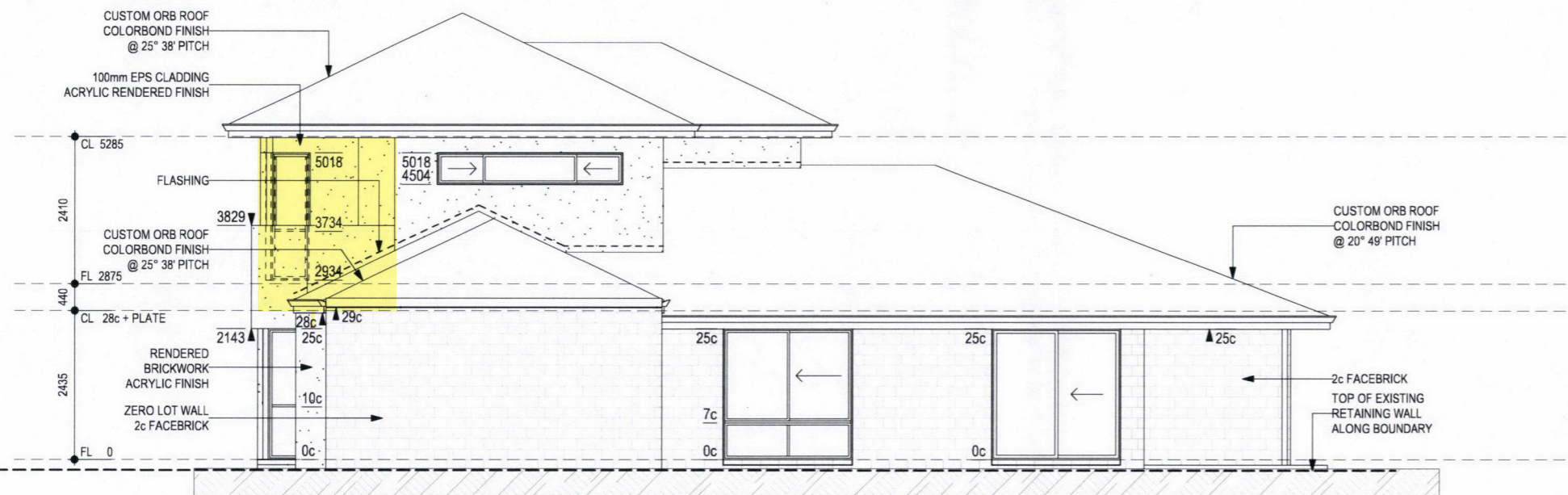
OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT:
C. & B. E. HODGKISS

ADDRESS:
**LOT 360 (#28)
MARLBOROUGH WAY,
QUINNS ROCK**



ELEVATION 3
1:100



ELEVATION 4
1:100

SHEET N° **4 OF 14**
+ 5 ANC

JOB N° **34555**

REVISION DATE
- **28.05.19**