

**GENERAL NOTES:**  
 - ALL FIXTURES ARE FOR PURPOSE OF REPRESENTATION ONLY, SIZE MAY VARY DUE TO MANUFACTURERS SPECIFICATIONS.  
 - CEILING JOISTS TO BE OFF CENTRE TO PASSAGE WAYS & ALL OTHER AREAS.

**FIXING CARPENTER NOTE:**  
 - ROBE SHELVES TO BE 1700 AFL W/-ROD UNDER UNLESS NOTED W/-CEILING LEVEL AT DOOR HEIGHT

- LINEN TO HAVE 4 SHELVES FIRST @450 AFL REMAINDER TO BE 400 APART  
**NOTE:**  
 - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION

- ARCH DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS

- R4.1 INSULATION TO HOUSE AREA AND GARAGE

- ALL DIMENSIONS ARE STRUCTURAL DIMENSION ONLY NOT FINISH DIMENSION

**BRICKLAYER NOTE:**  
 162 x 290 x 90 mm BWK BRICKS LAID 1/3 BOND.

**VENT KEY:**

- [FV] FLUMED CEILING VENT
- [V] CEILING VENT
- [V] 2c WALL VENT

**ROOF NOTE:**

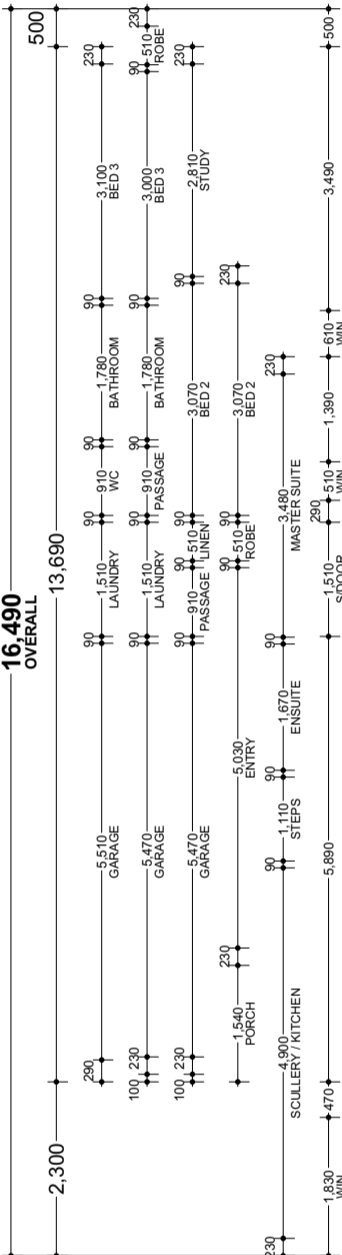
- METAL ROOF
- 25° PITCH W/- 480mm EAVE

**CEILING FIXER NOTE:**

- 31c CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

**BUILDING AREA**

HOUSE	129.683
GARAGE / ST	32.625
ALFRESCO	10.961
PORCH	1.555
<b>TOTAL</b>	<b>174.824 m<sup>2</sup></b>
ROOF AREA	182.501
<b>PERIMETER</b>	
HOUSE	62.160



**BRICKLAYER NOTE:**  
 76 x 240 x 110 mm BRICKWORK BRICKS LAID 1/2 BOND.

**NOTE:**  
 FLOOR COVERING TO ENTIRE HOME EXCLUDING TILED AREA

SHADING DENOTES EXTENT OF PAINTED ACRYLIC FINISH RENDER.

RENDER TO FRONT ELEVATION AS SHOWN DASHED

- DOWNPIPE NUMBERS & POSITION ON HOUSE AT THE PLUMBERS & BUILDERS DISCRETION

- (S) DENOTES HARD WIRED SMOKE DETECTOR

- (R) R10 RODS AS PER ENG'S

- PROVIDE HOLDING DOWN STRAPS FOR ROOF IN ACCORDANCE WITH AUST. STANDARD 1684

- WIND CATEGORY FOR SINGLE STOREY: N1

ROOF TIMBER TO BE H2 TREATED IF IN EHB RESTRICTED ZONE

HOBLESS SHOWERS THROUGHOUT

BLINDS INCLUDED

HOUSE TYPE: **INDIVIDUAL DESIGN**

CLIENTS NAME: **BRONWYN PAPA**

SITE ADDRESS: **LOT 103 (#13) VAUGHEY ROAD, QUINNS ROCKS**

ID	DESCRIPTION	DRAWN	DATE	CHK'D	SIGNATURES
1	WDRAWINGS	JF	17.06.19		
2	ENGINEERING	JF	26.06.19		
3	PRE START	JF	23.07.19		
4	VO 5	JF	25.07.19		

CLIENT 1: .....

CLIENT 2: .....

BUILDERS: ..... DATE: .....

NO STRUCTURAL CHANGES (PRINTED DATE: 07-Oct-19)

**NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN**

PROJECT NO: **SR19045**

DESIGN BY: **KD**

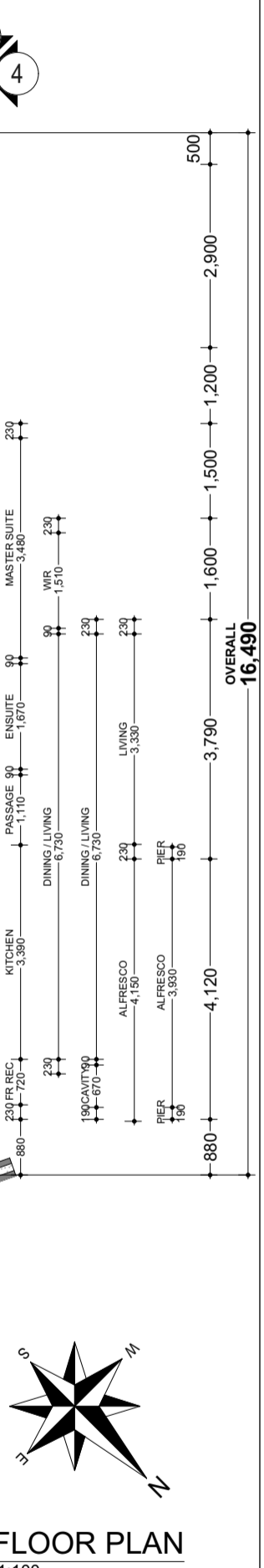
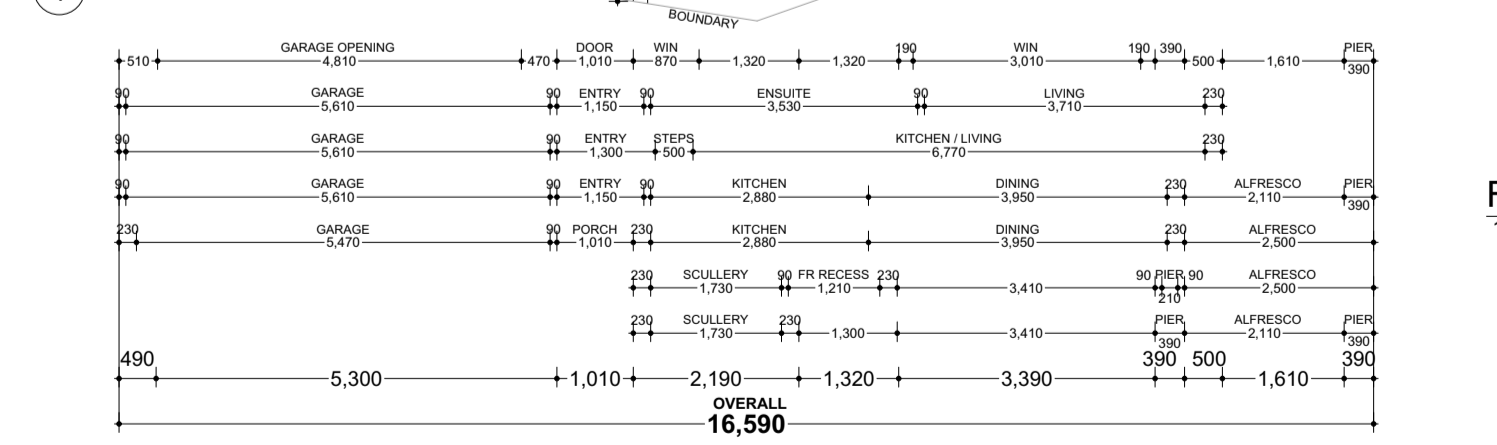
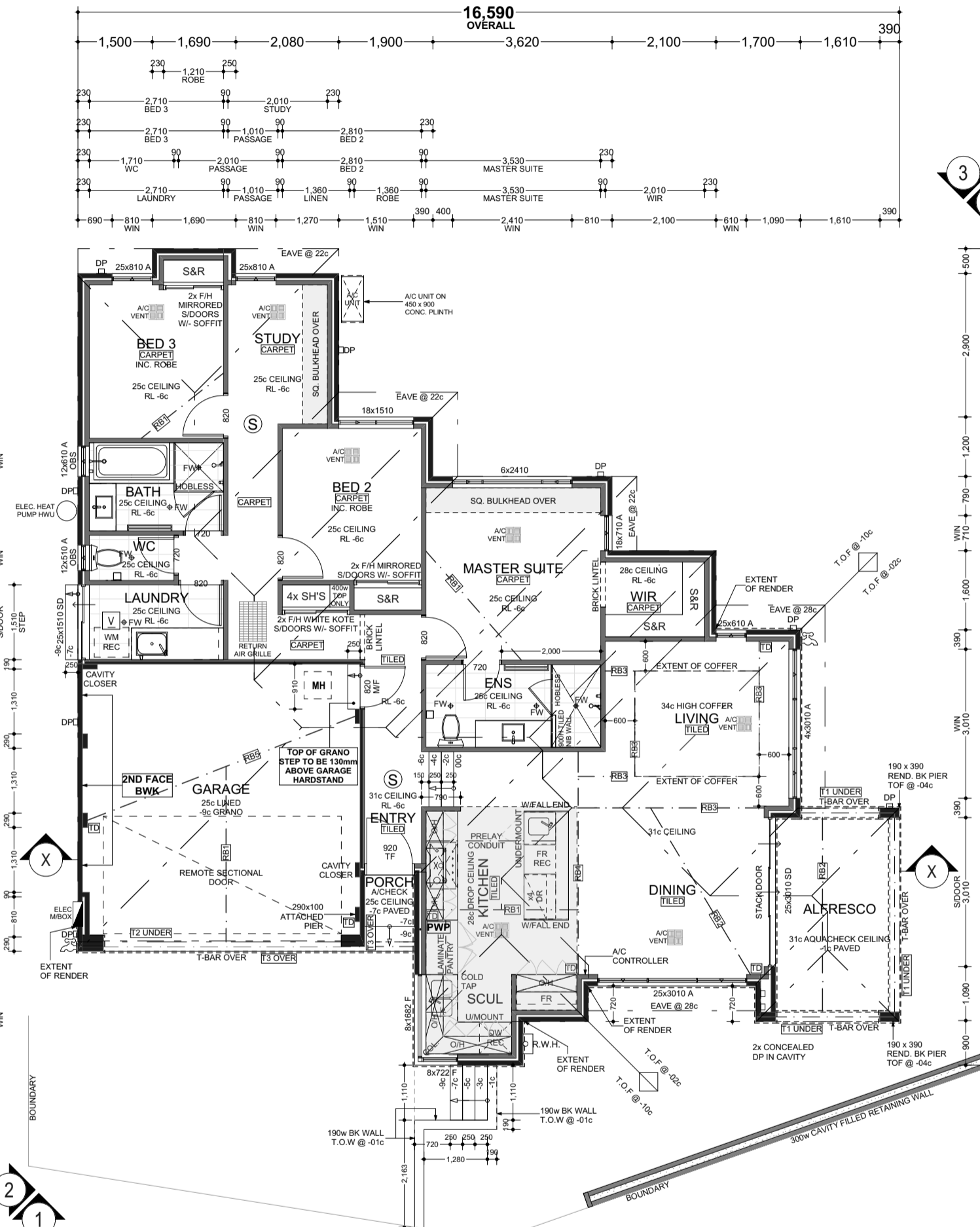
SHEET NO: **1 of 8**

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**STATUS.**

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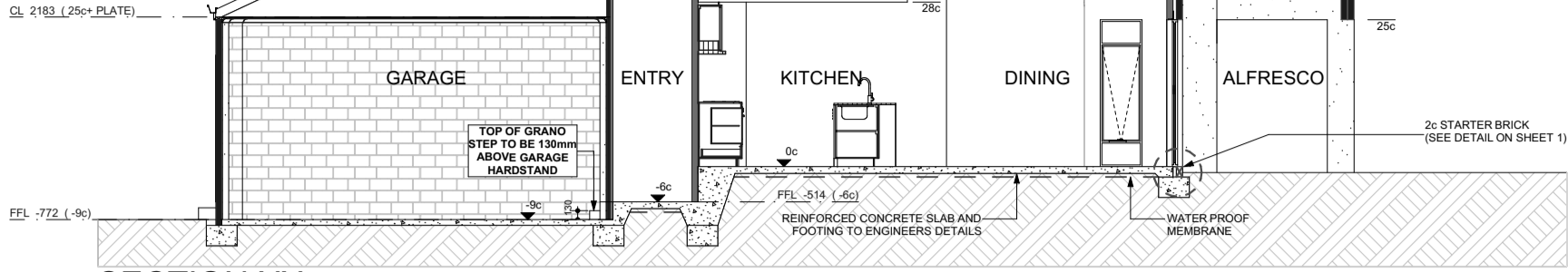
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 PHONE | 08 6555 7772





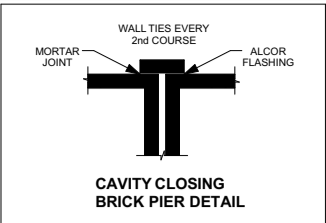
COLORBOND @ 25° PITCH W/- HOLDING DOWN STRAPS FOR ROOF IN ACCORDANCE WITH AUST. STANDARD 1684

ALL ROOF TIMBER TO BE TREATED IN ACCORDANCE WITH AUST. STANDARD 3660.1 - 2014 APPENDIX D

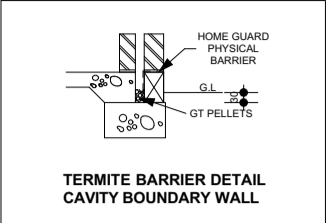


**SECTION XX**

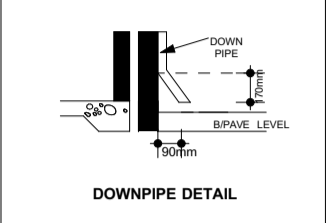
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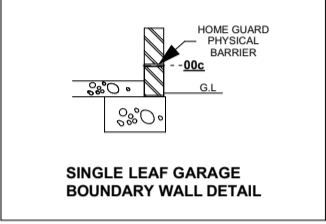
**CAVITY CLOSING BRICK PIER DETAIL**



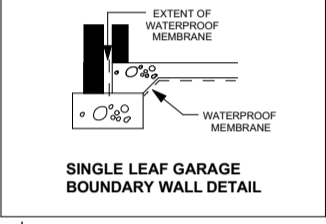
**TERMITE BARRIER DETAIL CAVITY BOUNDARY WALL**



