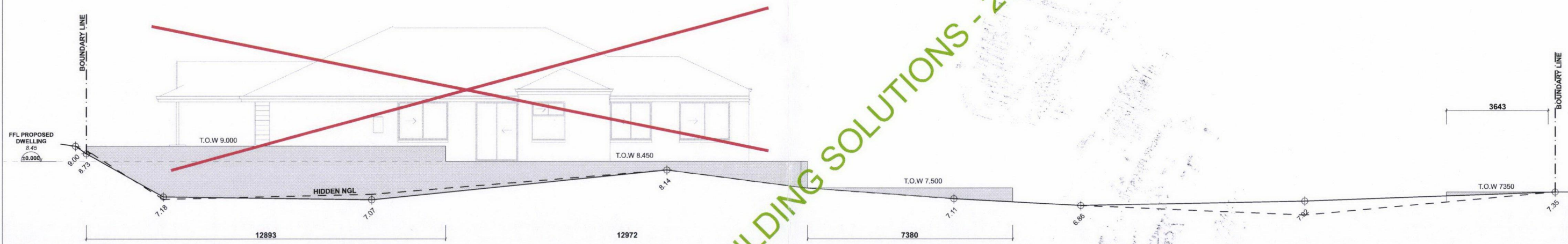
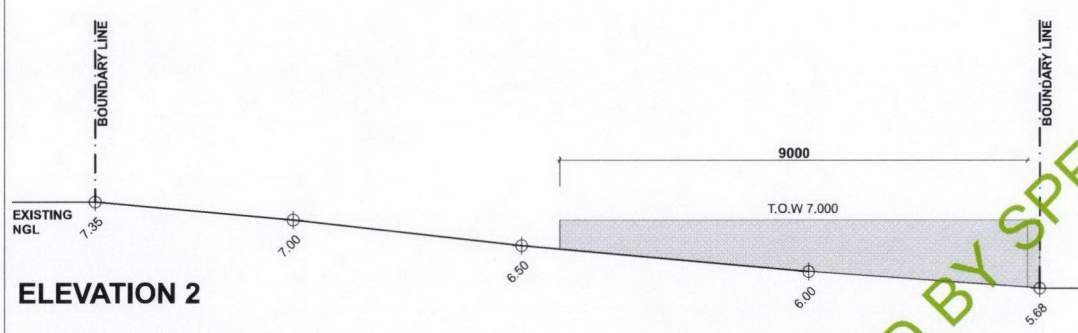