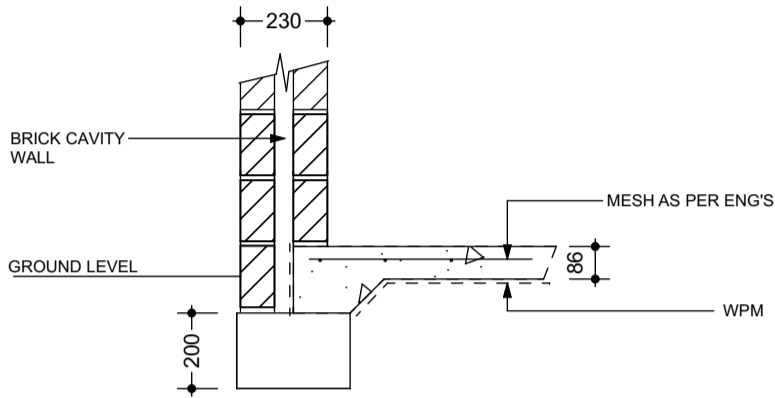
**DOWNSPIPE DETAIL**



**SINGLE LEAF GARAGE BOUNDARY WALL DETAIL**

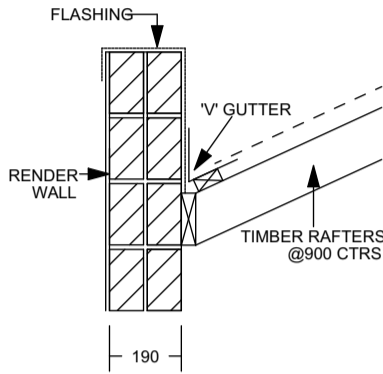


**SINGLE LEAF GARAGE BOUNDARY WALL DETAIL**



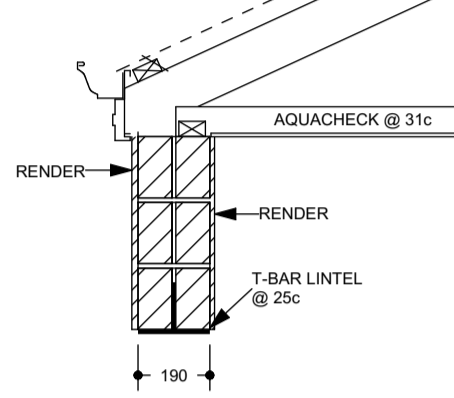
**CAVITY WALL FOOTING**

SCALE 1:20



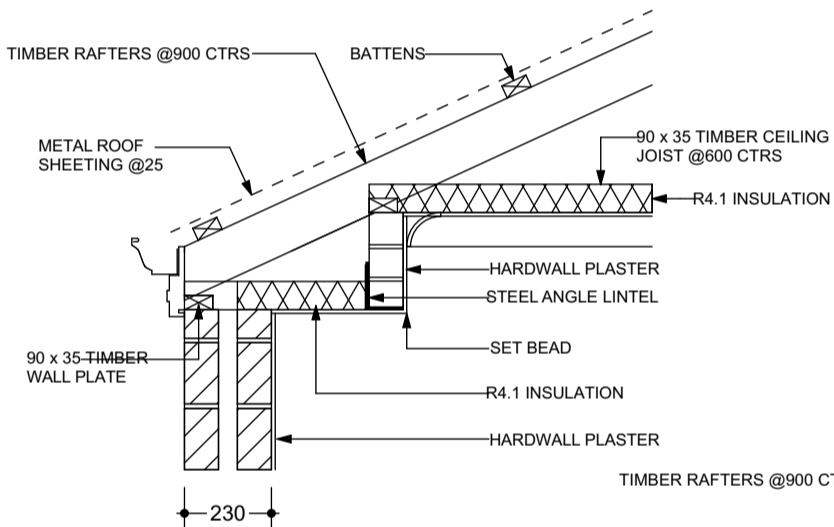
**FEATURE WALL DETAIL**

SCALE 1:20



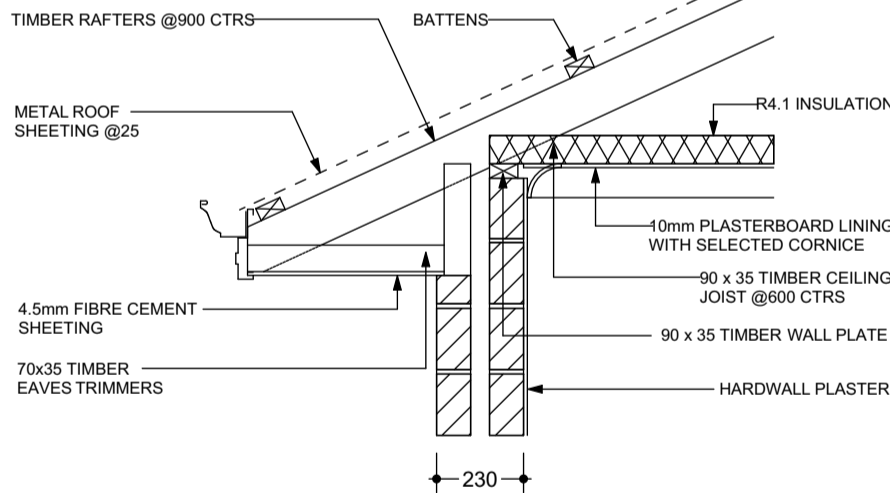
**ALFRESCO T-BAR DETAIL**

SCALE 1:20



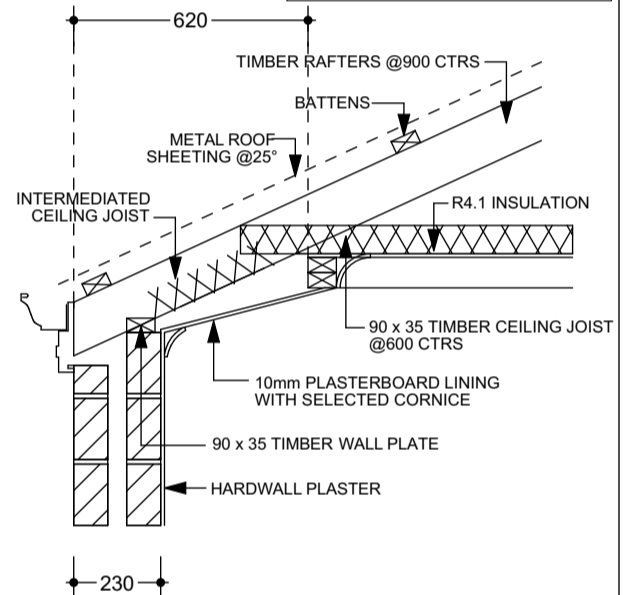
**3c SQUARE B/HEAD (METAL ROOF)**

SCALE 1:20



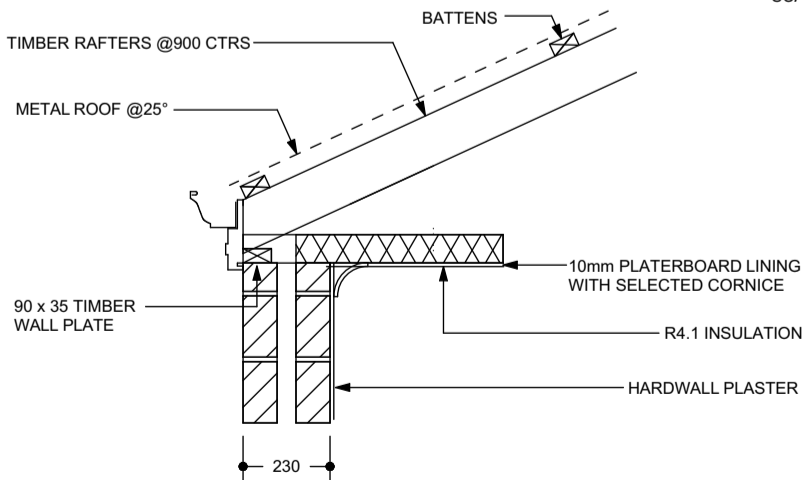
**3c BOX EAVES (METAL ROOF)**

SCALE 1:20



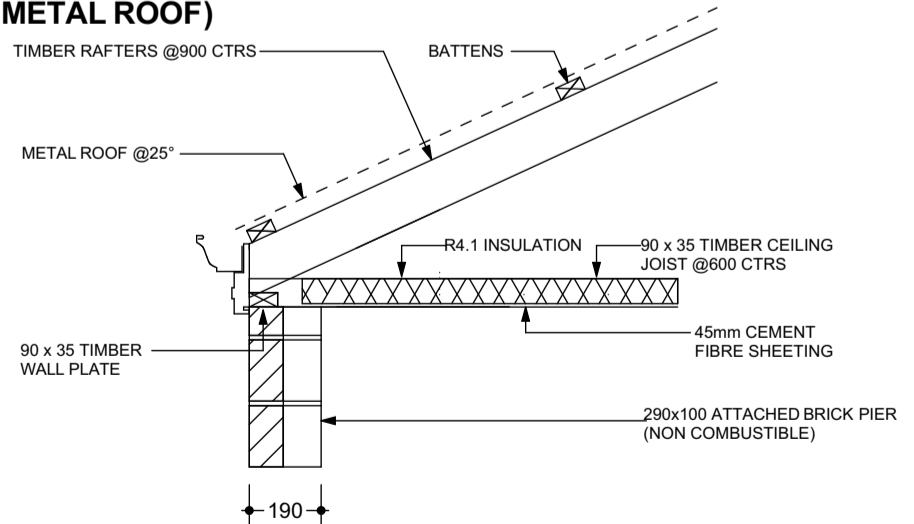
**2c RAKING CEILING (METAL ROOF)**

SCALE 1:20



**31c CEILING / FASCIA & GUTTER (METAL ROOF)**

SCALE 1:20



**34c CEILING / FASCIA & GUTTER (GARAGE) (METAL ROOF)**

SCALE 1:20

HOUSE TYPE:  
**INDIVIDUAL DESIGN**

CLIENTS NAME:  
**BRONWYN PAPA**  
SITE ADDRESS:  
**LOT 103 (#13) VAUGHEY ROAD,  
QUINNS ROCKS**

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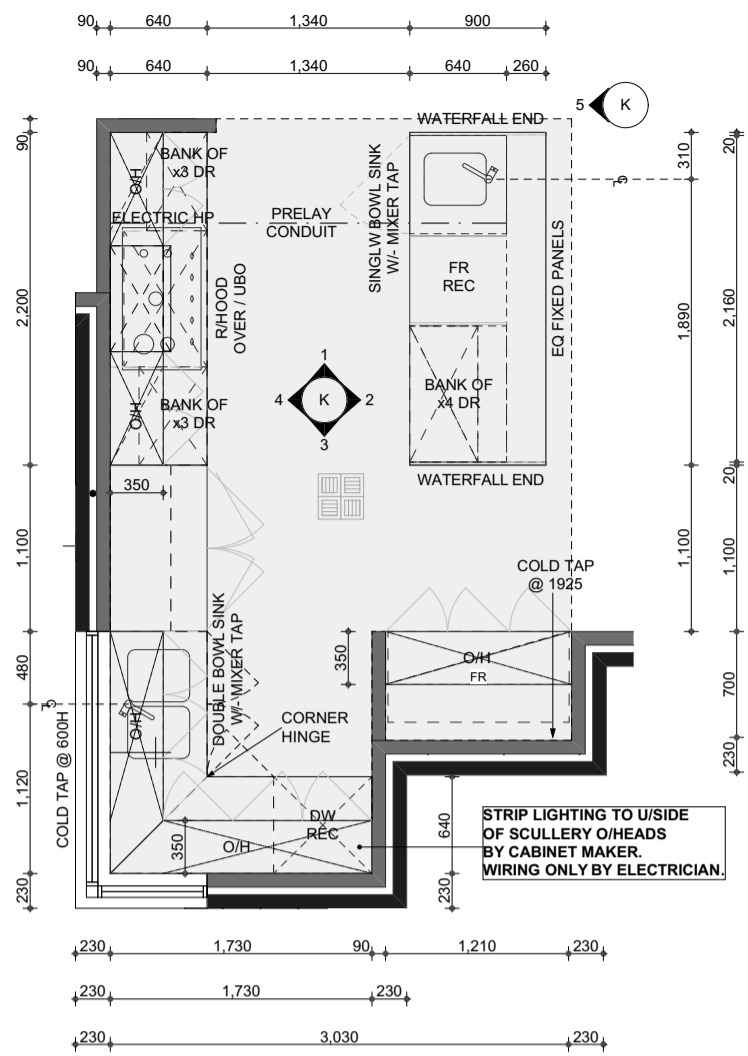
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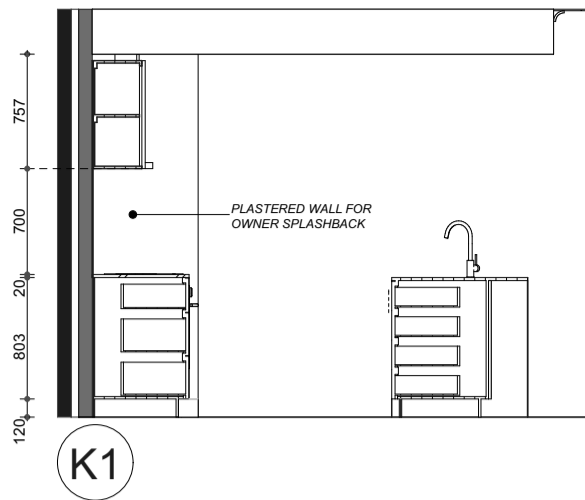
DESIGN BY:  
**KD**

SHEET NO:  
**3 of 8**

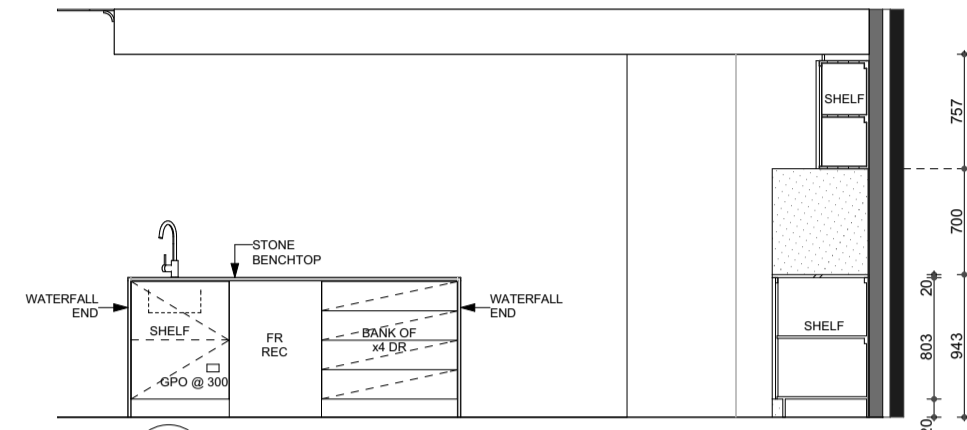
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PHONE | 08 6555 7772