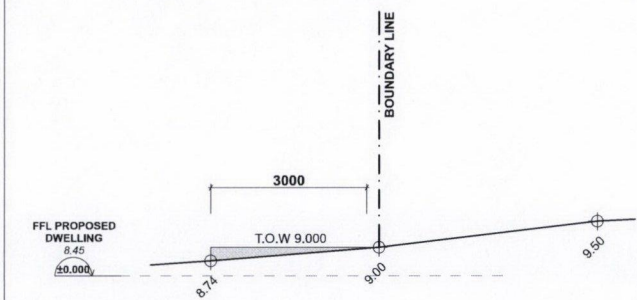
ELEVATION 1



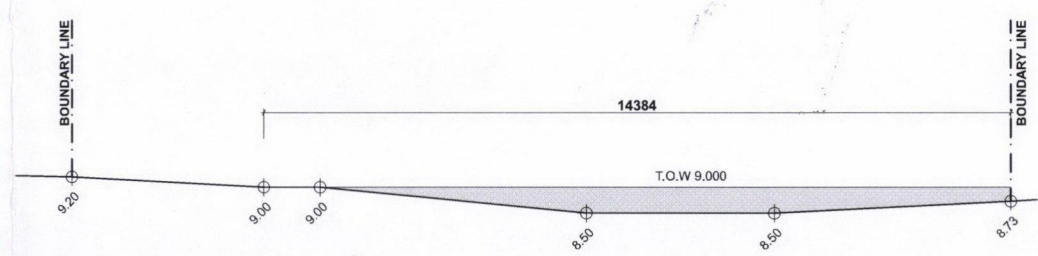
ELEVATION 3



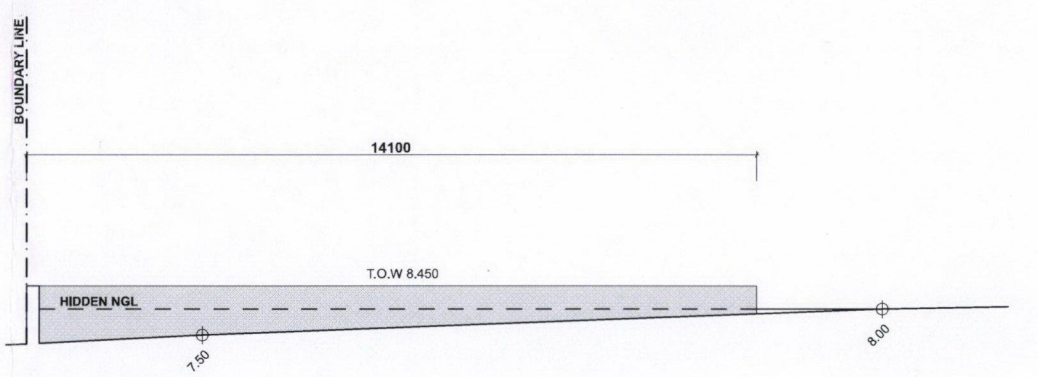
ELEVATION 2



ELEVATION 5



ELEVATION 4



ELEVATION 6

CERTIFIED BY SPECIALISED BUILDING SOLUTIONS - 200012 - 24/01/2020

THESE PLANS TO BE READ  
IN CONJUNCTION WITH  
SITE SPECIFIC  
CONSTRUCTION NOTES



**Specialised Building Solutions**  
Stress Free Building Approvals

Drawn by  
**AMPLITUDE DESIGN**

ABN 61 120 491 238

**Proposed Retaining walls**  
Address  
Lot 60 (#29) Burt Street, Quinns Rocks  
Drawing

**Elevations of the ret. walls**

Scale on A2  
**1:100**

REV 1	23.01.20

Date  
**23.01.20** Sheet  
**A202 OF 2**

SEC Dome
Power Pole
Phone Pits
Water Conn.
TP 10.00 Top Pillar/Post
TW 10.00 Top Wall
TR 10.00 Top Retaining
TF 10.00 Top Fence