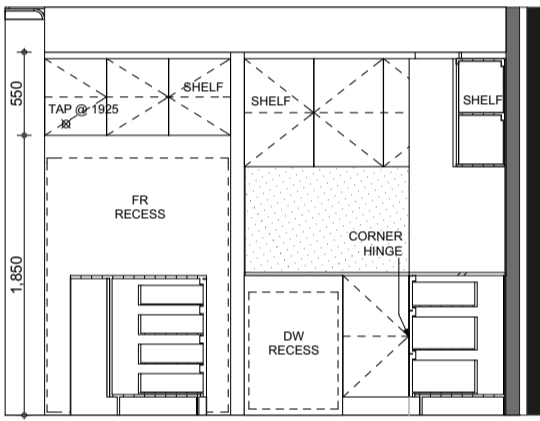
**KITCHEN**  
1: 50



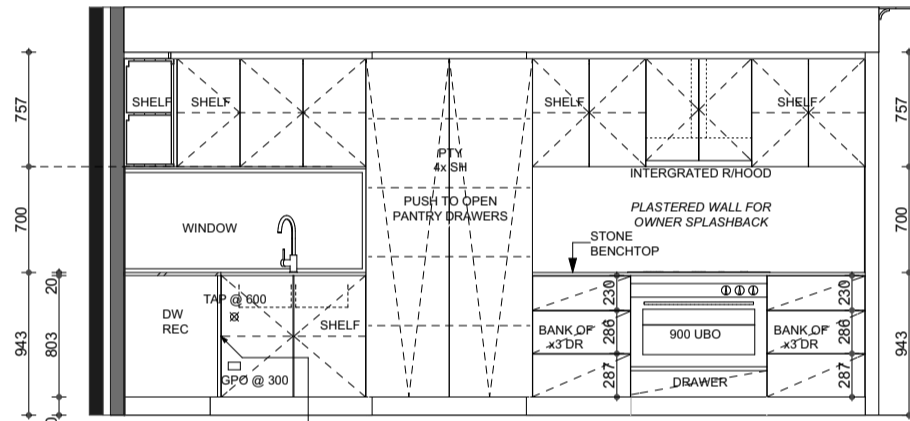
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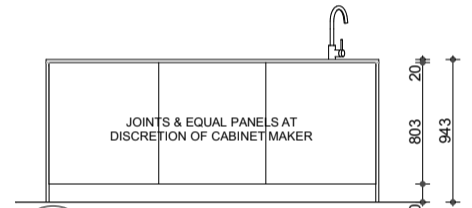
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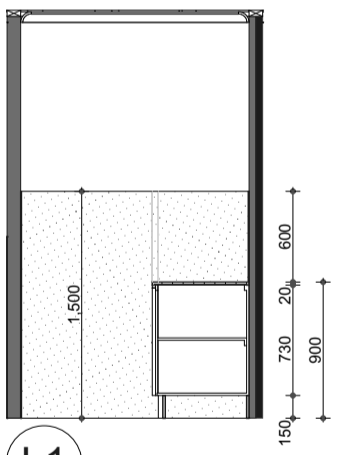
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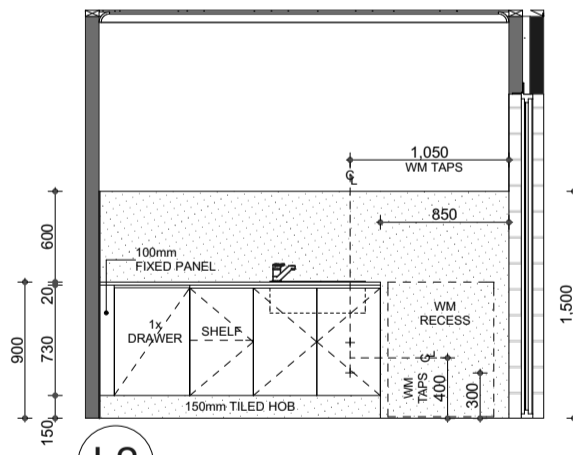
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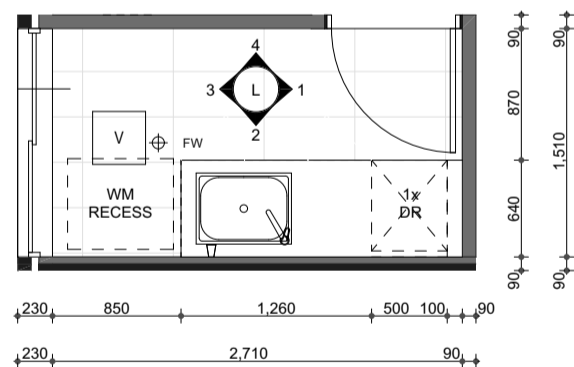
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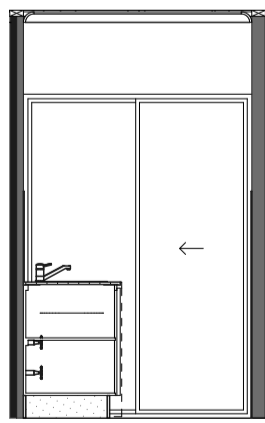
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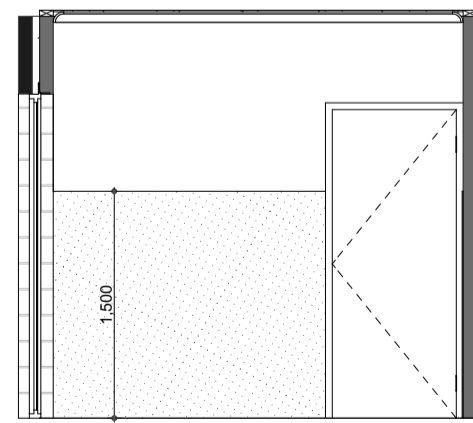
**L2**



**LAUNDRY**  
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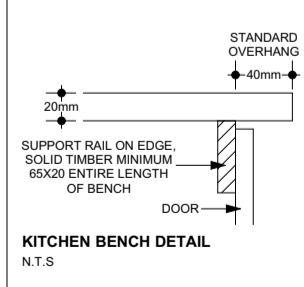


**L3**



**L4**

- KEY:**
- ☒ SOAP HOLDER
  - ☐ TOILET ROLL HOLDER
  - SINGLE TOWEL RAIL
  - DOUBLE TOWEL RAIL



- NOTE:** HOBLESS SHOWERS THROUGHOUT TO INCLUDE REFLUX VALVE
- NOTE:** OWNER TO ENSURE FRIDGE RECESS IS SUFFICIENT. ALL DIMENSIONS ARE BRICKWORK ONLY.
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- NOTE:** DOOR SWING TO CABINET MAKERS DISCRETION.
- NOTE:** STANDARD BORDER TILES TO BATHROOM & ENSUITE SHOWN SHADED.
- NOTE:** BORDER TILES 1 ROW IN LAYED AT THE DISCRETION OF THE TILER.

HOUSE TYPE:  
**INDIVIDUAL DESIGN**

CLIENTS NAME:  
**BRONWYN PAPA**

SITE ADDRESS:  
**LOT 103 (#13) VAUGHEY ROAD,  
QUINNS ROCKS**

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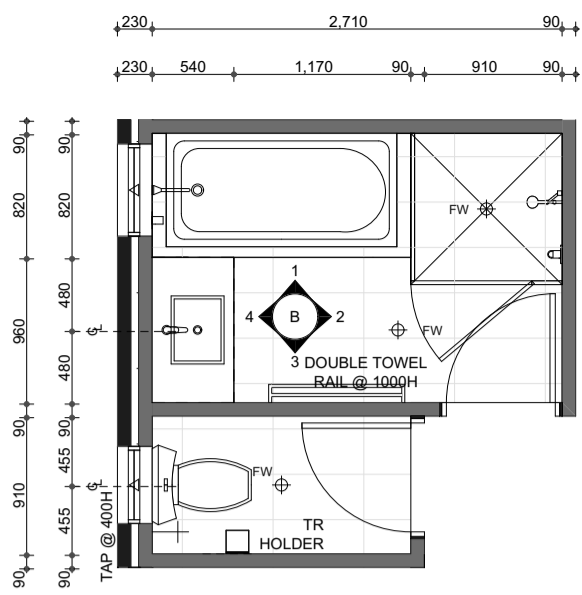
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DESIGN BY:  
**KD**

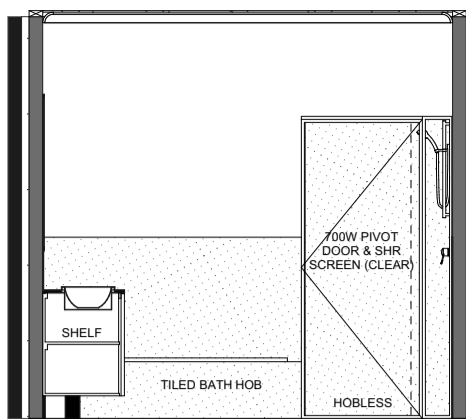
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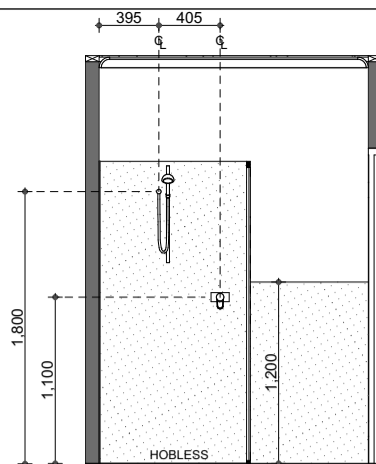
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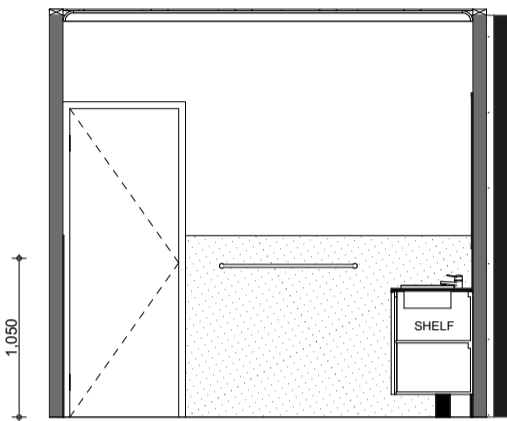
**BATHROOM & WC**  
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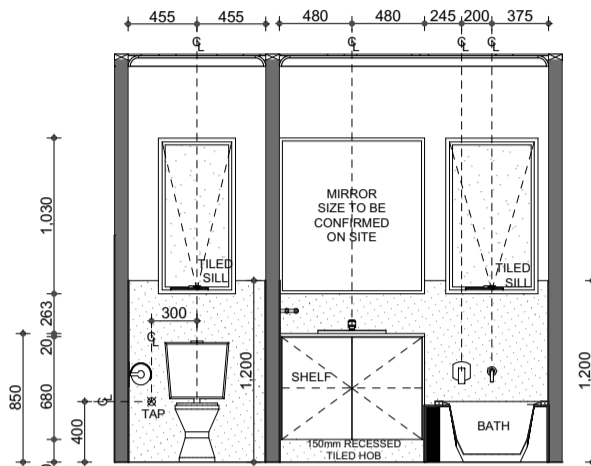
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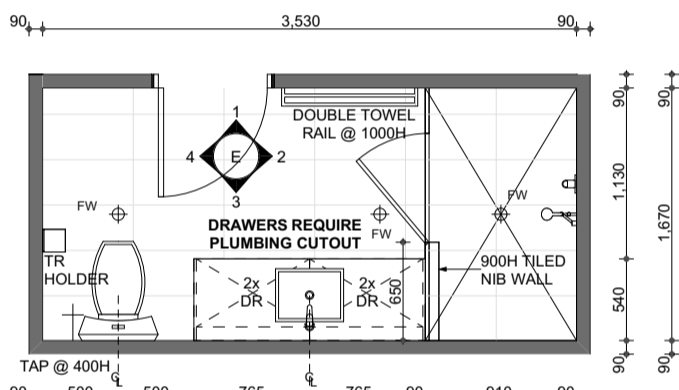
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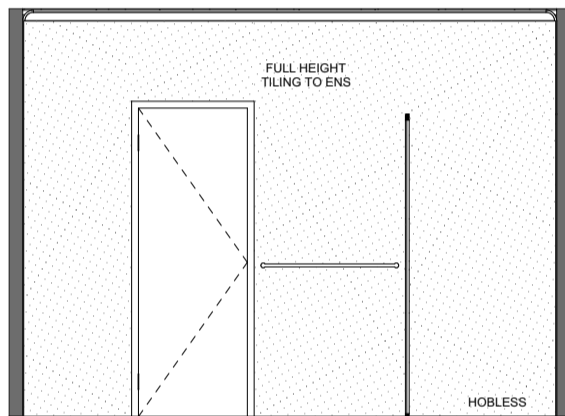
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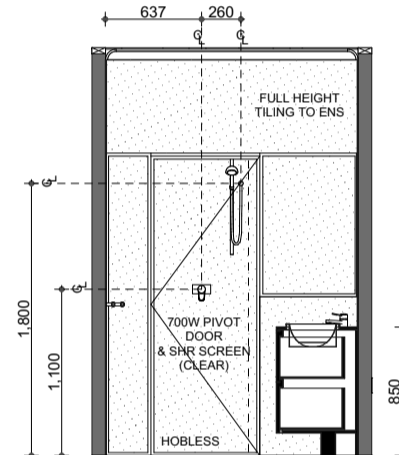
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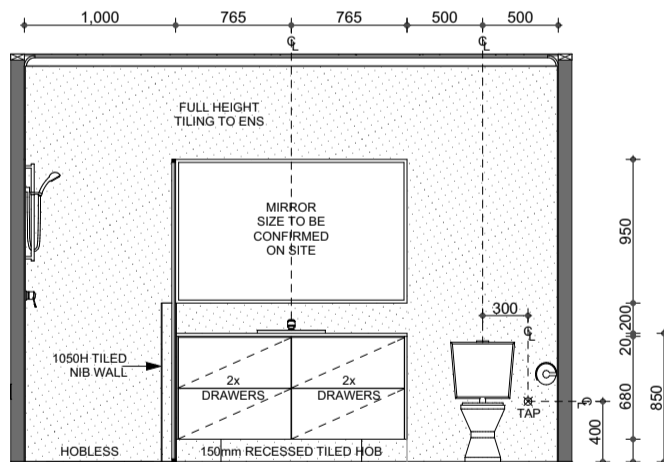
**ENSUITE**  
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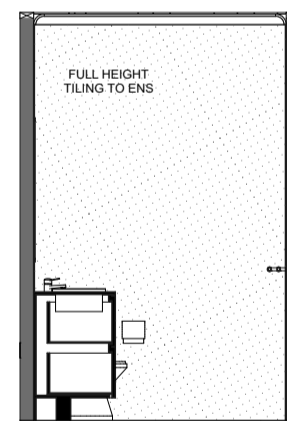
**E1**



**E2**



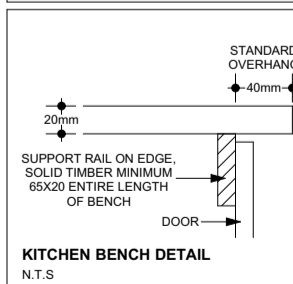
**E3**



**E4**

**KEY:**

- SOAP HOLDER
- TOILET ROLL HOLDER
- SINGLE TOWEL RAIL
- DOUBLE TOWEL RAIL



**KITCHEN BENCH DETAIL**  
N.T.S

**NOTE:** HOBLESS SHOWERS THROUGHOUT TO INCLUDE REFLUX VALVE

**NOTE:** OWNER TO ENSURE FRIDGE RECESS IS SUFFICIENT. ALL DIMENSIONS ARE BRICKWORK ONLY.

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HOUSE TYPE:  
**INDIVIDUAL DESIGN**

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SITE ADDRESS:  
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QUINNS ROCKS**

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BUILDERS: ..... DATE: .....

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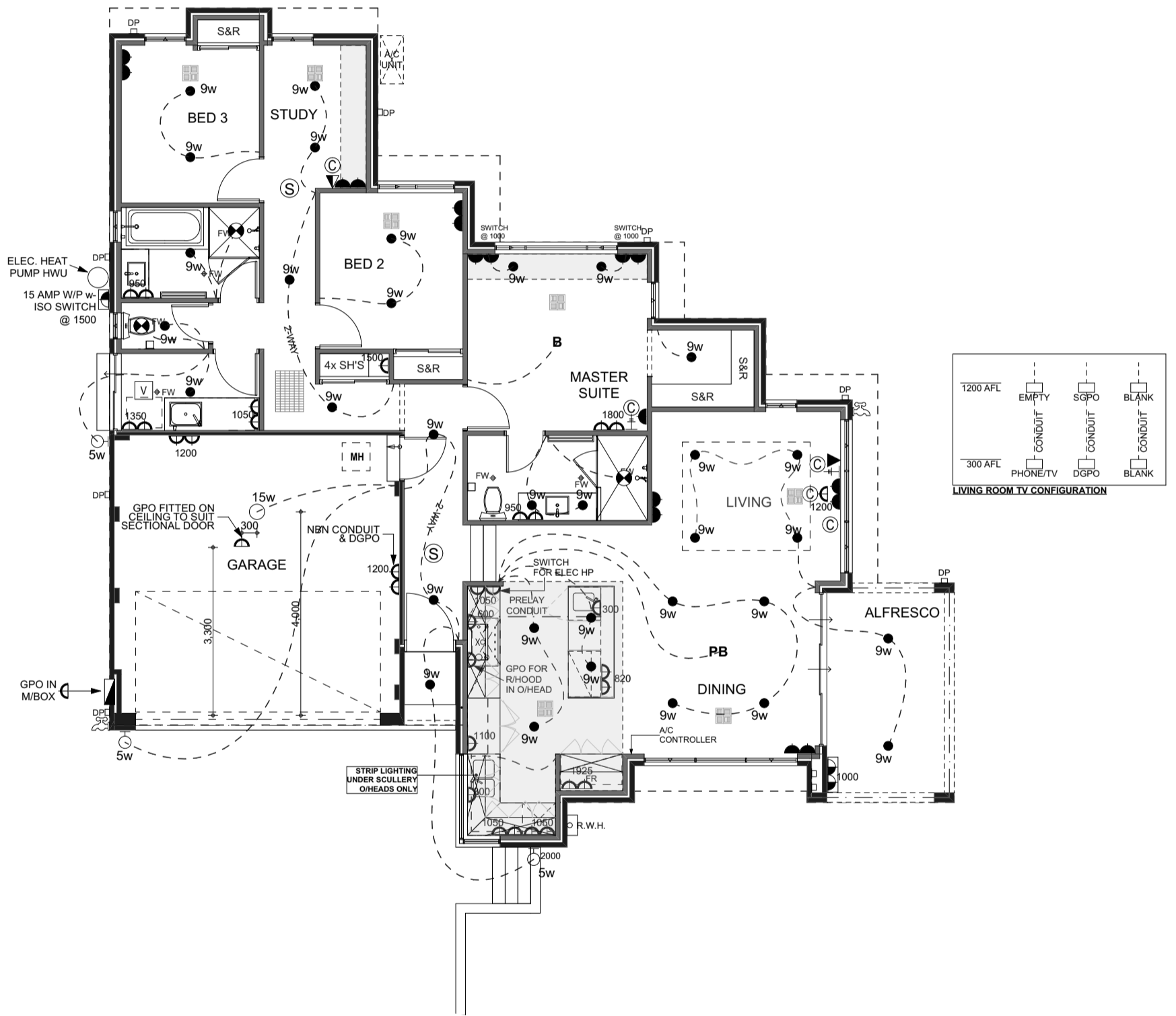
SHEET NO:  
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**STATUS.**  
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PHONE | 08 6555 7772