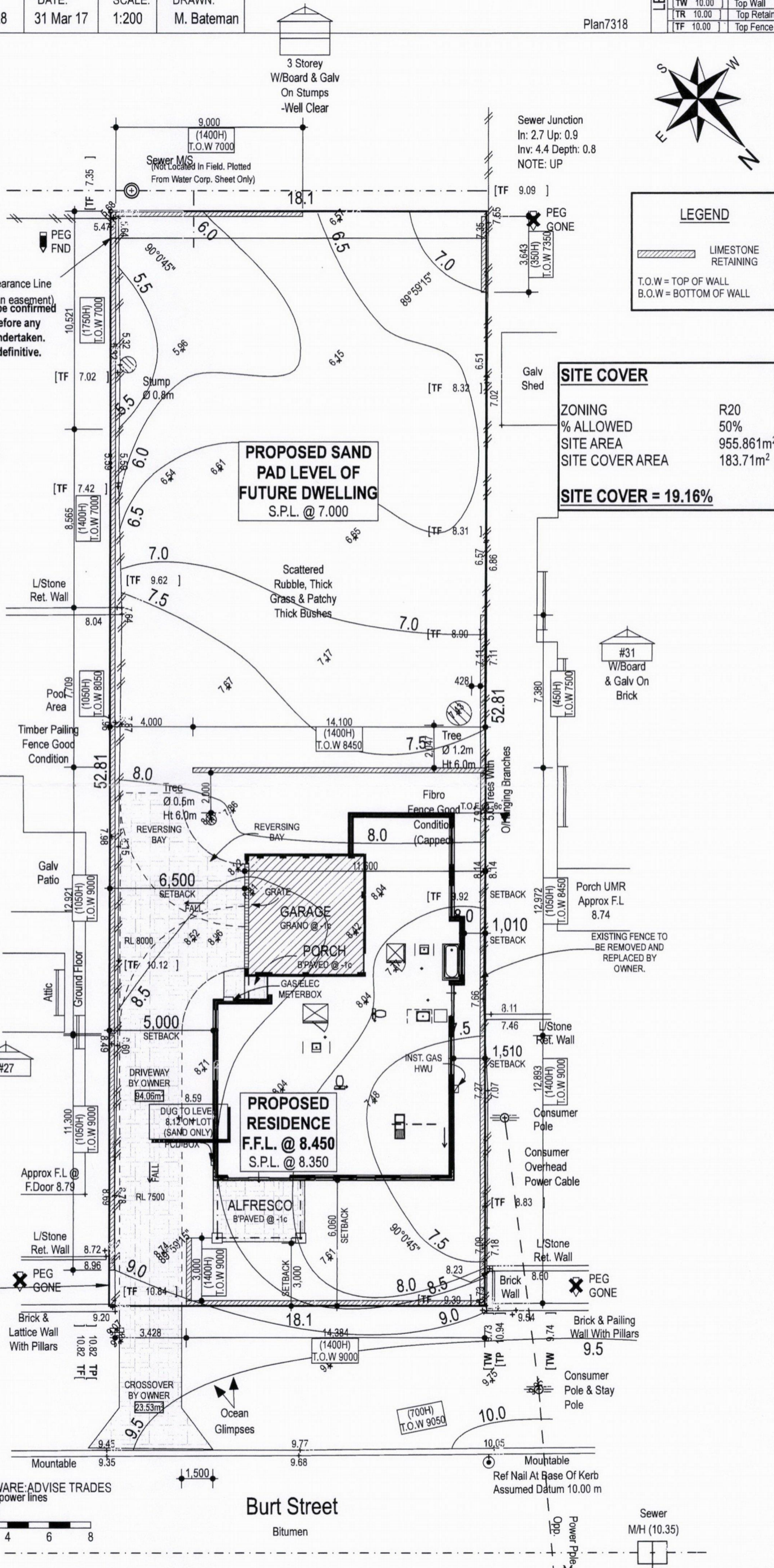
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**NOTE:**  
Approx. Sewer Clearance Line  
(This line is NOT an easement)  
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.  
This line is NOT definitive.



**LOT MISCLOSE**  
0.000 m

**SOIL DESCRIPTION**  
Sand / L/Stone(Poss)  
Light Grass Cover

**SITE COVER**

ZONING	R20
% ALLOWED	50%
SITE AREA	955.861m <sup>2</sup>
SITE COVER AREA	183.71m <sup>2</sup>

**SITE COVER = 19.16%**

**CUSTOM**

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**STRATAWISE**  
Your residential development specialists

Level 3, 6 Bennett Street, East Perth WA  
Tel: (08) 6555 7510 Fax: (08) 6461 538  
P.O. Box 131 Mt. Hawthorn WA 6915  
Reg Builder No. 6415 A.C.N. 009 063 076  
stratawise.com.au

REVISION	VO #	DRN	DATE	CHK
FULL SKETCH	DA 1	JN	14.08.19	
SITING	DA 2	ALG	09.10.19	KM
	DA 3	KM	18.10.19	KM
		BQ	20.11.19	KM

Sub-contractors to verify all dimensions on site.

CLIENT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
CLIENT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

CLIENT:  
**S.M. THOMASON**  
**C.S.J. LINDSAY**  
ADDRESS:  
**S/L 1 OF LOT 60 (#29)**  
**BURT STREET**  
**QUINNS ROCKS**

DATE	20.11.19
MAP REF.	WIND RATING
COASTAL CATEGORY	ENGINEERS DETAIL
JOB N°	12501
SHEET N°	1 OF 3

**NOTE/BEWARE: ADVISE TRADES**  
O/Head power lines  
Scale 1:200