# ELECTRICAL LEGEND

15w	CEILING LIGHT	1
5w	WALL LIGHT @ 1800 OR AS NOMINATED	3
9w	LED DOWN LIGHT	33
⊗	EXHAUST FAN CEILING MOUNTED FLUMED	3
⊙	SMOKE DETECTOR IN ACCORDANCE WITH A.S. 3786-2014	2
⬆	GPO @ 300 A.F.L. - SINGLE	1
⬆	GPO @ 300 A.F.L. - DOUBLE	8
⬆	GPO @ AS NOMINATED - SINGLE	8
⬆	GPO @ AS NOMINATED - DOUBLE	12
⬆	GPO W'PROOF @ AS NOMINATED - SINGLE	1
⬆	GPO W'PROOF @ AS NOMINATED - DOUBLE	1
⊕	T.V. POINT	2
⬇	TELEPHONE POINT	1
⬇	DATAPOINT / NETWORK POINT	1
2-WAY	TWO WAY SWITCHING	2
⊙	CONDUIT 25MM W/- PLATE	4
B	BAYONET	1
PB	PLUG BASE	1



## ELECTRICAL PLAN

1:100

HOUSE TYPE:  
**INDIVIDUAL DESIGN**

CLIENTS NAME:  
**BRONWYN PAPA**

SITE ADDRESS:  
**LOT 103 (#13) VAUGHEY ROAD,  
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**KD**

SHEET NO:  
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PHONE | 08 6555 7772



# PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

T (08) 9242 8247 E: admin@prowestsurveying.com.au  
F (08) 9242 8296 Web: www.prowestsurveying.com.au  
Po Box 1463 Osborne Park DC 6916 DWG# 3115001

## Feature & Contour Survey of: Lot 103, No. 13 Vaughey Road, Quinns Rocks

REVISION: A  
SHEET: 1 OF 1

CLIENT:	PLAN: DP 400495	LOT AREA: 351m <sup>2</sup>	SURVEY DATE: 24/05/19
BUILDER: STATUS RESIDENTIAL	C/T Vol: 2953 Fol: 556		MAP REFERENCE:
BUILDER JOB # SR19045	HEIGHT DATUM: AHD	COASTAL ZONE: 1KM	
AUTHORITY: CITY OF WANNEROO	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

### FEATURE SYMBOL LEGEND

POWER	
CABLE DOME	POWER POLE
CABLE BOX	CONSUMER POLE
POWER MARKER	EXPOSED CABLES
LIGHT POLE	EARTH ROD

WATER	
WATER METER / TAP	FIRE HYDRANT
TAP	STOP VALVE
FLUSHING POINT	RETIC VALVE
BORE	WATER MARKER

SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT	INSPECTION OPENING
HOUSE CONNECTION	

TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	

DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	

GAS	
GAS METER	GAS VALVE
GAS MARKER	

SURVEY MARKS	
PEG FOUND	PEG GONE
DRILL HOLE	BENCH MARK
PEN MARK	NAIL & PLATE
	NAIL

MISCELLANEOUS INFO.	
BIG TREE HEIGHT > 5m	SPOT HEIGHT
SMALL TREE HEIGHT < 5m	BOLLARD
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING

### SERVICE DETAILS

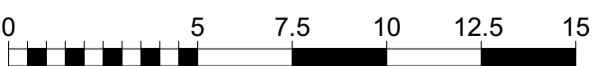
WATER: L  
OVERHEAD POWER: L  
U/G POWER: L  
TELSTRA: A, TBC  
GAS: A, TBC  
SEWER: L

**SERVICE NOTES**  
L: LOCATED NS: NO SERVICE  
A: AVAILABLE BUT NOT LOCATED  
TBC: LOCATION TO BE CONFIRMED

### SEWER JUNCTION DETAILS

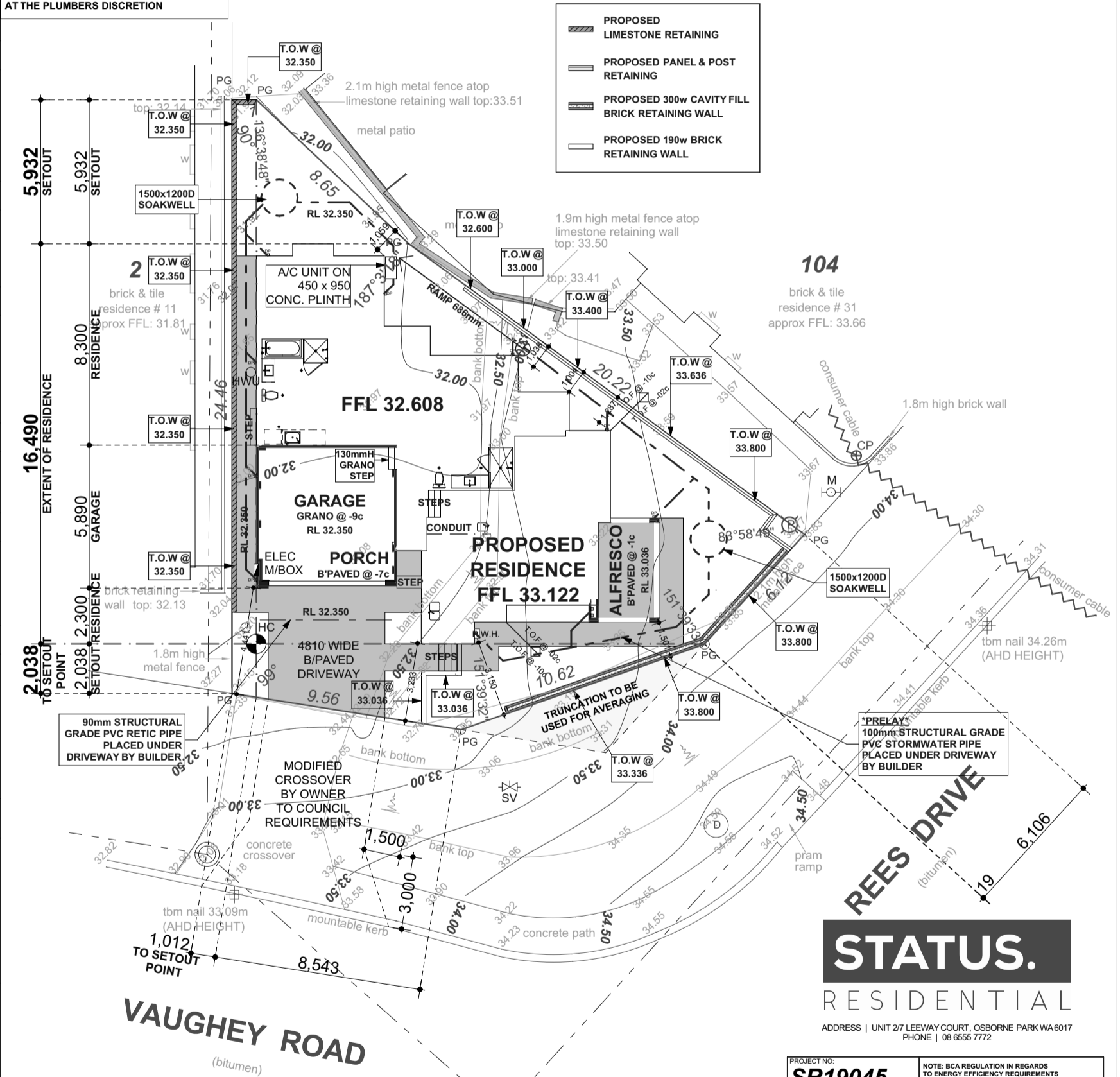
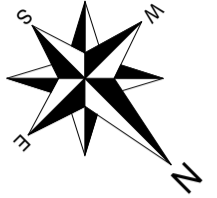
HOUSE CONNECTION (HC) IL: 29.90  
UP DISTANCE: 1.5  
DEPTH TO CONNECTION: 0.8

SCALE 1:200 AT A3 SIZE



SITE INFORMATION	
SITE CLASS	A
FOOTING DETAIL	D10V
SAND PAD	N/A
BAL AREA	NO
CORROSION CLASS	R4
WIND CATEGORY	N1
HOUSE FTGS @ -2c GARAGE FTGS @ -2c PIER FTGS @ -4c	
SITE PLOT RATIO SITE: = 435m <sup>2</sup> BUILT AREA: = 210.20m <sup>2</sup> SITE COVERAGE: = 48.30%	
CROSSOVER PAVING AREA = 26.70m <sup>2</sup>	
VERGE AREA = 69.00m <sup>2</sup>	
STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS. SOAKWELLS TO HAVE TRAFFICABLE LIDS AND ARE POSITIONED AT THE PLUMBERS DISCRETION	

**NOTES**  
(1) ALL FEATURES IN GOOD CONDITION  
(2) DEVELOPMENT AREA: ESTABLISHED



# STATUS. RESIDENTIAL

ADDRESS | UNIT 2/7 LEEWAY COURT, OSBORNE PARK WA 6017  
PHONE | 08 6555 7772

PROJECT NO: <b>SR19045</b>	NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN	
DESIGN BY: KD	DATE: 07-Oct-19	SHEET NO: 7 of 8
NO STRUCTURAL CHANGES (PRINTED DATE: 07-Oct-19) FFL TOLERANCE +/- 40MM		

ID	DESCRIPTION	DRAWN	DATE	CHK'D	SIGNATURES
1	W/DRAWINGS	JF	17.06.19		
2	ENGINEERING	JF	26.06.19		
3	PRE START	JF	23.07.19		
4	VO 5	JF	25.07.19		

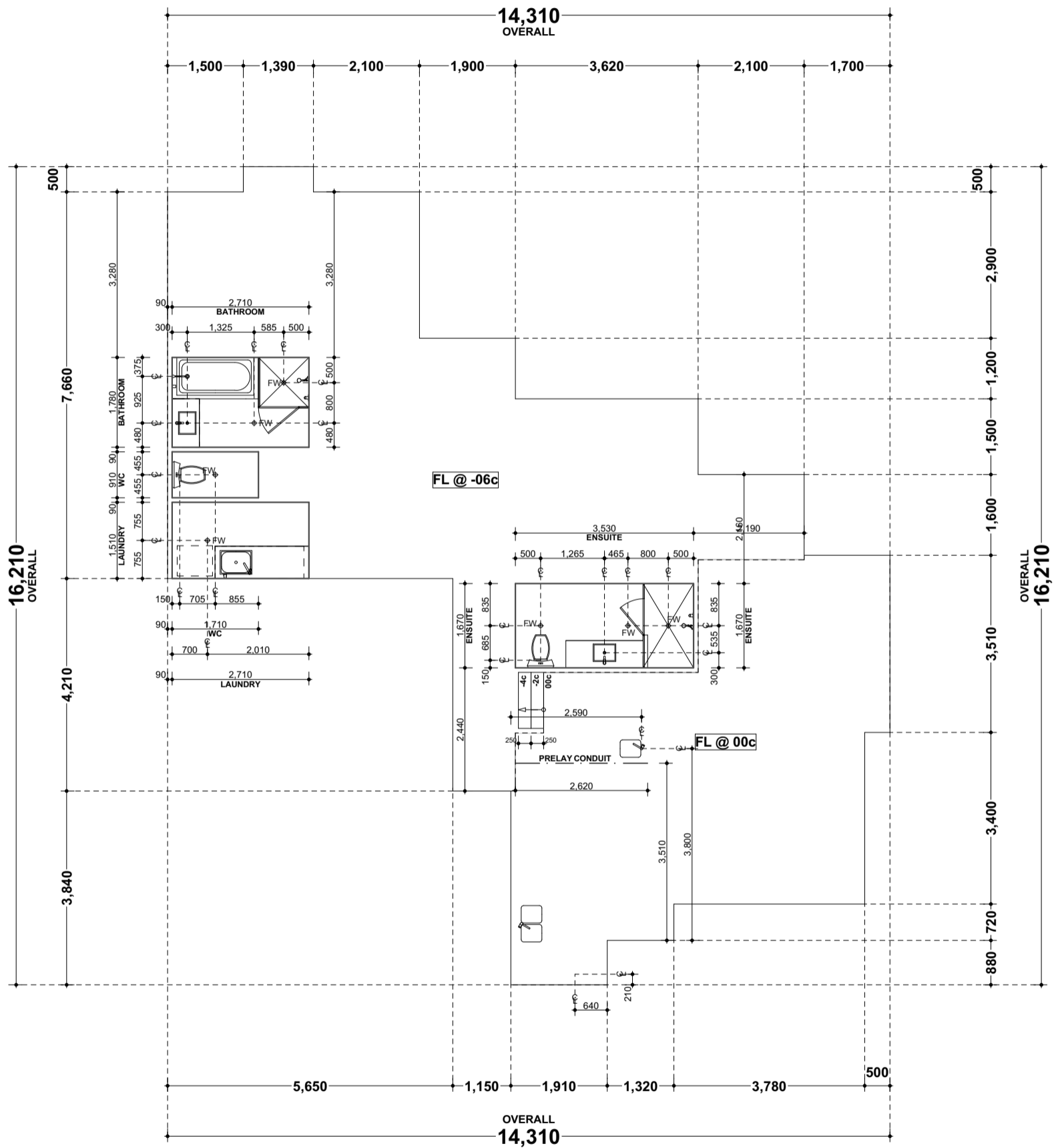
Grano	Area	Paving	Area
A/C PLINTH	0.405	ALFRESCO	11.059
GARAGE	30.610	PATHS / PORCH / DRIVEWAY	59.125
<b>TOTAL</b>	<b>31.015 m<sup>2</sup></b>	<b>TOTAL</b>	<b>70.184 m<sup>2</sup></b>

CLIENT 1: .....  
 CLIENT 2: .....  
 BUILDERS: ..... DATE: .....

NO STRUCTURAL CHANGES (PRINTED DATE: 07-Oct-19)

### IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / bdy identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown of this plan should be verified with the relevant authorities. 5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.



**SLAB LAYOUT**  
1:100

HOUSE TYPE:  
**INDIVIDUAL DESIGN**

CLIENTS NAME:  
**BRONWYN PAPA**

SITE ADDRESS:  
**LOT 103 (#13) VAUGHEY ROAD,  
QUINNS ROCKS**

ID	DESCRIPTION	DRAWN	DATE	CHK'D
1	W/DRAWINGS	JF	17.06.19	
2	ENGINEERING	JF	26.06.19	
3	PRE START	JF	23.07.19	
4	VO 5	JF	25.07.19	

SIGNATURES

CLIENT 1: .....

CLIENT 2: .....

BUILDERS: ..... DATE: .....

NO STRUCTURAL CHANGES (PRINTED DATE:07-Oct-19)

NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN

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PROJECT NO:  
**SR19045**

DESIGN BY:  
**KD**

SHEET NO:  
**8 of 8**

**STATUS.**  
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